

REGIONAL REVIEW FINDING

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: FEBRUARY 5, 2025

TO: MAYOR JOHN BRADBERRY, City of Johns Creek
ATTN TO: BEN SONG, COMMUNITY DEVELOPMENT DIRECTOR, City of Johns Creek
FROM: Anna Roach, Executive Director, Atlanta Regional Commission



ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-25-01JC 8950 Medlock Bridge Road

Submitting Local Government: City of Johns Creek

Date Opened: January 24, 2025

Date Closed: February 5, 2025

FINDING: ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: No comments were received.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF BERKELEY LAKE

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF PEACHTREE CORNERS

CHATTAHOOCHEE RIVERKEEPER
CITY OF JOHNS CREEK

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC website at <https://atlantaregional.org/plan-reviews>.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** Johns Creek GA
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Doug Dillard
Mailing Address: 4645 Saybrook Ct
City: Peachtree Corners **State:** GA **Zip:** 30096
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770 519 6917 **Fax:** _____
Other Numbers: _____
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Doug Dillard
Mailing Address: 4645 Saybrook Ct
City: Peachtree Corners **State:** GA **Zip:** 30096
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770 519 6917 **Fax:** _____
Other Numbers: _____
4. **Proposed Land or Water Use:**
Name of Development: N/A
Description of Proposed Use: Single Family Home
5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: Land Lot F-21 1st District 1st Section Fulton County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Lot 1 of Medlock Forrest subdivision, 8950 Medlock Bridge Road, 200 feet North of the intersection of Medlock Bridge Road and Vista Bluff Drive.
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** 2.38
Outside Corridor: 0
Total: 2.38
Lots: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Units: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? no

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? yes

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): Single Family detached house RC-81-001, Lot1 February/19/1981

7. How Will Sewage from this Development be Treated?

A. Septic tank No

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system Yes

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90) _____	(75) _____
B	_____	_____	_____	(80) _____	(60) _____
C	<u>103,737 sf</u>	<u>42,352 sf</u>	<u>15,958 sf</u>	(70) <u>41</u>	(45) <u>15</u>
D	_____	_____	_____	(50) _____	(30) _____
E	_____	_____	_____	(30) _____	(15) _____
F	_____	_____	_____	(10) _____	(2) _____
Total:	<u>103,737sf</u>	<u>42,352 sf</u>	<u>15,958 sf</u>	N/A	N/A

Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? Yes
If "yes", indicate the 100-year floodplain elevation: 893'
NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.
NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.
10. Is any of this land within the 500-year floodplain of the Chattahoochee River? yes
If "yes", indicate the 500-year flood plain elevation: _____
NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.
NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).
11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- X Written consent of all owners to this application. (Space provided on this form)
- X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- X Description of proposed use(s). (Space provided on this form)
- X Existing vegetation plan.
- X Proposed grading plan.
- X Certified as-builts of all existing land disturbance and impervious surfaces.
- X Approved erosion control plan.
- X Detailed table of land-disturbing activities. (Both on this form and on the plans)

X Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

X Documentation on adjustments, if any.

X Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

X Site plan.

X Land-disturbance plan.

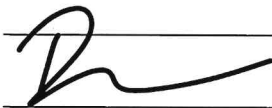
FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

 Concept plan.

 Lot-by-lot and non-lot allocation tables.

Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)



Signature(s) of Owner(s) of Record

1/8/2025

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

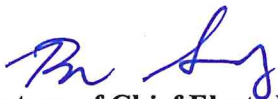


Signature(s) of Applicant(s) or Agent(s)

1/8/2025

Date

14. The governing authority of City of Johns Creek requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.



Signature of Chief Elected Official or Official's Designee

1/22/25

Date

SITE NOTES:

- THE SITE CONTAINS: 2.38 ACRES / 103,737 SF
TOTAL DISTURBED ACREAGE: 0.94 ACRES / 42,352 SF
- SITE ADDRESS: 8950 MEDLOCK BRIDGE ROAD, JOHNS CREEK GA, 30097
- ZONING: AG-1
- SURVEY INFORMATION IS TAKEN FROM SURVEY PERFORMED BY McCLUNG SURVEYING SERVICES, INC DATED 7-25-23.
- THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0177 G DATED SEPTEMBER 18, 2013 FOR INCORPORATED FULTON COUNTY, GEORGIA.
- THERE ARE WATERS OF THE STATE OF GEORGIA WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATERS PER THESE CONSTRUCTION DOCUMENTS.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS THAT EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY OF JOHNS CREEK, FULTON COUNTY, AND GEORGIA STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

RELEASED FOR CONSTRUCTION

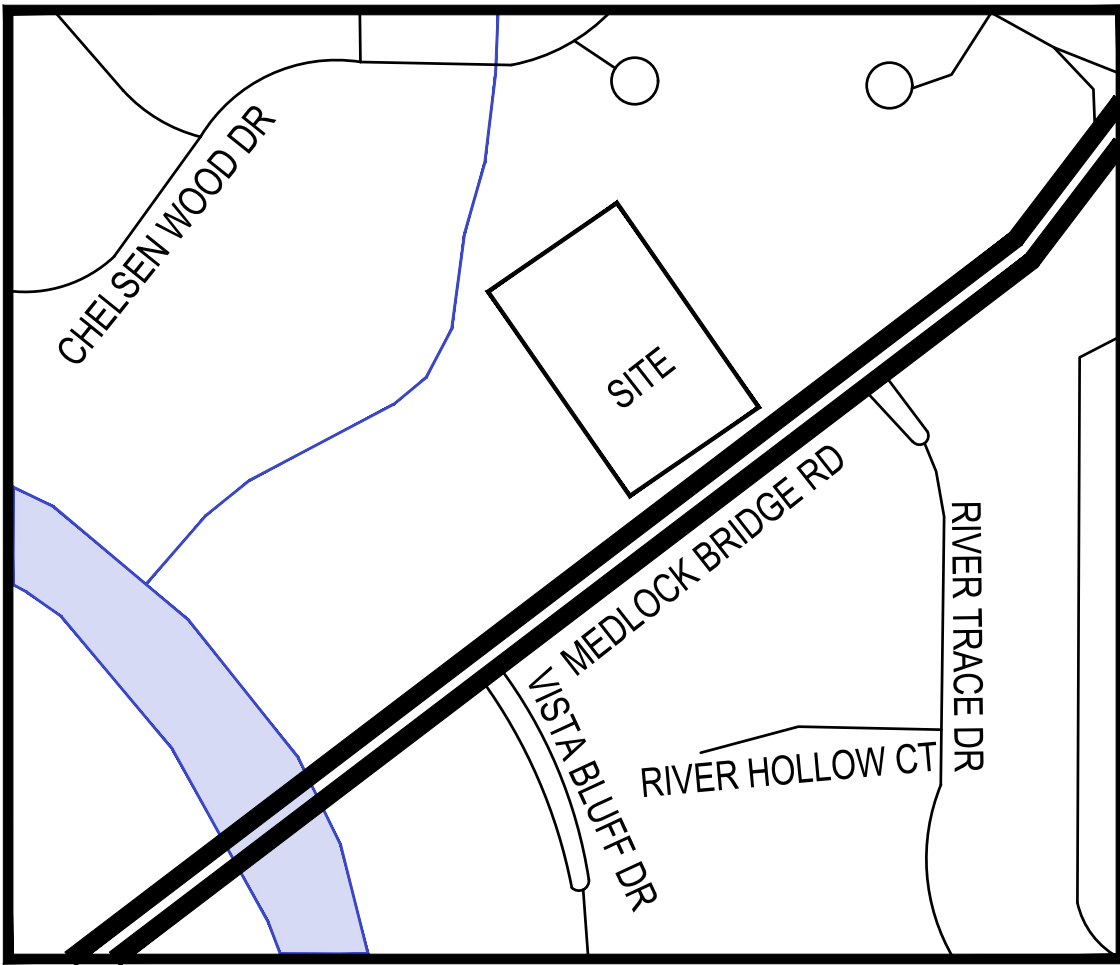
24 HOUR EMERGENCY CONTACT: DOUG DILLARD 770 - 519 - 6917

CONSTRUCTION DOCUMENTS FOR:

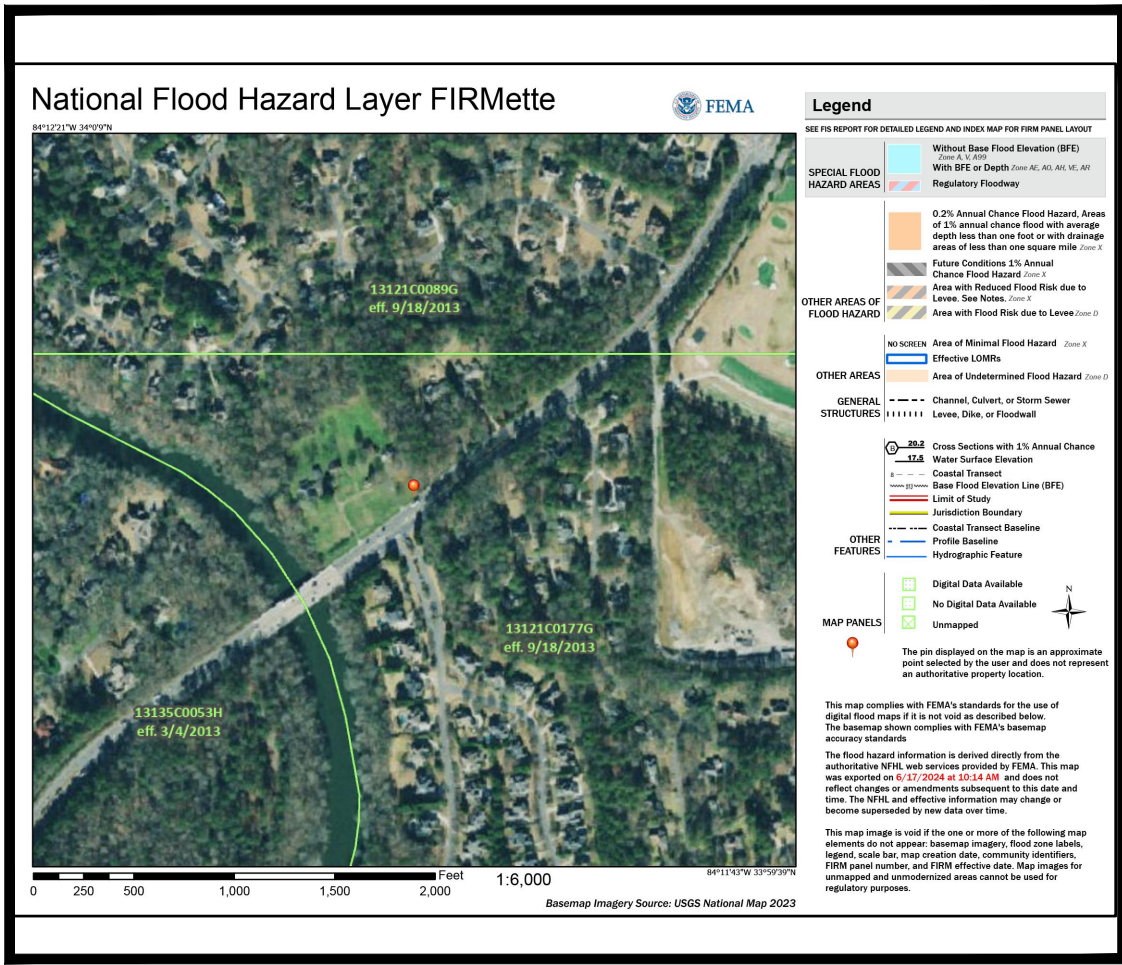
8950 MEDLOCK BRIDGE ROAD

LAND LOT F-21, DISTRICT 1

JOHNS CREEK, FULTON COUNTY, GEORGIA



LOCATION MAP
N.T.S.



FEMA MAP
N.T.S.

THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP# 13121C0177 G, DATED 9/18/2013 FOR FULTON COUNTY AND INCORPORATED AREAS.

