



REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: APRIL 24, 2024

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Helen Owens, Zoning Administrator, City of Sandy Springs
FROM: Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC-24-02SS 5080 Riverview Road
MRPA Code: RC-24-02SS

Description: A regional MRPA review of a proposal to construct a retaining wall, steps, and associated improvements on the 1.9 acre site of an existing home wholly within the Chattahoochee River Corridor at 5080 Riverview Road in the City of Sandy Springs. The total disturbed area of 16,400 SF and impervious area of 4,668 SF are within allowed limits.

Preliminary Finding: ARC staff have completed an initial review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs
Date Opened: April 23, 2024
Deadline for Comments: May 3, 2024

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF ATLANTA

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY

CHATTAHOOCHEE RIVERKEEPER
COBB COUNTY

Please submit comments to dshockey@atlantaregional.org. For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If no comments are received by May 3, 2024, ARC will assume that your agency has no input on the subject plan. For more information visit the ARC review website at <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** SANDY SPRINGS

2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): 5080 RIVERVIEW RD LLC
Mailing Address: 185 MONTAG CIR, UNIT 413
City: ATLANTA **State:** GA **Zip:** 30307
Contact Phone Numbers (w/Area Code):
Daytime Phone: 954-627-2636 **Fax:** _____
Other Numbers: _____

3. **Applicant(s) or Applicant's Agent(s):**
Name(s): MARK BLUMSTEIN
Mailing Address: 185 MONTAG CIR, UNIT 413
City: ATLANTA **State:** GA **Zip:** 30307
Contact Phone Numbers (w/Area Code):
Daytime Phone: 954-627-2636 **Fax:** _____
Other Numbers: _____

4. **Proposed Land or Water Use:**
Name of Development: 5080 RIVERVIEW RD
Description of Proposed Use: SINGLE FAMILY HOME

5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: LAND LOT 211, 17TH DISTRICT, FULTON COUNTY, GA
DB.64186/PG.84
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____

Size of Development (Use as Applicable):
Acres: **Inside Corridor:** 1.873 ACRES
Outside Corridor: NONE
Total: 1.873 ACRES
Lots: **Inside Corridor:** 1
Outside Corridor: NONE
Total: 1
Units: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank YES

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system NO

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A	<u>NONE</u>			(90)	(75)
B	<u>NONE</u>			(80)	(60)
C	<u>NONE</u>			(70)	(45)
D	<u>22,301 SF</u>	<u>9,400 SF</u>	<u>4,586 SF</u>	(50) <u>42%</u>	(30) <u>21%</u>
E	<u>59,272 SF</u>	<u>7,000 SF</u>	<u>82 SF</u>	(30) <u>12%</u>	(15) <u>0.1%</u>
F	<u>NONE</u>			(10)	(2)
Total:	<u>81,573 SF</u>	<u>16,400 SF</u>	<u>4,668 SF</u>	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? _____

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? _____

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

____ Written consent of all owners to this application. (Space provided on this form)

____ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

____ Description of proposed use(s). (Space provided on this form)

____ Existing vegetation plan.

____ Proposed grading plan.

____ Certified as-builts of all existing land disturbance and impervious surfaces.

____ Approved erosion control plan.

____ Detailed table of land-disturbing activities. (Both on this form and on the plans)

_____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of -way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

_____ Documentation on adjustments, if any.

_____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

_____ Site plan.

_____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

_____ Concept plan.

_____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

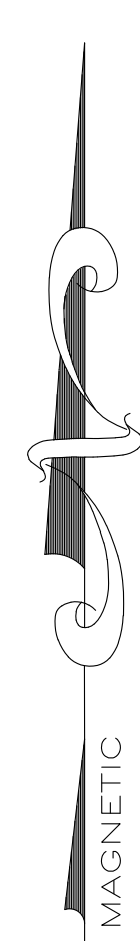
Signature(s) of Applicant(s) or Agent(s)