FLOOR AREA RATIO:

STRUCTURE GROSS HEATED SQUARE FEET (PER ARCHITECT)

SITE AREA	=	103,737 SF
FIRST LEVEL	=	2,585 SF
SECOND LEVEL	=	1,132 SF
AGU	=	4,272 SF
FLOOR AREA RATIO	=	7.989 SF (TOTAL)
	=	7.70%
GUEST HOUSE	=	1,337 SF
MAIN DWELLING	=	7,989 SF
ACCESSORY/MAIN DWELLING RATIO	=	8.99%

ZONING CONFORMANCE:

SITE ZONING:	AG-1
MINIMUM LOT SIZE:	1 AC
FRONT SETBACK:	60 FEET
SIDE SETBACK:	25 FEET
REAR SETBACK:	50 FEET
LOT FRONTAGE:	35 FEET
BUILDING HEIGHT:	NO MORE THAN 40 FEET

STATE WATER STATEMENT:

THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP# 13121C0177 G, DATED 9/18/2013 FOR FULTON COUNTY AND INCORPORATED AREAS.

CONSTRUCTION NARRATIVE:

THE PROPOSED PLANS CALL FOR THE CONSTRUCTION OF SINGLE FAMILY HOUSE, DRIVEWAY AND A DETACHED GARAGE CONFORMING TO AG-1 ZONING. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

UTILITY LISTING:

GAS	-	ATLANTA GAS LIGHT COMPANY
TELEPHONE	-	AT&T
POWER	-	GA POWER
WATER	-	CITY OF ATLANTA
SEWER	-	CITY OF ATLANTA

OWNER

DOUG DILLARD
MOBILE: 770-519-6917

ENGINEERS

CRESCENT VIEW ENGINEERING, LLC
211 FRASIER ST, SE.
MARIETTA, GEORGIA 30060
678-324-8410

ADDRESS:

8950 MEDLOCK BRIDGE ROAD,
JOHNS CREEK, GA 30097

POST-CONSTRUCTION LOT COVERAGE:

PROPOSED IMPERVIOUS AREA	SF
PROPOSED HOUSE	3,723
PROPOSED COVERED FRONT PORCH	272
PROPOSED REAR COVERED PORCH	443
PROPOSED DETACHED GARAGE	1,337
PROPOSED COVERED PATIO	558
PROPOSED DRIVEWAY	8,897
PROPOSED WALKWAY	641
PROPOSED WALL	87
TOTAL - NEW IMPERVIOUS	15958
POST CONSTRUCTION LOT COVERAGE	15958
LOT COVERAGE %	15.38%

Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Frasier Street
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

PREPARED FOR:
DOUG DILLARD
4645 SAYERBROOK CT
PEACHTREE CITY, GA 30086
770-519-6917
DOUG@CBB-CONST.COM

COVER SHEET

DATE	12-11-24		REVISIONS
SCALE	AS SHOWN	01-14-25	CITY COMMENTS
DRAWN	AHG		
CHECKED	GHB		



Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek

CONSTRUCTION PLANS FOR:
8950 MEDLOCK BRIDGE ROAD
LAND LOT F-21, 1ST DISTRICT
JOHNS CREEK, FULTON COUNTY, GEORGIA

CVE PI # 24-315

SHEET NO.

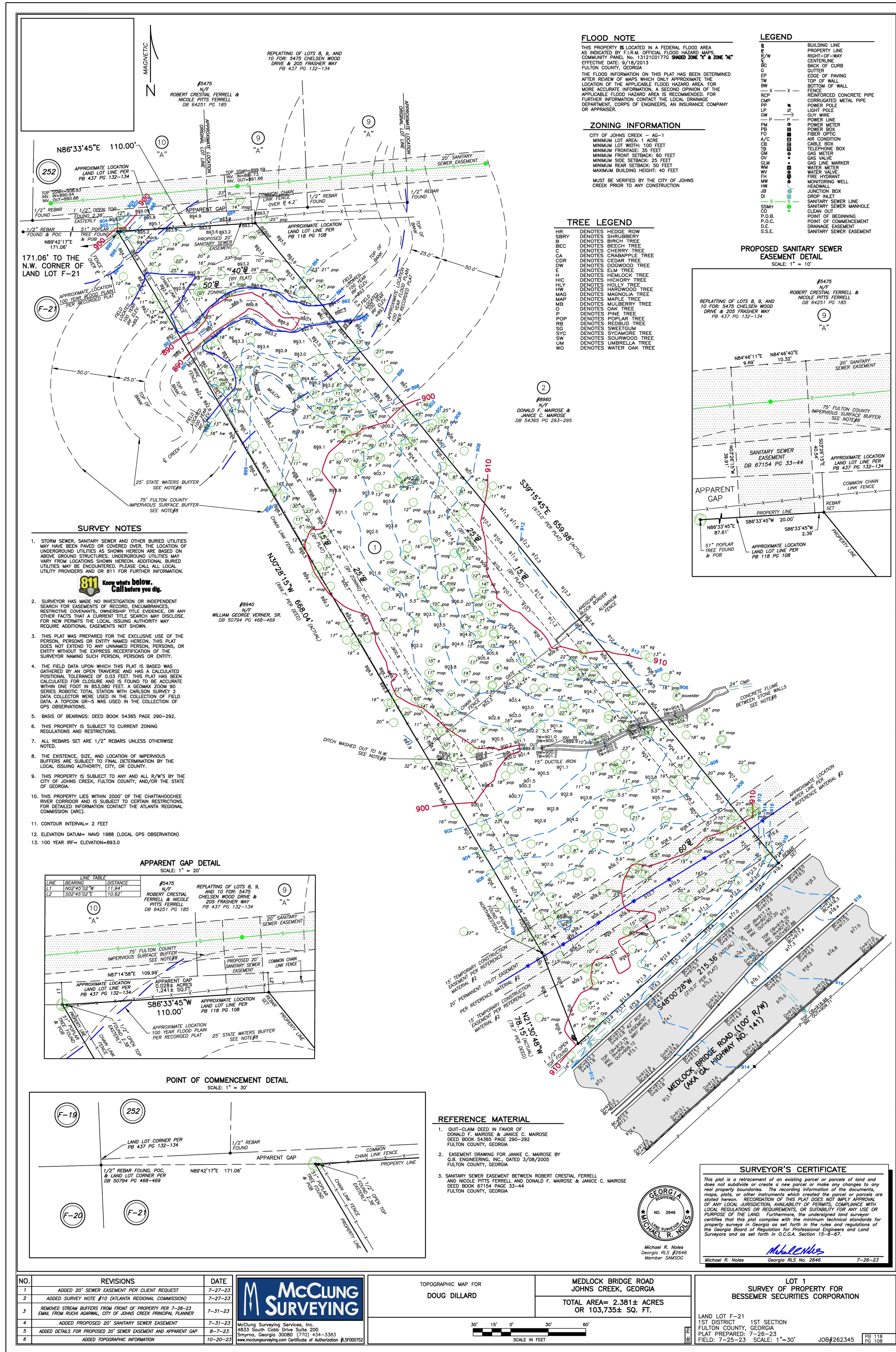
CV

"I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION"

CERTIFIED BY 

12-11-24
DATE

SHEET LIST	
SHEET NO.	SHEET TITLE
CV	COVER SHEET
S	SURVEY
C-1	SITE & GRADING PLAN
C-2	ES&PC PLAN
C-3	STORMWATER PLAN
C-4	SEWER PLAN
C-5	TREE PLAN
C-5.1	TREE PLAN
C-6	DETAILS



Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek

SITE NOTES:

- THE SITE CONTAINS: 2.38 ACRES / 103,737 SF
TOTAL DISTURBED ACREAGE: 0.94 ACRES / 42,352 SF
- SITE ADDRESS: 8950 MEDLOCK BRIDGE ROAD, JOHNS CREEK GA, 30097
- ZONING: AG-1
- SURVEY INFORMATION IS TAKEN FROM SURVEY PERFORMED BY MCCLUNG SURVEYING SERVICES, INC DATED 7-25-23.
- THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0177 G DATED SEPTEMBER 18, 2013 FOR INCORPORATED FULTON COUNTY, GEORGIA.
- THERE ARE WATERS OF THE STATE OF GEORGIA WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATERS PER THESE CONSTRUCTION DOCUMENTS.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS THAT EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY OF JOHNS CREEK, FULTON COUNTY, AND GEORGIA STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

POST-CONSTRUCTION LOT COVERAGE:

PROPOSED IMPERVIOUS AREA	SF
PROPOSED HOUSE	3,723
PROPOSED COVERED FRONT PORCH	272
PROPOSED REAR COVERED PORCH	443
PROPOSED DETACHED GARAGE	1,337
PROPOSED COVERED PATIO	558
PROPOSED DRIVEWAY	8,897
PROPOSED WALKWAY	641
PROPOSED WALL	87
TOTAL - NEW IMPERVIOUS	15958
POST CONSTRUCTION LOT COVERAGE	15958
LOT COVERAGE %	15.38%

CITY OF JOHNS CREEK NOTE:

- THIS PROPERTY IS COMPLETELY OR PARTIALLY WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS.
- ALL CONSTRUCTION MUST CONFORM TO CITY OF JOHNS CREEK STANDARDS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY ONSITE, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE CITY'S DEVELOPMENT INSPECTOR. THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH WITH TREE SAVE FENCE, AND SHALL REMAIN MARKED THROUGHOUT CONSTRUCTION, UNTIL FINAL STABILIZATION.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND RIVER CORRIDOR CERTIFICATE/PERMIT SHALL BE PRESENT ONSITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
- A FINAL ON-SITE INSPECTION BY THE DIRECTOR OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT OR HIS/HER DESIGNEE IS REQUIRED PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY. A CERTIFIED AS-BUILT SURVEY MAY BE REQUIRED.
- THIS PLAN IS APPROVED FOR RIVER CORRIDOR ONLY. IT DOES NOT ENTITLE LAND DISTURBING ACTIVITY OR CONSTRUCTION OF STRUCTURES WITHOUT FIRST OBTAINING ALL APPLICABLE PERMITS.

ZONING CONFORMANCE:

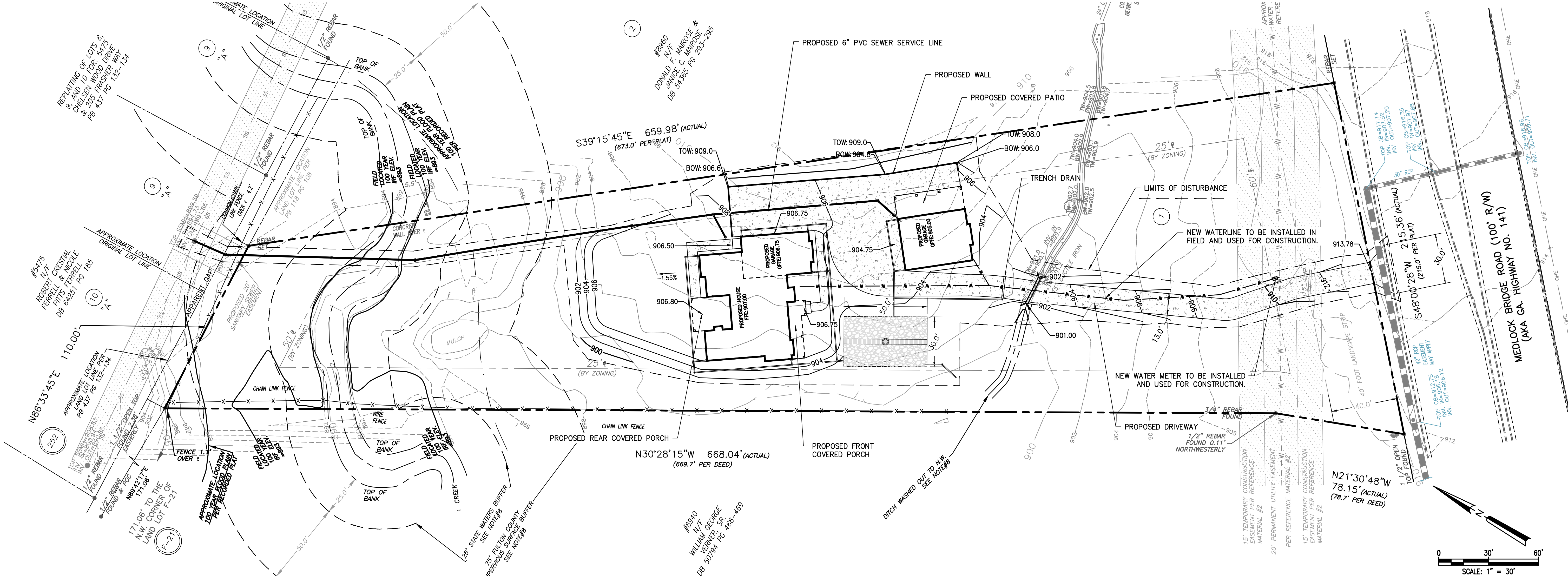
SITE ZONING: AG-1
MINIMUM LOT SIZE: 1 ACRE
FRONT SETBACK: 60 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 50 FEET
LOT FRONTAGE: 35 FEET
LOT WIDTH: 100 FEET
BUILDING HEIGHT: NO MORE THAN 40 FEET

24 HOUR EMERGENCY CONTACT: DOUG DILLARD 770-519-6917

ARC CALCULATIONS:

ARC Allocation Table	
Category	C
Total Category Area (sf)	103,737
Allowable Impervious (45%)	46,682
Existing Impervious	0
Proposed Impervious	15,958
Total Impervious	15,958
Remaining Impervious	30,724
Allowable Clearing (70%)	72,616
Proposed Clearing	42,352
Remaining Clearing	30,264

Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek



Prepared By:
CRESCENT VIEW
ENGINEERING, LLC:
211 Fraiser Street
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

PREPARED FOR:
DOUG DILLARD
4645 SATEBROOK CT
PEACHTREE CITY, GA 30096
DOUG@BBB-CONST.COM

SITE PLAN

DATE	12-11-24	REVISIONS
SCALE	AS SHOWN	CITY COMMENTS
DRAWN	AHG	
CHECKED	GHB	



CONSTRUCTION PLANS FOR:
8950 MEDLOCK BRIDGE ROAD
LAND LOT F-21, 1ST DISTRICT
JOHNS CREEK, FULTON COUNTY, GEORGIA

CVE PI # 24-315

SHEET NO.
C-1

RUNOFF REDUCTION CALCULATIONS:

AREA	SF	NOT/TREATED	BMP LOCATION
PROPOSED HOUSE	3,723	TREATED	TRENCH
PROPOSED COVERED PORCH	272	TREATED	TRENCH
PROPOSED REAR COVERED PORCH	443	TREATED	TRENCH
PROPOSED DETACHED GARAGE	1,337	TREATED	TRENCH
PROPOSED COVERED PATIO	558	TREATED	TRENCH
PROPOSED DRIVEWAY	8,897	TREATED	TRENCH
PROPOSED WALKWAY	641	TREATED	TRENCH
PROPOSED WALL	87	TREATED	TRENCH
TOTAL TREATED IMPERVIOUS AREA	15,958	SF	
TOTAL IMPERVIOUS AREA	15,958	SF	

Water Quality / Runoff Reduction Calculations		
Per GSWMM Section 2.2.4.1		
Water Quality Volume (WQv)		
Runoff Reduction (RRv)		
Site Area (A) =	103,737	SF
Treated Impervious Area =	15,958	SF
% Impervious (I) =	16.00	%
RRv = (P.Rv.A)/12	1677.1	CF
Rv = 0.05 + I*(0.009)	0.194	
WQv = 1.2*Rv*A/12	2012.5	CF

Stone Storage Infiltration Trench W/ Pipe Calculation		
Runoff Reduction Calculations		
1.2" required for required area impervious		
Required Treated Impervious Area =	15958.0	SF
Required RRv Volume =	2012.5	CF
Pipe Volume		
Diameter of Pipe	3.0	FT
Length of Pipe	50.0	FT
Volume of Single Pipe	353.4	CF
All volume to be provided in Stone Storage Infiltration Trench w 40% void ratio		
Gravel Volume		
Length of Trench	50.0	FT
Width of Trench	30.0	FT
Depth of Trench	6.0	FT
Volume of Gravel	3458.6	CF
Provided Gravel Volume + Pipe Volume =	3812.1	CF
Required Volume =	2012.5	CF
Percent of Volume Provided over required	189%	

RUNOFF REDUCTION DESCRIPTION:

TOTAL IMPERVIOUS AREA FOR THE SITE IS = 15,958 SQUARE FEET. RUNOFF REDUCTION IS PROVIDED FOR THE NEW IMPERVIOUS AREA OF 15,958 SQUARE FEET FOR PROPOSED HOUSE, WALKWAYS, PORCHES, LANDING, WALLS, STEPS. SEE LOT COVERAGE CHART.

TOTAL OF 15,958 SF OF IMPERVIOUS AREA, AS MENTIONED ABOVE. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO) AND 3 FT PERFORATED PIPE. THE TOTAL REQUIRED AREA OF THE TRENCH IS 2012.50 CF. THE TOTAL PROVIDED AREA OF THE TRENCH SYSTEM IS 3,812.1 CF.

THE RUNOFF REDUCTION VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE RUNOFF REDUCTION STORAGE REQUIREMENTS. THE TRENCH WILL PROMOTE GROUNDWATER RECHARGE WHILE RESPECTING THE REQUIRED CRITICAL ROOT ZONE OF SAVE TREES. BECAUSE OF THE AVAILABLE SPACE, LARGER SURFACE AREA TRENCH WAS DESIGNED TO KEEP THE STORAGE FACILITY AS SHALLOW AS POSSIBLE AND PROMOTE MORE DIRECT INFILTRATION.

ANY OVERFLOW DRAINAGE FROM THE SYSTEM WILL FLOW OUT OF THE POP UP DRAIN TOWARDS THE WEST PROPERTY LINE.

INFILTRATION TRENCH NOTES:

VEGETATION
THE LANDSCAPED AREA ABOVE THE SURFACE OF TRENCH CAN BE LANDSCAPED WITH SOD OR MAY BE COVERED WITH AN ENGINEERED SOIL MIX, AND PLANTED WITH MANAGED TURF OR OTHER HERBACEOUS VEGETATION. THE STONE STORAGE IS FOR STORAGE ONLY AND CAN BE GRADED ABOVE PER THE GRADING PLAN WITH A MINIMUM COVER OF 6".

MAINTENANCE

MONTHLY

- ENSURE THAT CONTRIBUTING AREA, FACILITY AND INLETS ARE CLEAR OF DEBRIS.
- ENSURE THAT THE CONTRIBUTING AREA IS STABILIZED.
- REMOVE SEDIMENT AND OIL/GREASE FROM PRETREATMENT DEVICES, AS WELL AS OVERFLOW STRUCTURES.
- MOW GRASS FILTER STRIPS SHOULD BE MOWED AS NECESSARY. REMOVE GRASS CLIPPINGS.

SEMIANNUAL INSPECTION

- CHECK OBSERVATION WELLS FOLLOWING 3 DAYS OF DRY WEATHER. FAILURE TO PERCOLATE WITHIN THIS TIME PERIOD INDICATES CLOGGING.
- INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE.
- REMOVE TREES THAT START TO GROW IN THE VICINITY OF THE TRENCH.REPLACE PEA GRAVEL/TOPSOIL/GRASSING AND TOP SURFACE FILTER FABRIC (WHEN CLOGGED).

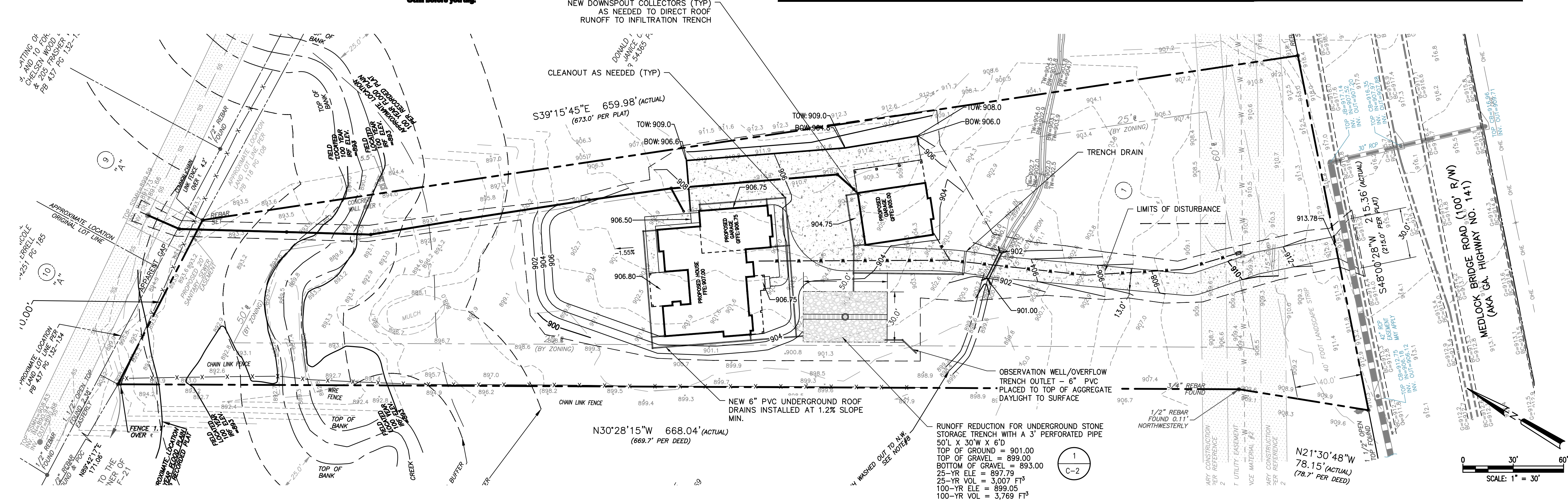
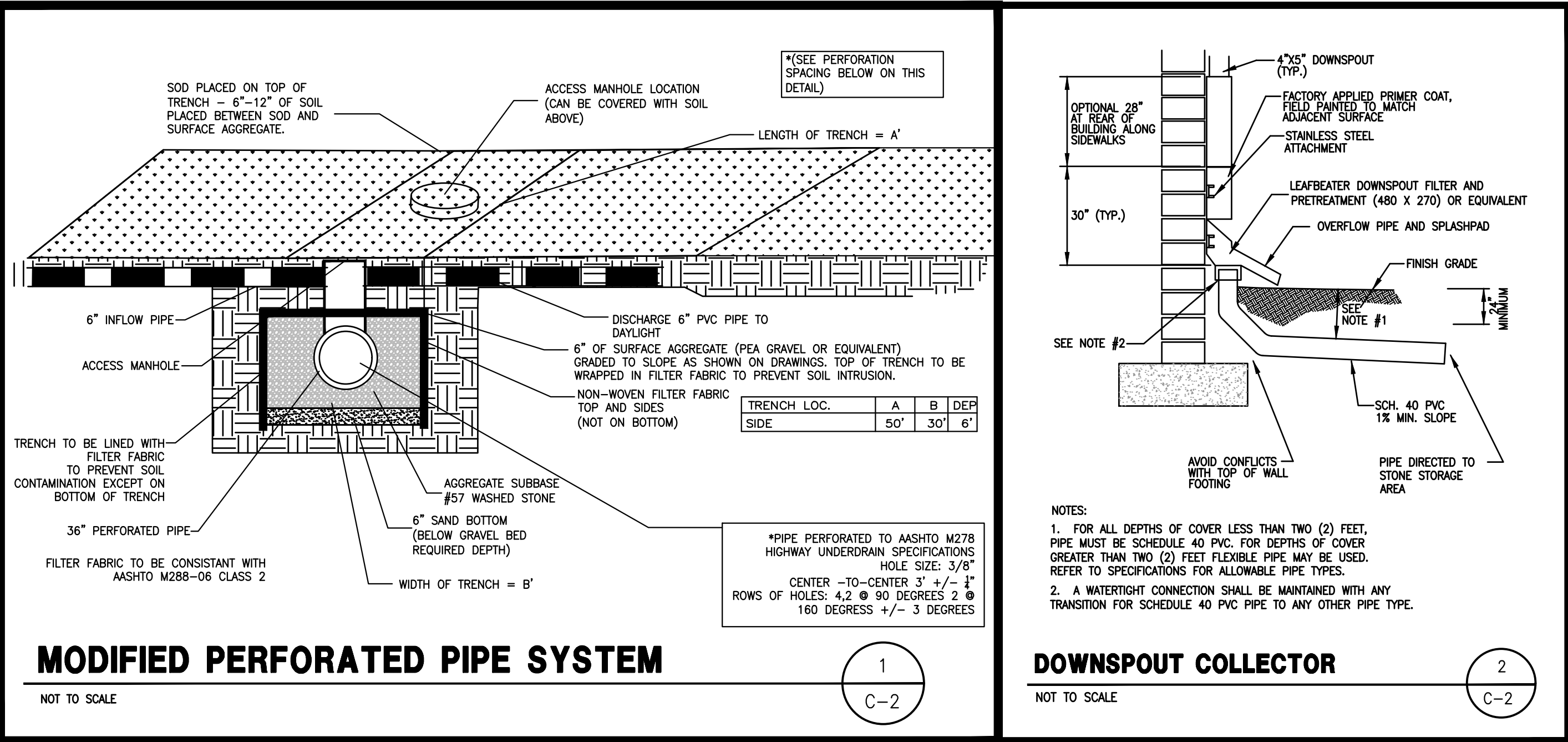
AS NEEDED