Date

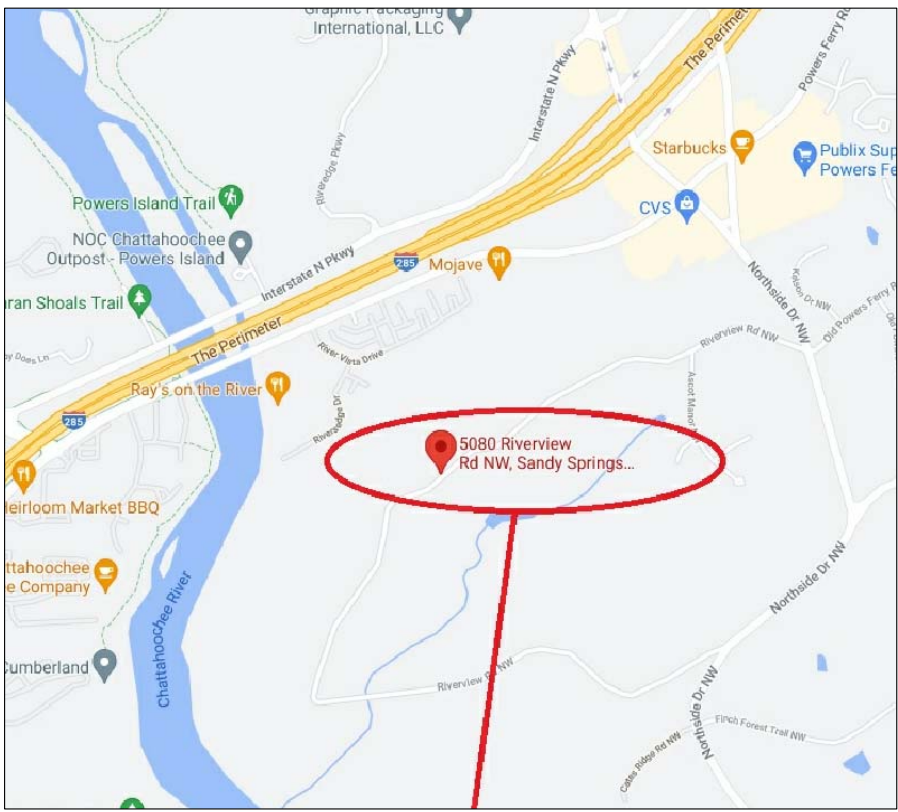
14. The governing authority of _____ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Signature of Chief Elected Official or Official's Designee

Date



LOCATION MAP
(NOT TO SCALE)



SITE

FLOOD HAZARD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID __13121C0143F__ EFFECTIVE DATE: __09/18/2013__ ZONE: __X__

NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF THE PROJECT SITE.

789.6 FLOOD LINE ELEVATION (AS PER FEMA)

- THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

PROPERTY IS ZONED RE-2

BUILDING SETBACKS:

FRONT: 60.0'
SIDE: 25.0'
REAR: 50.0'
MAX. LOT COVERAGE: 25%
MAX. BUILDING HEIGHT: 40' / 3-STORIES

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

DIRT STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT: 5
TOTAL OF GROSS CUBIC YARDS OF FILL: 10
EXCESS OF SOIL TO BE HAULED OFF.

DISTURBED AREA STABILIZATION:

ANTICIPATED STARTING DATE: 03/15/2023
ANTICIPATED COMPLETION DATE: 10/15/2023

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

SITE PLAN NOTES:

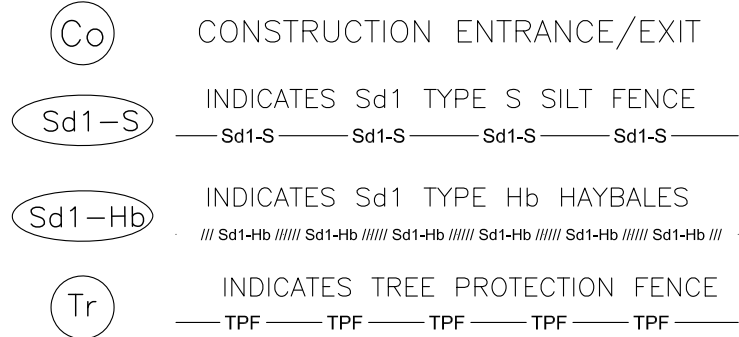
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED.
- NO DECKS, PATIOS OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BE SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD LONGER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF SANDY SPRINGS STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- ALL GRADED SLOPES MUST NOT EXCEED BE 3H:1V. STEEPER SLOPES MAY BE APPROVED UPON CERTIFICATION OF STABILITY BY A SOIL ENGINEER PER DEVELOPMENT CODE SECTION 9.4.2.G.4.
- ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS.
- GRADE TO DRAIN AWAY FROM FOUNDATION.
- PER DEVELOPMENT CODE ACCESSORY STRUCTURES (I.E. HVAC AND GENERATOR SLABS) MAY BE LOCATED IN REAR OR SIDE YARDS ONLY BUT SHALL COMPLY WITH ALL MINIMUM YARD AND SETBACK REQUIREMENTS AND SHALL NOT BE LOCATED WITHIN THE SIDE OR REAR YARD SETBACKS.
- NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.
- LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA.
- THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 -IT'S THE LAW.
- HAUL ROUTE PERMIT IS NOT REQUIRED.
- LAND DISTURBANCE WITHIN THE RIGHT-OF-WAY IS PROHIBITED.
- TOPOGRAPHY IS BASED ON FIELD RUN DATA BY SURVEY LAND EXPRESS, INC. ON MAY 09, 2023. (THE FIELD RUN TOPOGRAPHY DATE SHOULD NOT BE EARLIER THAN THE SITE'S FINAL PLAT DATE.)
- THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS HEREON CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY HIMSELF OR HIS AUTHORIZED AGENTS, UNDER HIS SUPERVISION.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- BE AWARE THAT A FOUNDATION FORM SURVEY IS REQUIRED FOR ALL NEW CONSTRUCTION/NEW ADDITIONS WHERE THE BUILDING IS LOCATED WITHIN 5 FEET OF ANY SET-BACK, EASEMENT, OR BUFFER. THE FOUNDATION FORM SURVEY SHALL BE SIGNED BY A SURVEYOR LICENSED IN THE STATE OF GEORGIA.
- A FOUNDATION FORMS SURVEY IS REQUIRED FOR THIS PROJECT, SEALED BY A STATE OF GEORGIA REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR, VERIFYING THAT THE OUTER EDGE OF THE FOUNDATION IS WITHIN THE SETBACKS SHOWN ON THE PERMITTED SITE PLAN. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE SURVEYOR TO CONDUCT THE REQUIRED SURVEY ON THE FOUNDATION DURING CONSTRUCTION, PRIOR TO PLACEMENT OF ANY CONCRETE.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- AN AS-BUILT DRAWING CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM ELEVATIONS OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.
- ALL STORMWATER RUNOFF REDUCTION, WATER QUALITY AND GREEN INFRASTRUCTURE BMPS WILL REQUIRE INSPECTION AND CERTIFICATION BY THE DESIGN PROFESSIONAL PRIOR TO FINAL INSPECTION APPROVAL. AS-BUILT DRAWINGS MUST INCLUDE THIS CERTIFICATION, BMP DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND AS-BUILT COORDINATES (GEORGIA STATE PLANE - WEST ZONE).
- STOCKPILE AREAS MUST BE PLACED AND MAINTAINED WITHIN THE LIMITS OF DISTURBANCE AND HAVE APPROPRIATE EROSION CONTROL BMPS IN PLACE OR BE HAULED IMMEDIATELY FROM THE PROJECT SITE. FAILURE TO PROPERLY MAINTAIN AND PROTECT STOCKPILE AREAS MAY RESULT IN A STOP WORK ORDER AND/OR MAY REQUIRE A PLAN REVISION.