- PERFORM TOTAL REHABILITATION OF THE TRENCH TO MAINTAIN DESIGN STORAGE CAPACITY.
- EXCAVATE TRENCH WALLS TO EXPOSE CLEAN SOIL.UPON FAILURE



PEAK FLOW SUMMARY:

PEAK FLOW SUMMARY CHART FOR BASIN 1								
Storm Event	Pre-Developed Study Point Q (cfs)	Post-Developed Q (cfs) to Trench	Post-Developed Bypass Q (cfs)	Pond Routed Q (cfs)	Post-Developed Study Point (cfs)	% Reduction from Pre-Developed	Peak Pond Elevation (ft)	Total Pond Storage
1-YR	0.33	1.75	0.28	0.000	0.28	14.11%	895.64	1,573
2-YR	0.38	2.02	0.32	0.000	0.32	14.36%	895.98	1,809
5-YR	0.46	2.46	0.39	0.000	0.39	14.22%	895.56	2,203
10-YR	0.53	2.83	0.45	0.000	0.45	14.28%	897.05	2,536
25-YR	0.62	3.35	0.54	0.000	0.54	14.26%	897.79	3,007
50-YR	0.70	3.78	0.60	0.000	0.60	14.35%	898.42	3,391
100-YR	0.78	4.20	0.67	0.000	0.67	14.30%	899.05	3,769



ES&PC NOTES:

1. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
2. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
4. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SEDIMENT PONDS ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
6. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
7. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN 14 DAYS.
8. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
9. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS.
10. PERSON RESPONSIBLE FOR EROSION CONTROL MEASURES IS: 24 HOUR EMERGENCY CONTACT, WHOSE NAME IS FOUND AT THE TOP OF THIS SHEET
11. CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
12. SEDIMENTATION & EROSION CONTROL MEASURES TO BE INSPECTED DAILY.
13. NO WETLANDS EXIST ON OR WITHIN 200 FEET OF THE PROJECT SITE.
14. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORMWATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTIONS AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTIONS, SILT AND DEBRIS, AND OPERATIONAL.
15. ACCESS EASEMENT TO BE CLEARED AND GRUBBED.

SEDIMENT STORAGE CALCULATIONS:

SILT FENCE PROVIDED = 1,698 LINEAR FEET OF SINGLE ROW SILT
FENCE SEDIMENT STORAGE REQUIRED = 62.37 CY
SEDIMENT STORAGE PROVIDED = 67.92 CY

GRADING NOTES:

1. APPROVED EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY DETENTION BMP INSTALLATION (NOT PART OF THIS PLAN) SURVEY
2. INFORMATION TAKEN FROM THE SURVEY FOUND ON SHEET S-1.
3. DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
6. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
7. ALL ELEVATIONS SHOWN ARE FINISHED GRADE.
8. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.
9. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
10. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

24 HOUR EMERGENCY CONTACT: DOUG DILLARD 770-519-6917

RELEASE FOR CONSTRUCTION

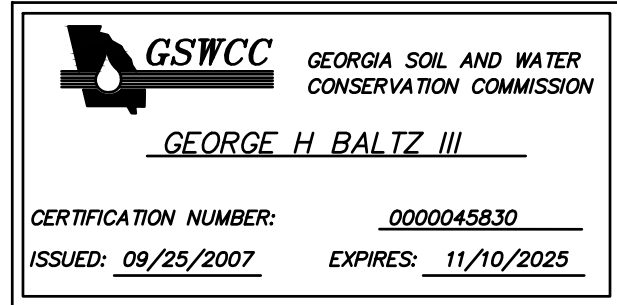


THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR FOR EFFECTIVE EROSION IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ANY DISTURBED AREAS REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

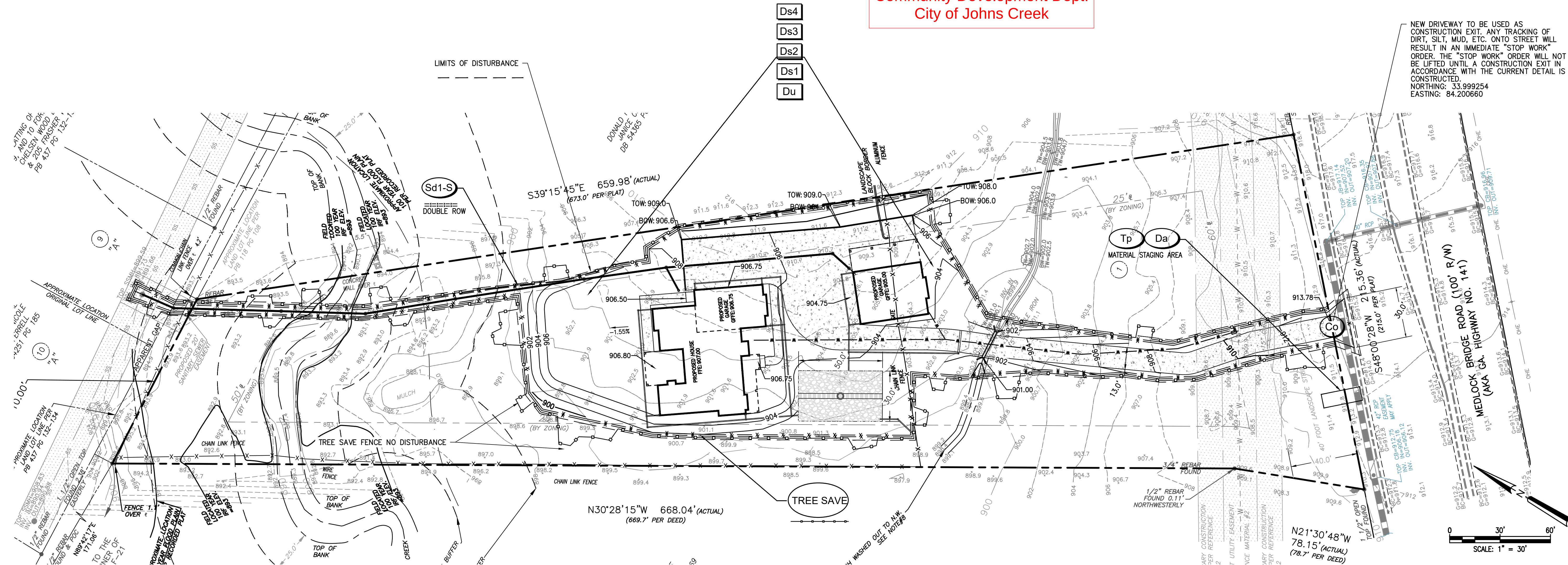


SEAL
NUMBER: 0000045830
EXPIRATION 11-10-25

CITY OF JOHNS CREEK NOTE:

1. THIS PROPERTY IS COMPLETELY OR PARTIALLY WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS.
2. ALL CONSTRUCTION MUST CONFORM TO CITY OF JOHNS CREEK STANDARDS.
3. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY ONSITE, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE CITY'S DEVELOPMENT INSPECTOR, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH WITH TREE SAVE FENCE, AND SHALL REMAIN MARKED THROUGHOUT CONSTRUCTION, UNTIL FINAL STABILIZATION.
4. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
5. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND RIVER CORRIDOR CERTIFICATE/PERMIT SHALL BE PRESENT ONSITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
6. A FINAL ON-SITE INSPECTION BY THE DIRECTOR OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT OR HIS/HER DESIGNEE IS REQUIRED PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY. A CERTIFIED AS-BUILT SURVEY MAY BE REQUIRED.
7. THIS PLAN IS APPROVED FOR RIVER CORRIDOR ONLY. IT DOES NOT ENTITLE LAND DISTURBING ACTIVITY OR CONSTRUCTION OF STRUCTURES WITHOUT FIRST OBTAINING ALL APPLICABLE PERMITS.

Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek



Prepared By:
CRESCENT VIEW
ENGINEERING, LLC:
211 Fraser Street
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

PREPARED FOR:
DOUG DILLARD
4645 SAKROCK CT
PEACHTREE CITY, GA 30096
770-519-6917
DOUG@BB-CONST.COM

ES&PC PLAN

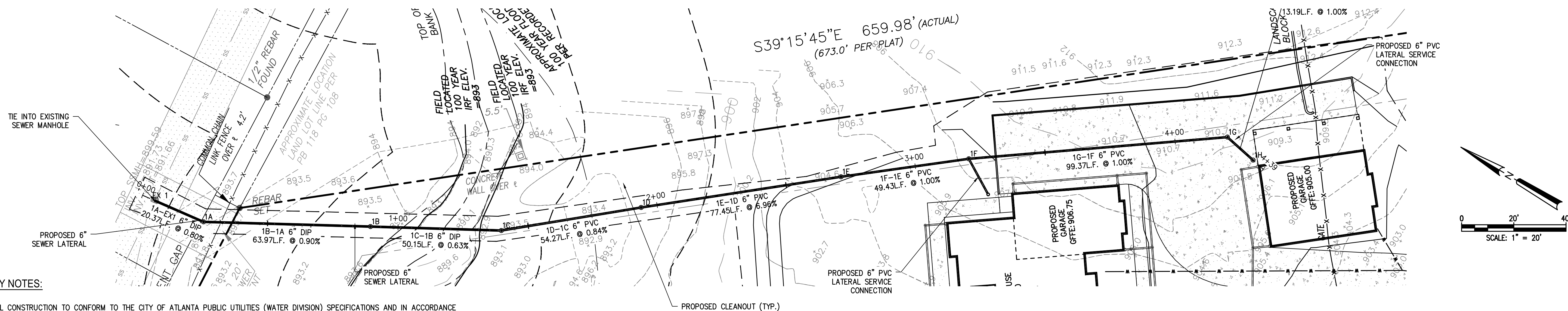


CONSTRUCTION PLANS FOR:
8950 MEDLOCK BRIDGE ROAD
LAND LOT F-21, 1ST DISTRICT
JOHNS CREEK, FULTON COUNTY, GEORGIA

CVE PI # 24-315

SHEET NO.
C-3

24 HOUR EMERGENCY CONTACT: DOUG DILLARD 770-519-6917



1. ALL CONSTRUCTION TO CONFORM TO THE CITY OF ATLANTA PUBLIC UTILITIES (WATER DIVISION) SPECIFICATIONS AND IN ACCORDANCE WITH UTILITY HAVING JURISDICTION STANDARD & ORDINANCE.
2. SEWER PIPE SHALL HAVE GRAVEL BEDDING.
3. TRANSITION JOINTS BETWEEN SEWER PIPES OF DIFFERENT MATERIALS SHALL BE ACCOMPLISHED BY THE USE OF ADAPTERS. CONCRETE COLLARS ARE NOT ACCEPTABLE.
4. SANITARY SEWER PIPE SHALL BE ASTM D3034, RATED SDR 35 WITH INTEGRAL BELL, BELL & SPIGOT TYPE JOINTS (WITH RUBBER), OR DUCTILE IRON (D.I.) PIPE (CLASS 52) WITH PUSH-ON OR MECHANICAL JOINTS UNLESS OTHERWISE NOTED.
5. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
6. CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH GOVERNING JURISDICTION.
7. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COSTS TO THE OWNER.
8. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
9. CONTRACTOR TO KEEP EXISTING UTILITIES ACTIVE UNTIL NEW LINE IS CONSTRUCTED AND SWITCHOVER OCCURS.
10. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.
11. As-builts required. No C.O. issued until as-builts have been approved by CCWS.

Received
January 14, 2025
RC-24-0001
Planning & Zoning
Community Development Dept.
City of Johns Creek

GEORGIA811
Utilities Protection Center, Inc.

**Know what's below.
Call before you dig.**

Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Fraser Street
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

PREPARED FOR:
DOUG DILLARD
4645 SAYBROOK CT
PEACHTREE CORNERS GA 30096
770-519-6917
DOUG@BB-CONST.COM

SEWER PLAN

DATE	12-11-24	REVISIONS
SCALE	AS SHOWN	01-14-25
DRAWN	AHG	CITY COMMENTS
CHECKED	GHR	



CONSTRUCTION PLANS FOR:
8950 MEDLOCK BRIDGE ROAD
LAND LOT F-21, 1ST DISTRICT
JOHNS CREEK, FULTON COUNTY, GEORGIA

CVE PI #	24-315
----------	--------

SHEET NO.
C-4

TREE LIST:

TREE LIST ON SHEET C-5.1

CONSTRUCTION NOTE IN AREA OF CRITICAL ROOT ZONE:

1. AT THE END OF CONSTRUCTION IN THE SRP OF TREE.
2. THE DRIVEWAY IS TO REMAIN IN THIS AREA UNTIL IT IS REPLACED.
3. IN THE AREA OF CRITICAL ROOT ZONE/STRUCTURAL ROOT PLAT USE HAND MACHINERY TO REMOVE PAVEMENT (I.E. JACK HAMMER)
4. NO CUT OR FILL OF EARTH ALLOWED WITHIN THE STRUCTURAL ROOT PLATE OF TREE.
5. THE AREA WILL BE LEVELED USING CRUSH-N-RUN OR SAND OR 57 STONE. DO NOT COMPACT SOIL.
6. 6mm WILL BE LAID DOWN IN AREA BEFORE CONCRETE IS POURED.

GENERAL LANDSCAPE NOTES:

1. TREE PROTECTION SHALL CONSIST OF CHAIN LINK, OR ORANGE LAMINATED PLASTIC, IN ADDITION TO FENCE, WHERE TREE TRUNKS ARE IN JEOPARDY OF BEING DAMAGED BY EQUIPMENT, 2X4 - INCH BOARDS MAY BE REQUESTED TO BE STRAPPED AROUND THE TRUNKS OF THE TREES.
2. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING
3. TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF JOHNS CREEK STANDARDS, ANY FIELD ADJUSTMENT TO THE LOCATIONS OF TREE PROTECTION DEVICES OR SUBSTITUTIONS OF PAINT MATERIAL FROM WHAT IS SHOWN ON THE APPROVAL PLANS ARE SUBJECT TO REVIEW AND APPROVAL OF THE CITY.

TREE SAVE/REPLACEMENT SCHEDULE:

TREES TO REMAIN ONSITE = 245 TREES AND 2,621 INCHES (DBH)

24 HOUR EMERGENCY CONTACT: DOUG DILLARD 770-519-6917

RELEASE FOR CONSTRUCTION



Know what's below.
Call before you dig.

Prepared By:
 CRESCENT VIEW
 ENGINEERING, LLC:
 211 Fraser Street
 Marietta, GA 30060
 678-324-9410
 www.crescentvieweng.com

PREPARED FOR:
 DOUG DILLARD
 4645 SATEBROOK CT
 PEACHTREE CITY, GA 30096
 770-519-6917
 DOUG@BBB-CONST.COM

TREE PLAN

DATE	12-11-24	REVISIONS	
DRAWN	AS SHOWN	01-14-25	CITY COMMENTS
CHECKED	AHG		
	GHB		

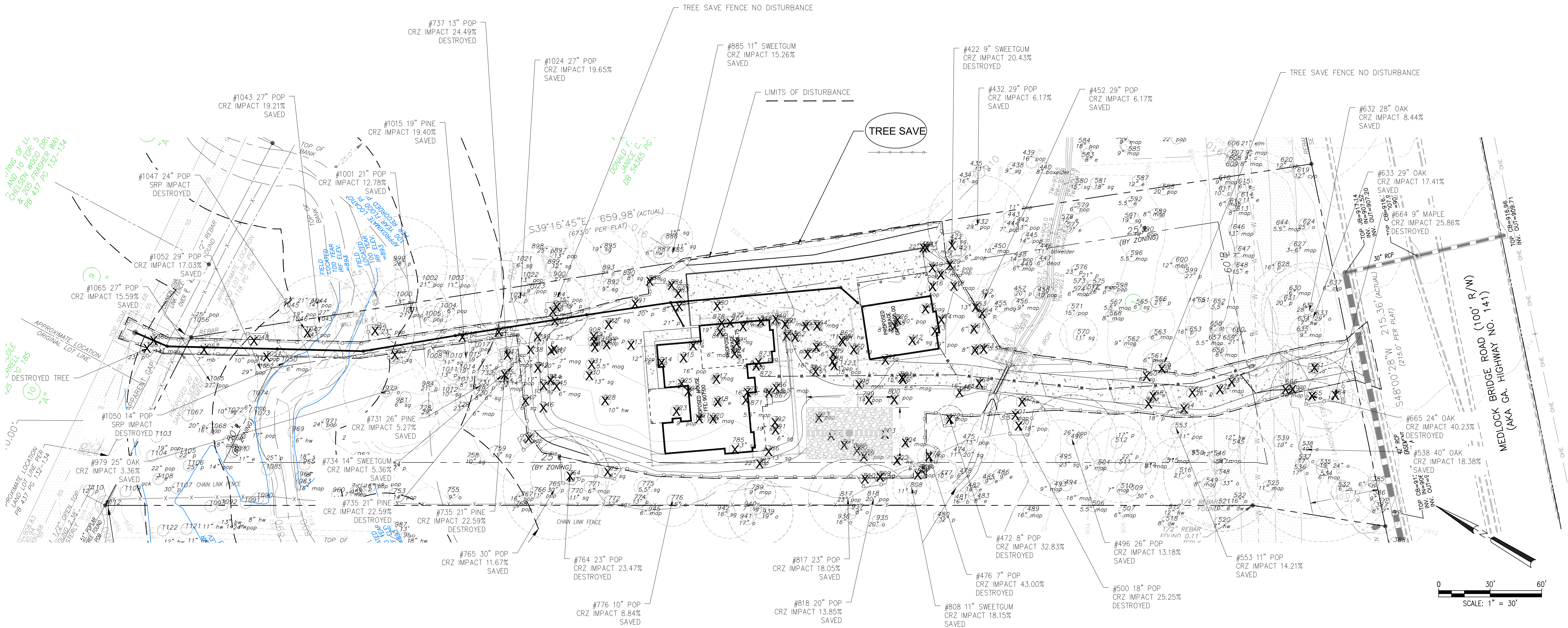


CONSTRUCTION PLANS FOR:
8950 MEDLOCK BRIDGE ROAD
 LAND LOT F-21, 1ST DISTRICT
 JOHNS CREEK, FULTON COUNTY, GEORGIA

CVE PI# 24-315

SHEET NO.

C-5.1



TREE LIST:

Existing Tree Data Table						BOUNDARY		580	15 SWEETGUM		0.00%	SAVED	SITE	823	9 POPLAR		100.00%	DESTROYED	BOUNDARY	1045	44 POPLAR		0.00%	SAVED
Location	Tree #	DBH	Species	% Impact	Status	BOUNDARY		581	18 SWEETGUM		0.00%	SAVED	SITE	825	18 SWEETGUM		100.00%	DESTROYED	SETBACK	1046	19 POPLAR		0.00%	DESTROYED
SITE	385		6 CYPRESS	100.00%	DESTROYED	BOUNDARY		583	8 ELM		0.00%	SAVED	SITE	826	20 POPLAR		100.00%	DESTROYED	SETBACK	1047	19 POPLAR		100.00%	DESTROYED
SITE	386		9 CYPRESS	0.00%	SAVED	BOUNDARY		584	18 POPLAR		0.00%	SAVED	SITE	848	12 POPLAR		100.00%	DESTROYED	SETBACK	1048	10 POPLAR		100.00%	DESTROYED
SITE	387		15 CYPRESS	0.00%	SAVED	BOUNDARY		585	9 MAPLE		0.00%	SAVED	SITE	849	14 SWEETGUM		100.00%	DESTROYED	SITE	1050	6 MAPLE		15.03%	DESTROYED
BOUNDARY	388		16 OAK	0.00%	SAVED	BOUNDARY		586	9 MAPLE		0.00%	SAVED	SITE	850	13 MAPLE		100.00%	DESTROYED	SETBACK	1051	14 POPLAR		49.38%	DESTROYED
SITE	412		14 SWEETGUM	100.00%	DESTROYED	BOUNDARY		587	12 ELM		0.00%	SAVED	SITE	851	7 SWEETGUM		100.00%	DESTROYED	SETBACK	1052	29 POPLAR		17.03%	SAVED
SITE	413		19 POP	100.00%	DESTROYED	SETBACK		588	20 POPLAR		0.00%	SAVED	SITE	852	20 POPLAR		100.00%	DESTROYED	BOUNDARY	1056	25 POPLAR		17.83%	SAVED
SITE	414		6 MAPLE	100.00%	DESTROYED	SETBACK		589	8 MAPLE		0.00%	SAVED	SITE	853	11 SWEETGUM		100.00%	DESTROYED	SITE	1057	7 MULBRY		100.00%	DESTROYED
SITE	415		9 MAGNOLIA	100.00%	DESTROYED	SETBACK		590	19 POPLAR		0.00%	SAVED	SITE	854	7 MAGNOLIA		100.00%	DESTROYED	BOUNDARY	1060	14 MAPLE		100.00%	DESTROYED
SITE	416		24 POPLAR	100.00%	DESTROYED	SETBACK		591	19 SWEETGUM		0.00%	SAVED	SITE	855	7 MAGNOLIA		100.00%	DESTROYED	BOUNDARY	1061	23 PINE		100.00%	DESTROYED
SITE	417		6 MAPLE	100.00%	DESTROYED	SETBACK		592	6 ELM		0.00%	SAVED	SITE	856	16 SWEETGUM		100.00%	DESTROYED	SITE	1065	27 POPLAR		15.59%	SAVED
SITE	418		7 MAPLE	100.00%	DESTROYED	SITE		598	6 MAPLE		0.00%	SAVED	SITE	857	6 OAK		100.00%	DESTROYED	SITE	1067	20 PINE		0.00%	SAVED
SITE	419		22 POPLAR	0.00%	SAVED	SITE		599	13 POPLAR		0.00%	SAVED	SITE	858	6 OAK		100.00%	DESTROYED	SITE	1068	16 POPLAR		0.00%	SAVED
SITE	420		14 POPLAR	100.00%	DESTROYED	SITE		600	27 POPLAR		0.00%	SAVED	SITE	859	6 SWEETGUM		100.00%	DESTROYED	SITE	1069	18 POPLAR		0.00%	SAVED
SETBACK	421		6 MAPLE	100.00%	DESTROYED	SITE		601	12 MAPLE		0.00%	SAVED	SITE	860	15 SWEETGUM		100.00%	DESTROYED	SITE	1070	11 ELM		0.00%	SAVED
SETBACK	422		9 SWEETGUM	20.43%	DESTROYED	BOUNDARY		605	22 POPLAR		0.00%	SAVED	SITE	861	9 HARDWOOD		100.00%	DESTROYED	SITE	1071	14 POPLAR		0.00%	SAVED
SETBACK	423		7 MAGNOLIA	100.00%	DESTROYED	BOUNDARY		606	21 ELM		0.00%	SAVED	SITE	862	11 HARDWOOD		100.00%	DESTROYED	SITE	1072	10 SWEETGUM		0.00%	SAVED
SETBACK	424		22 SWEETGUM	100.00%	DESTROYED	BOUNDARY		607	9 MAPLE		0.00%	SAVED	SITE	866	6 MAPLE		100.00%	DESTROYED	SITE	1073	17 POPLAR		0.00%	SAVED
SETBACK	432		29 POP	6.17%	SAVED	BOUNDARY		608	9 CHERRY		0.00%	SAVED	SITE	867	10 POPLAR		100.00%	DESTROYED	SITE	1074	6 MAPLE		0.00%	SAVED
BOUNDARY	434		16 SWEETGUM	0.00%	SAVED	BOUNDARY		609	8 MAPLE		0.00%	SAVED	SITE	870	16 POPLAR		100.00%	DESTROYED	SETBACK	1085	25 PINE		0.00%	SAVED
BOUNDARY	435		13 CHERRY	0.00%	SAVED	SITE		610	9 MAPLE		0.00%	SAVED	SITE	871	10 POPLAR		100.00%	DESTROYED	SETBACK	1091	8 HARDWOOD		0.00%	SAVED
BOUNDARY	438		9 SWEETGUM	0.00%	SAVED	SITE		611	10 CHERRY		0.00%	SAVED	SITE	872	6 MAPLE		100.00%	DESTROYED	SETBACK	1092	24 POPLAR		0.00%	SAVED
BOUNDARY	439		16 POPLAR	0.00%	SAVED	SITE		612	6 MAPLE		0.00%	SAVED	SITE	873	9 POPLAR		100.00%	DESTROYED	BOUNDARY	1093	27 HARDWOOD		0.00%	SAVED
BOUNDARY	440		8 BOXELDER	0.00%	SAVED	SITE		613	8 MAPLE		0.00%	SAVED	SITE	874	23 PINE		100.00%	DESTROYED	SITE	1103	19 POPLAR		0.00%	SAVED
SETBACK	442		13 POPLAR	0.00%	SAVED	SITE		614	11 ELM		0.00%	SAVED	SITE	875	6 SWEETGUM		100.00%	DESTROYED	SITE	1104	22 POPLAR		0.00%	SAVED
SETBACK	443		11 POPLAR	0.00%	SAVED	SITE		615	6 ELM		0.00%	SAVED	SITE	876	7 MAPLE		100.00%	DESTROYED	SITE	1105	22 PINE		0.00%	SAVED
SETBACK	444		7 POPLAR	0.00%	SAVED	SITE		619	12 CYPRESS		0.00%	SAVED	SITE	877	10 SWEETGUM		100.00%	DESTROYED	SITE	1106	25 PINE		0.00%	SAVED
SETBACK	445		14 POPLAR	0.00%	SAVED	BOUNDARY		620	12 CYPRESS		0.00%	SAVED	SITE	878	17 PINE		100.00%	DESTROYED	SITE	1107	30 PINE		0.00%	SAVED
SITE	446		11 BOXELDER	0.00%	SAVED	SITE		624	25 OAK		0.00%	SAVED	SITE	879	6 MAGNOLIA		100.00%	DESTROYED	SITE	1108	7 ELM		0.00%	SAVED
SITE	447		6 DEAD	0.00%	SAVED	SITE		627	18 MAPLE		0.00%	SAVED	SITE	880	19 POPLAR		100.00%	DESTROYED	SITE	1109	14 HACKBERRY		0.00%	SAVED
SITE	448		14 POPLAR	0.00%	SAVED	SITE		628	16 PINE		0.00%	SAVED	SITE	881	21 PINE		100.00%	DESTROYED	BOUNDARY	1110	12 PINE		0.00%	SAVED
SITE	449		6 MAPLE	0.00%	SAVED	SITE		630	6 MAPLE		0.00%	SAVED	SETBACK	883	8 HARDWOOD		100.00%	DESTROYED	BOUNDARY	1111	26 PINE		0.00%	SAVED
SETBACK	450		10 MAPLE	0.00%	SAVED	SITE		631	20 PINE		0.00%	SAVED	SETBACK	884	8 MAPLE		100.00%	DESTROYED	BOUNDARY	1112	51 POPLAR		0.00%	SAVED
SITE	452		7 ELM	1.95%	SAVED	SITE		632	28 OAK		8.44%	SAVED	BOUNDARY	885	11 SWEETGUM		15.26%	SAVED	BOUNDARY	1121	11 HARDWOOD		0.00%	SAVED
SITE	453		13 SWEETGUM	100.00%	DESTROYED	SITE		633	29 OAK		0.00%	SAVED	BOUNDARY	886	15 SWEETGUM		0.00%	SAVED	BOUNDARY	1122	12 HARDWOOD		0.00%	SAVED
SITE	454		22 PINE	50.00%	DESTROYED	SITE		634	7 HARDWOOD		0.00%	SAVED	BOUNDARY	887	6 HARDWOOD		0.00%	SAVED	SITE	1123	15 POPLAR		100.00%	DESTROYED
SITE	455		7 MAGNOLIA	0.00%	SAVED	SITE		635	9 MAPLE		0.00%	SAVED	SETBACK	889	9 SWEETGUM		100.00%	DESTROYED						
SITE	456		9 MAGNOLIA	0.00%	SAVED	SITE		637	6 CYPRESS		0.00%	SAVED	SETBACK	890	8 SWEETGUM		0.00%	SAVED						
SITE	457		20 PINE	0.00%	SAVED	SITE		644	6 MAPLE		0.00%	SAVED	SETBACK	891	20 PINE		100.00%	DESTROYED						
SITE	458		10 POPLAR	0.00%	SAVED	SITE		646	13 MAPLE		0.00%	SAVED	SETBACK	892	9 SWEETGUM		100.00%	DESTROYED						
SITE	461		6 ELM	100.00%	DESTROYED	SITE		647	7 MAPLE		0.00%	SAVED	SETBACK	893	7 CHERRY		0.00%	SAVED						
SITE	462		8 SWEETGUM	100.00%	DESTROYED	SITE		648	15 ELM		0.00%	SAVED	BOUNDARY	895	19 SWEETGUM		0.00%	SAVED						
SITE	463		6 MAPLE	100.00%	DESTROYED	SITE		651	14 PINE		0.00%	SAVED	BOUNDARY	897	13 POPLAR		0.00%	SAVED						
SITE	464		15 POPLAR	100.00%	DESTROYED	SITE		652	6 MAPLE		0.00%	SAVED	BOUNDARY	898	25 PINE		0.00%	SAVED						
SITE	465		16 POPLAR	100.00%	DESTROYED	SITE		653	16 PINE		0.00%	SAVED	BOUNDARY	899	12 SWEETGUM		0.00%	SAVED						
SITE	472		8 MAPLE	32.83%	DESTROYED	SITE		656	6 MAPLE		0.00%	SAVED	BOUNDARY	900	27 PINE		18.64%	SAVED						
SITE	474		20 SWEETGUM	0.00%	SAVED	SITE		657	6 MAPLE		0.00%	SAVED	SETBACK	904	15 POPLAR		17.83%	SAVED						
SITE	475		13 POPLAR	0.00%	SAVED	SITE		658	9 DEAD		0.00%	SAVED	SETBACK	905	19 PINE		35.27%	DESTROYED						
SITE	476		7 POPLAR	43.00%	DESTROYED	SITE		659	21 OAK		0.00%	SAVED	SETBACK	906	6 MAGNOLIA		100.00%	DESTROYED						
SETBACK	477		10 PINE	0.00%	SAVED	SITE		660	27 OAK		19.21%	SAVED	SETBACK	907	7 SWEETGUM		100.00%	DESTROYED						
SETBACK	478		6 ELM	0.00%	SAVED	SITE		661	23 OAK		100.00%	DESTROYED	SITE	908	19 PINE		100.00%	DESTROYED						
BOUNDARY	480		32 PINE	0.00%	SAVED	SITE		664	16 OAK		25.86%	DESTROYED	SITE	909	6 MAPLE		100.00%	DESTROYED						
SETBACK	481		16 BIRCH	0.00%	SAVED	SITE		665	24 OAK		40.23%	DESTROYED	SITE	910	6 MAPLE		100.00%	DESTROYED						
SETBACK	482		16 ELM	0.00%	SAVED	SITE		666	9 MAPLE		100.00%	DESTROYED	SITE	911	21 PINE		100.00%	DESTROYED						
SETBACK	483		8 ELM	0.00%	SAVED	SITE		667	10 MAPLE		100.00%	DESTROYED	SITE	912	12 SWEETGUM		100.00%	DESTROYED						
SETBACK	485		9 ELM	0.00%	SAVED	SITE		671	23 PINE		0.00%	SAVED	SITE	913	12 POPLAR		100.00%	DESTROYED						
SETBACK	486		9 ELM	0.00%	SAVED	SITE		672	7 MAPLE		0.00%	SAVED	SITE	914	6 POPLAR		0.00%	SAVED						
BOUNDARY	489		16 MAPLE	0.00%	SAVED	SITE		728	29 PINE		0.00%	SAVED	SITE	915	16 POPLAR		100.00%	DESTROYED						
SETBACK	493		9 MAPLE	0.00%	SAVED	SITE		729	23 PINE		0.00%	SAVED	SITE	916	10 ELM		100.00%	DESTROYED						
SETBACK	494		16 MAPLE	0.00%	SAVED	SITE		730	6 MAPLE		0.00%	SAVED	SITE	917	8 MAGNOLIA		100.00%	DESTROYED						
SITE	495		23 SWEETGUM	0.00%	SAVED	SITE		731	26 PINE		0.00%	SAVED	SITE	918	6 ELM		100.00%	DESTROYED						
SITE	496		26 POPLAR	100.00%	DESTROYED	SITE		732	15 PINE		0.00%	SAVED	SITE	920	7 MAGNOLIA		100.00%	DESTROYED						
SITE	500		18 POPLAR	25.25%	DESTROYED	SITE		733	9 MAPLE		0.00%	SAVED	SITE	921	10 POPLAR		100.00%	DESTROYED						
SITE	501		6 MAPLE	100.00%	DESTROYED	SITE		734	14 SWEETGUM		5.36%	DESTROYED	SITE	923	9 POPLAR		100.00%	DESTROYED						
SITE	502		12 HADWOOD	100.00%	DESTROYED	SITE		735	21 PINE		22.59%	DESTROYED	SITE	924	9 SWEETGUM		100.00%	DESTROYED						
SETBACK	504		9 MAPLE	0.00%	SAVED	SITE		736	8 MAGNOLIA		15.92%	DESTROYED	SITE	925	7 ELM		100.00%	DESTROYED						
BOUNDARY	506		6 MAPLE	0.00%																				

APPLICATION OF MULCH

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SAWDUST APPLIED TO DEPTH OF 2 - 3 INCHES

Ds1

PLANTS, PLANTING RATES, & PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS											
SPECIES	BROADCAST RATES 1/-P.S. 2/-PER 1000 SQ. FT.	PLANTING DATES BY RESOURCE AREAS		REMARKS	SPECIES	BROADCAST RATES 1/-P.S. 2/-PER 1000 SQ. FT.	PLANTING DATES BY RESOURCE AREAS		REMARKS	SPECIES	BROADCAST RATES 1/-P.S. 2/-PER 1000 SQ. FT.
		AREA 1/2	AREA 2/2				AREA 1/2	AREA 2/2			
BARLEY (HORDEUM VULGARE)					MILLET, PEARL (Pennisetum glaucum)						
ALONE	3 bu. (144 lb.)				ALONE	50 lbs. 1.1 lb.					
IN MIXTURES	3.3 lb. (144 lb.)										
LESPEDEZA ANNUAL (LESPEDEZA STRIATA)					OATS (Avena sativa)						
ALONE	40 lbs. 0.9 lb.				ALONE	4 bu. (128 lb.)					
IN MIXTURES	10 lbs. 0.2 lb.				IN MIXTURES	1 bu. 0.7 lb. (32 lbs.)					
LOVEGRASS, WEEDING (Eragrostis curvula)					RYE (Secale cereale)						
ALONE	4 lbs. 0.1 lb.				ALONE	3 bu. (188 lb.)					
IN MIXTURES	2 lbs. 0.05 lb.				IN MIXTURES	1/2 bu. 0.6 lb. (28 lbs.)					
MILLET, BROWNTOP (Panicum fasciculatum)					RYEGRASS, ANNUAL (Lolium temulentum)						
ALONE	40 lbs. 0.9 lb.				ALONE	40 lbs. 0.9 lb.					
IN MIXTURES	10 lbs. 0.2 lb.				IN MIXTURES	60 lbs. 1.4 lb.					