TREE PROTECTION: Tr

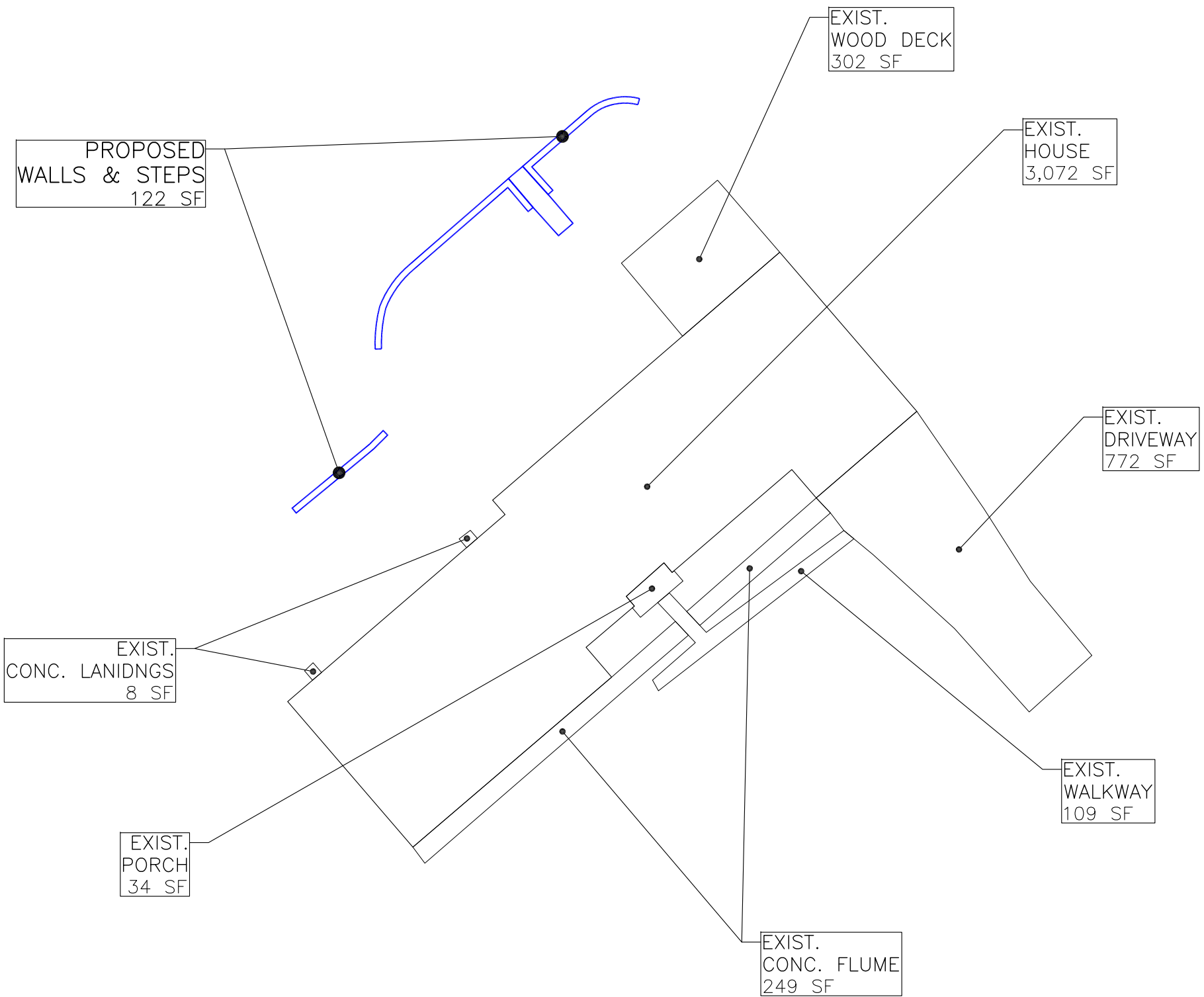
- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

SILT FENCE HAND DUG IN CRZ

NO IMPACT TO CRZs UNLESS EXPLICITLY STATED



LOT COVERAGE AREA DETAIL



LOT COVERAGE AREA BREAKDOWN:

EXIST. HOUSE:	3,072 SF
EXIST. PORCH:	34 SF
EXIST. WOOD DECK:	302 SF
EXIST. LANDINGS:	8 SF
EXIST. DRIVEWAY:	772 SF
EXIST. FLUME:	249 SF
EXIST. WALKWAY:	109 SF
PROP. WALLS & STEPS:	122 SF*
TOTAL:	4,668 SF

*NEW PROPOSED AREAS LESS THAN 1,000 SF NO NEW SWM BMPS REQUIRED.