DUST CONTROL ON DISTURBED AREAS

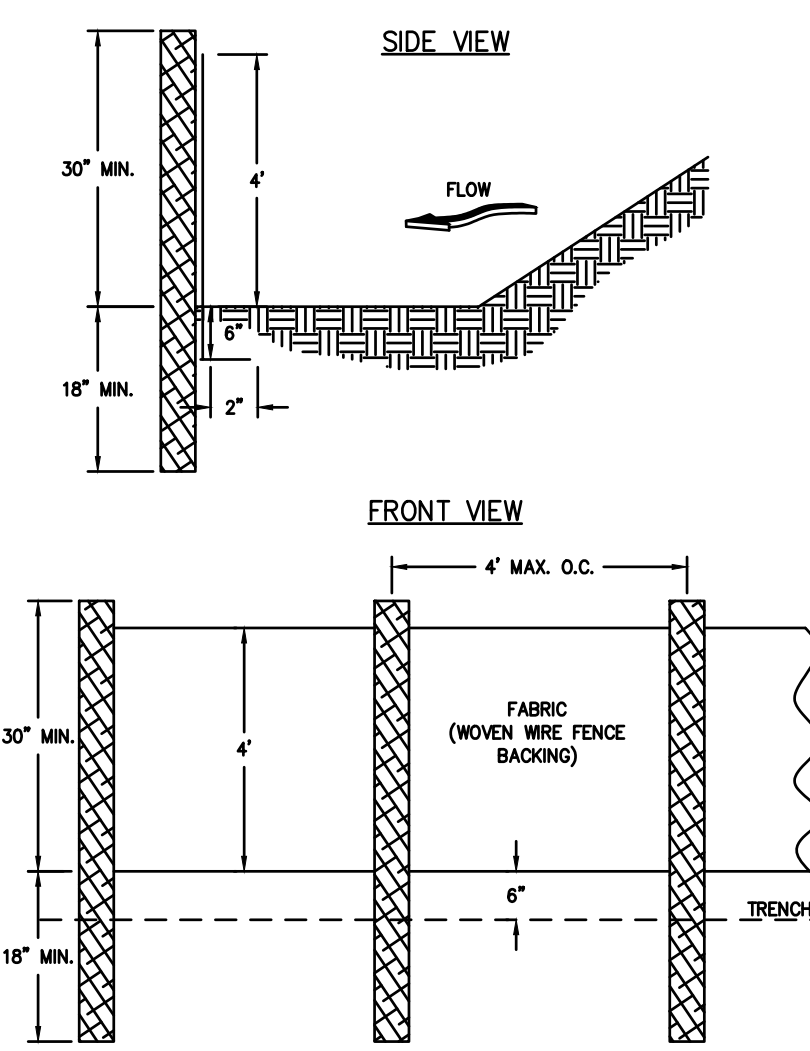
SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS.
CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED
TEMPORARY METHODS: Ds1-MULCHING, Td-TACKIFIERS AND BINDERS, Ds2-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION
PERMANENT METHODS: Ds3-PERMANENT VEGETATION, Ds4-SODDING

Du

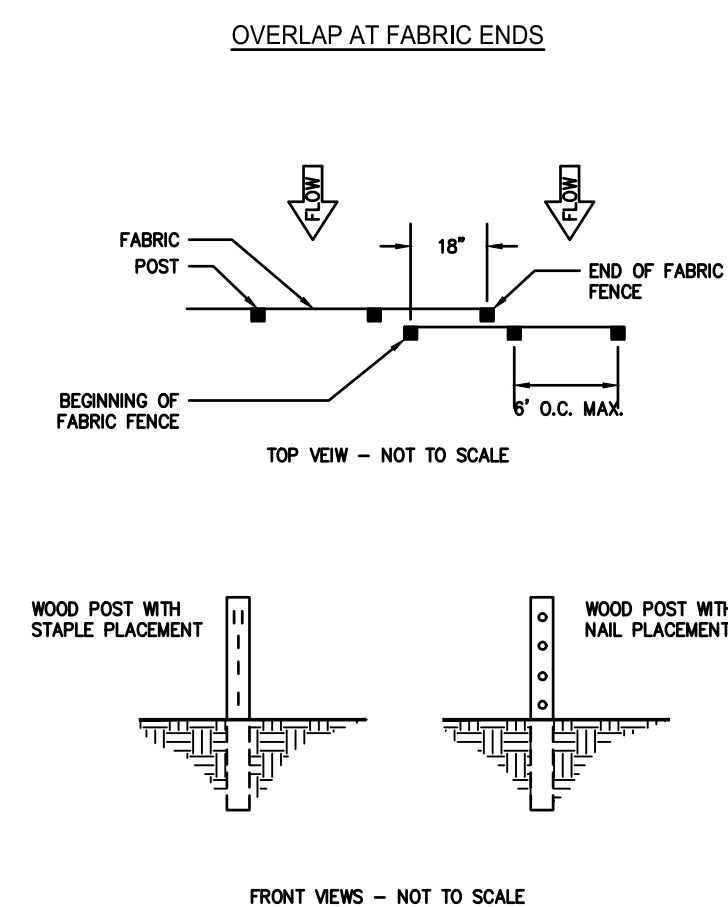
PLANTS, PLANTING RATES, & PLANTING DATES FOR PERMANENT COVER											
SPECIES	BROADCAST RATES 1/-P.S. 2/-PER 1000 SQ. FT.	PLANTING DATES BY RESOURCE AREAS		REMARKS	SPECIES	BROADCAST RATES 1/-P.S. 2/-PER 1000 SQ. FT.	PLANTING DATES BY RESOURCE AREAS		REMARKS	SPECIES	BROADCAST RATES 1/-P.S. 2/-PER 1000 SQ. FT.
		AREA 1/2	AREA 2/2				AREA 1/2	AREA 2/2			
BAHA/PENSACOLA (Paspalum notatum)					BERMUDA SPRIGS (Cynodon dactylon)						
ALONE OR WITH TEMPORARY COVER	60 lbs. 1.4 lb.				ALONE OR WITH TEMPORARY COVER	40 cu. ft. 0.9 cu. ft. OR 500 PLUS 3'x3'					
W/ OTHER PERENNIALS	30 lbs. 0.7 lb.				COASTAL COMMON MIDLAND, OR TIFT 44						
BAHA/WILMINGTON (Paspalum notatum)					PASTURES & LAWNS, MIDCOASTAL COMMON, W/ SARCEA LESPEDEZA OR TIFT 44						
ALONE OR WITH TEMPORARY COVER	60 lbs. 1.4 lb.				TIFT 78						
W/ OTHER PERENNIALS	30 lbs. 0.7 lb.				CENTIPEDE (Eremochloa ophiuroides)						
BERMUDA, COMMON (Cynodon dactylon)					ALONE	50 lbs. 1.1 lb.					
WITH TEMPORARY COVER	10 lbs. 0.2 lb.				WITH OTHER PERENNIALS	30 lbs. 0.7 lb.					
WITH OTHER PERENNIALS	6 lbs. 0.1 lb.										
BERMUDA, COMMON (Cynodon dactylon)					ALONE	10 lbs. 0.2 lb.					
WITH OTHER PERENNIALS	6 lbs. 0.1 lb.				WITH OTHER PERENNIALS	6 lbs. 0.1 lb.					

PERMANENT GRASSING

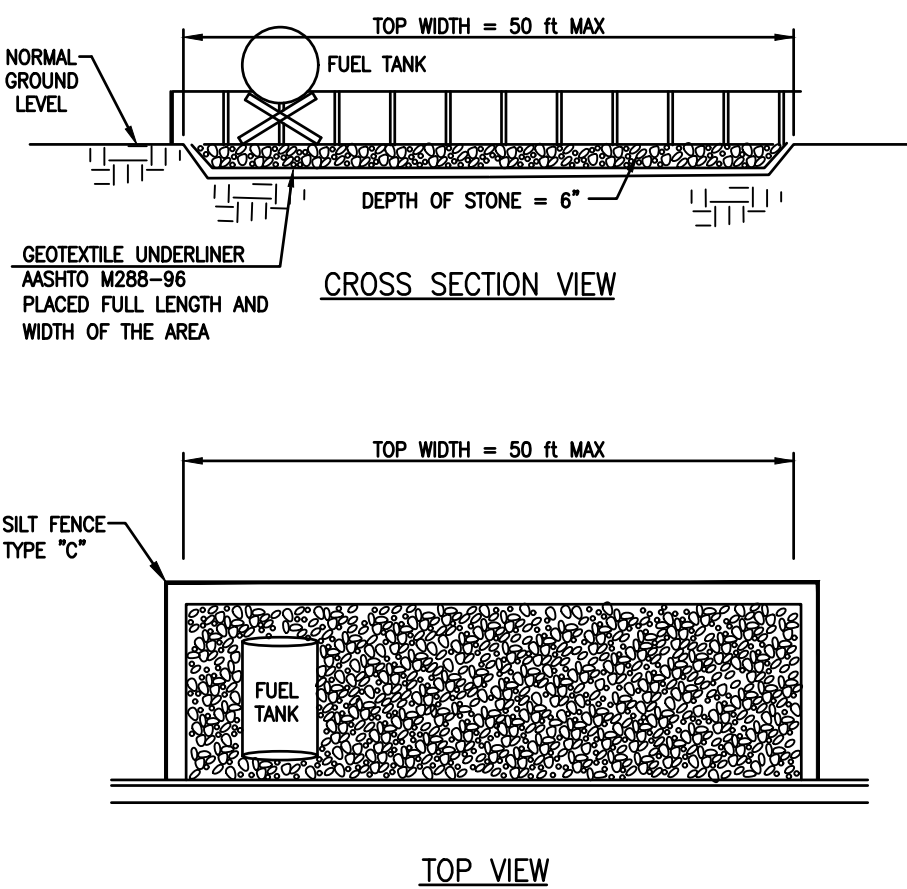
NOT TO SCALE

Ds3**SILT FENCE - TYPE SENSITIVE**

- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

FASTENERS FOR SILT FENCES

- NOTES:
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

Sd1-S**24 HOUR EMERGENCY CONTACT: DOUG DILLARD 770-519-6917**

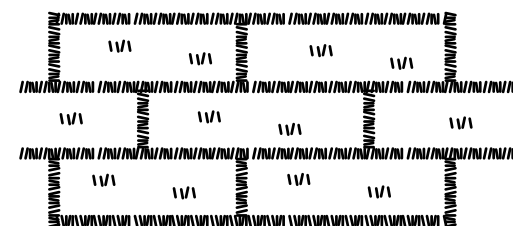
- NOTES:
1. AREA DESIGNATED FOR FUEL STORAGE AND CONCRETE TRUCKS TO DUMP EXCESS CONCRETE.

DISPOSAL AREA

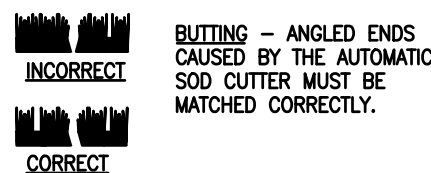
NOT TO SCALE

Da**TEMPORARY GRASSING**

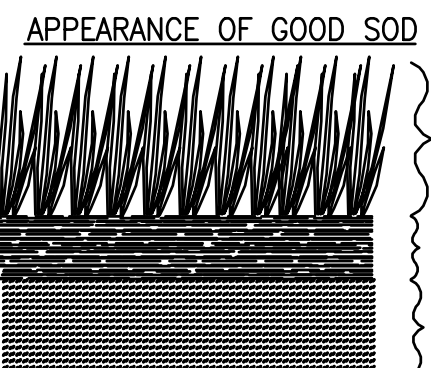
NOT TO SCALE

Ds2

LAY SOD IN A STAGGERED PATTERN, BUT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.



1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.
2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS Laid.
3. NOW WHEN THE SOD IS ESTABLISHED - IN 2-3 WEEKS, SET THE MOWER HIGH (2"-3").



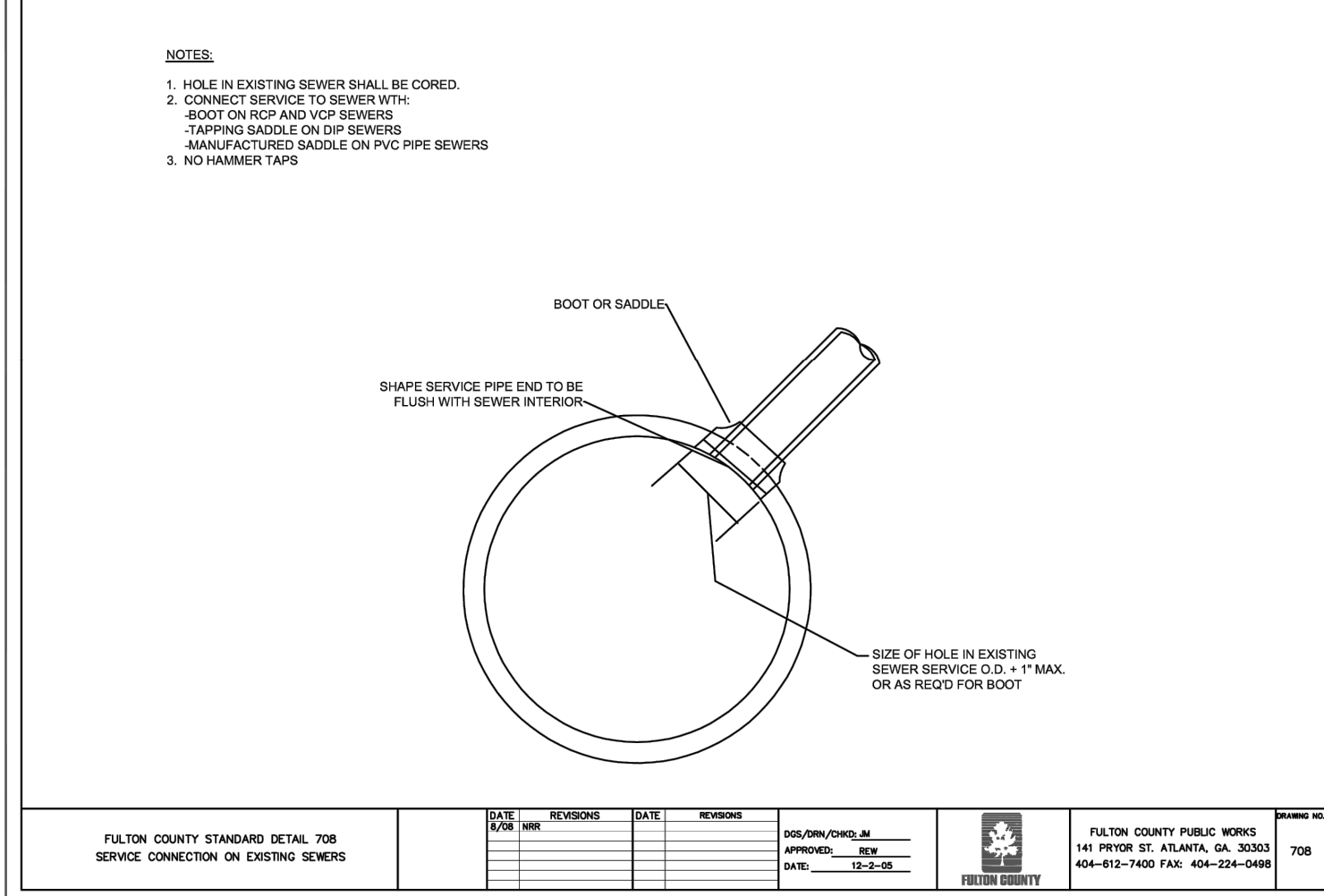
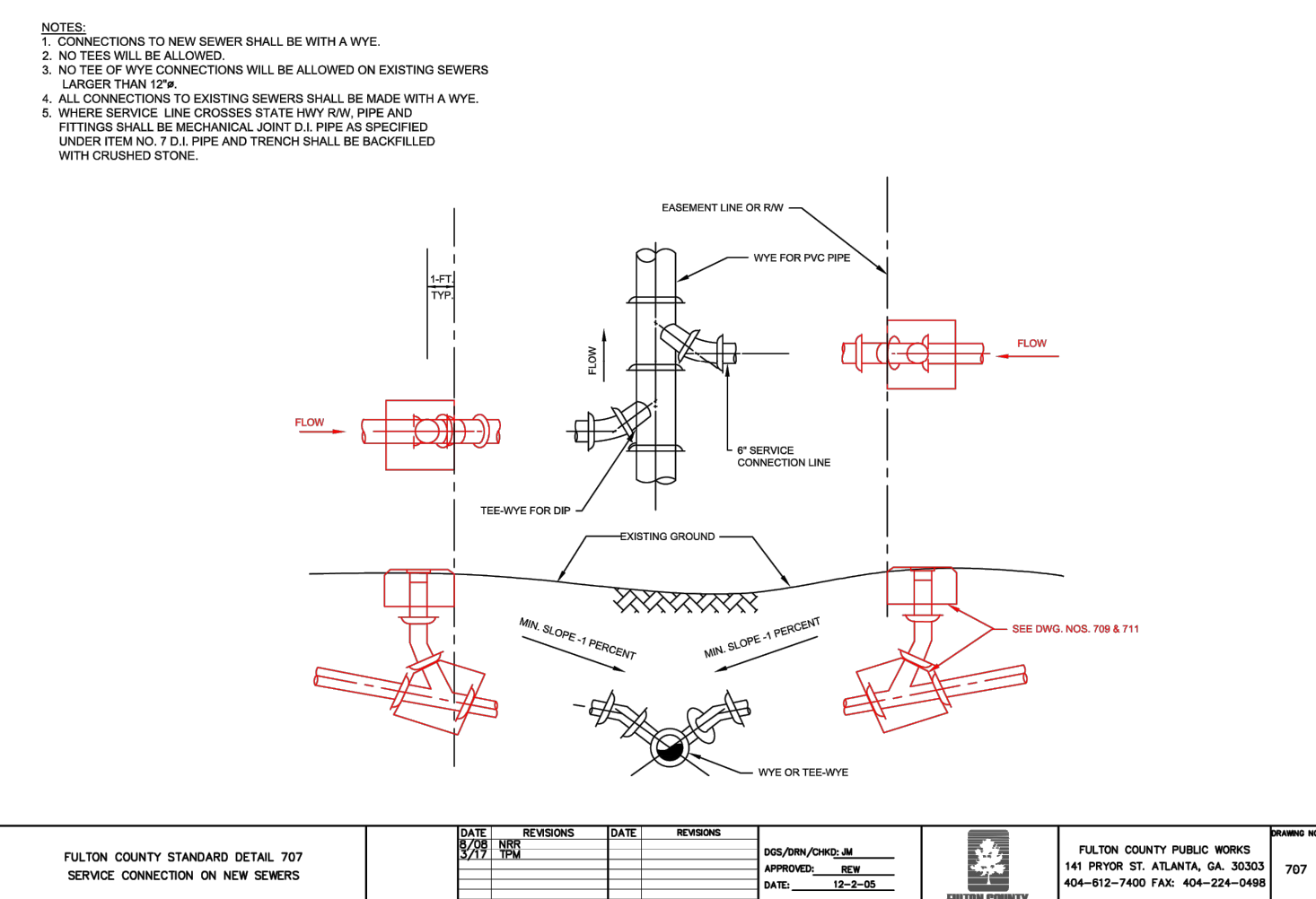
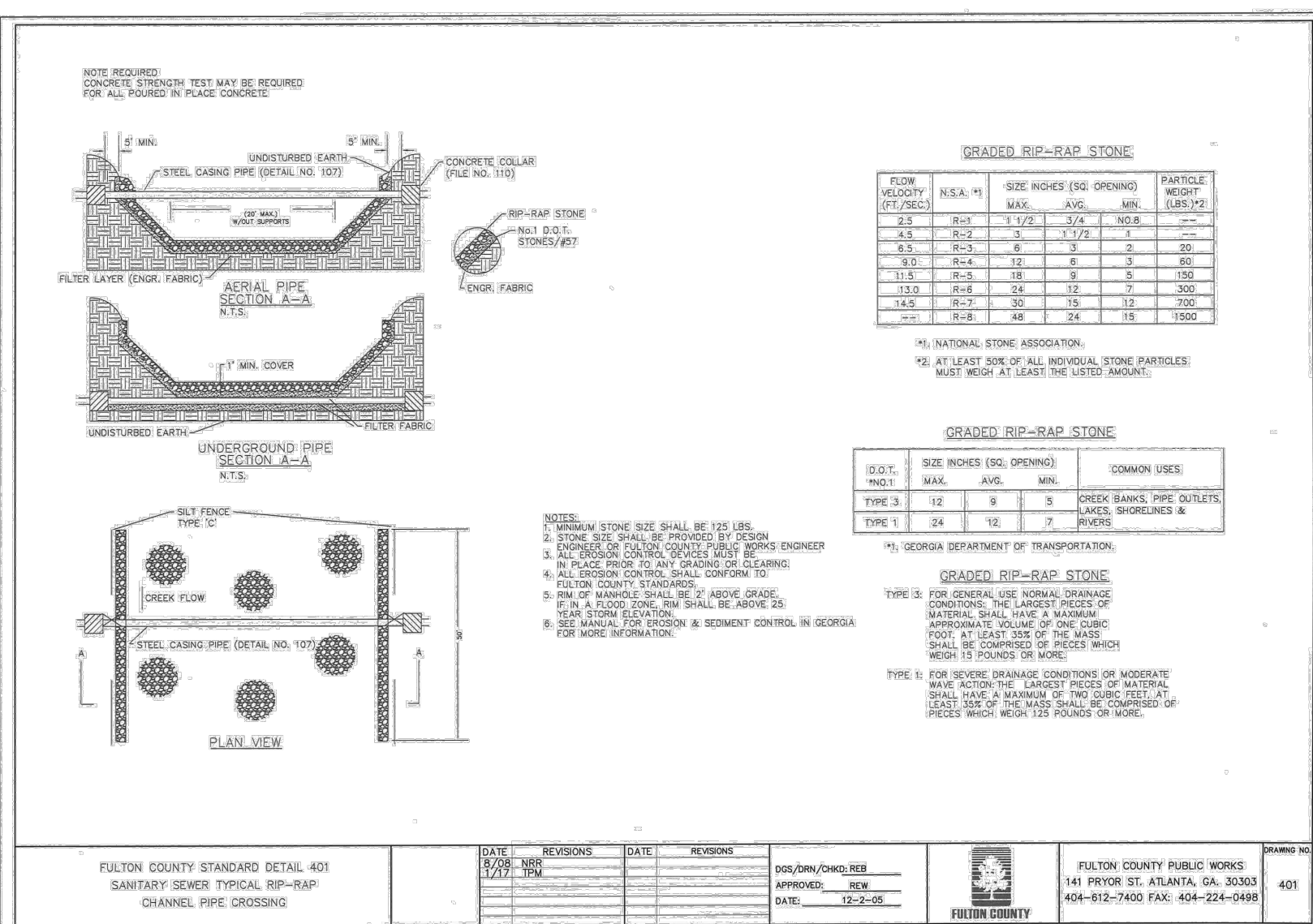
SHOOTS OR GRASS BLADES. GRASS SHOULD BE GREEN AND HEALTHY, MOWED AT A 2"-3" CUTTING HEIGHT.

THATCH - GRASS CLIPPINGS AND DEAD LEAVES, UP TO 1/2" THICK.

ROOT ZONE - SOIL AND ROOTS. SHOULD BE 1/2"-3/4" THICK, WITH DENSE ROOT MAT FOR STRENGTH.

SODDING

NOT TO SCALE

Ds4

Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Fraser Street
Marietta, GA 30060
678-324-9410
www.crescentvieweng.com

PREPARED FOR:
DOUG DILLARD
4645 SATABROOK CT
PEACHTREE CITY, GA 30086
770-519-6917
DOUG@BBB-CONST.COM

CONSTRUCTION PLAN

DATE	12-11-24	AS SHOWN	01-14-25	REVISIONS	CITY COMMENTS
SCALE					
DRAWN					
CHECKED					

CONSTRUCTION PLANS FOR:
8950 MEDLOCK BRIDGE ROAD
LAND LOT F-21, 1ST DISTRICT
JOHNS CREEK, FULTON COUNTY, GEORGIA

CVE PI# 24-315

SHEET NO.

C-6