SCOPE OF PLAN:

THE PURPOSE OF THIS SITE PLAN IS FOR USE IN ACQUIRING A PERMIT TO CONSTRUCT RETAINING WALLS. THE SCOPE INCLUDES THE CONSTRUCTION OF 2 NEW RETAINING WALLS AND STEPS, AS SHOWN.

NO NEW PERMANENT WATER QUALITY BMPs ARE REQUIRED AS THE PROJECT PROPOSES LESS THAN 1,000 SF OF NEW IMPERVIOUS IMPROVEMENTS.

ALL EROSION CONTROL BMPs TO BE MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES AS DETAILED HEREON.

THE PROJECT IS SERVICED BY PUBLIC WATER SERVICE AND A PRIVATE ON-SITE SEPTIC SYSTEM. ALL EXISTING UTILITY SERVICE LINES SHALL BE REUSED, AS SHOWN.

AFTER THE PERMIT IS ISSUED GO ON THE PORTAL AT
WWW.BUILD.SANDYSPRINGSGA.GOV

TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION OR DEMOLITION.

NAME AND ADDRESS OF OWNER:
AMINI LLC
1205 JOHNSON FERRY RD
STE 136 #149
MARIETTA GA 30068

NAME AND PHONE NUMBER OF 24-HOUR CONTACT:
BIJAN PARVINIAN
24-HRS CONTACT: Bijan Parvinian
EMAIL: bjpar123@gmail.com
TELEPHONE: (770) 880-5466

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 000065549
ISSUED:01/27/2021 EXPIRES:01/27/2024

LOT	SITE PLAN PREPARED FOR: SHEET 1 OF 4	
SUBDIVISION	5080 RIVERVIEW RD LLC	
LAND LOT 211 17TH DISTRICT	PROPERTY ADDRESS: 5080 RIVERVIEW ROAD SANDY SPRINGS, GA 30327	
FULTON COUNTY, GEORGIA DB.64186/PG.84	24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	
FIELD WORK DATE NOV 20, 2023 PRINTED/SIGNED NOV 27, 2023	SM COORD #20211742 DWG #20211742-SITE PLAN-5	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES	
IS MY OFFICIAL SEAL A CORRECT REPRESENTATION OF THE LAND SURVEYOR'S SEAL? YES NO IF THE ANSWER IS NO, THE SURVEYOR MUST OBTAIN A NEW SEAL WITHIN 30 DAYS OF THE EXPIRATION DATE OF THE CURRENT SEAL.		

GRID NORTH
NAD 83
GA WEST 1002

EXISTING WATER LINE TO BE REUSED
EXISTING WATER METER TO BE REUSED
EXISTING GAS LINE TO BE REUSED
EXISTING SEPTIC SYSTEM TO BE REUSED
NO SWIMMING POOL PROPOSED
NO TENNIS COURT PROPOSED
NO RETAINING WALLS OVER 4' HIGH PROPOSED

EXISTING HOUSE
FFE MAIN: 999.02

0 20
SCALE 1" = 20'

0
(DB.46852/PG.251)
OWNER N/F:
ONE RIVER PLACE
MASTER COMMUNITY ASSOC. INC.
ZONED: RT-2

BEARINGS SHOWN HEREON ARE RELATIVE TO
THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002
ELEVATIONS SHOWN HEREON RELATIVE TO
THE NORTH AMERICAN VERTICAL DATUM OF 1988

GRADED SLOPES SHALL NOT EXCEED 3H:1V

NO IMPACTS TO TREES
UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

EROSION CONTROL LEGEND

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Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

Co	CONSTRUCTION ENTRANCE/EXIT
Sd1-S	INDICATES Sd1 TYPE S SILT FENCE
Sd1-Hb	INDICATES Sd1 TYPE Hb HAYBALES
Tr	INDICATES TREE PROTECTION FENCE
Ds1	DISTURBED AREA STABILIZATION (WITH MULCH)
Ds2	DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)

ALL DISTURBED AREAS

PROP.
TW:984.6
BW:980.7

PROP.
TW:984.6
BW:983.1

5088
TRACT 1
(DB.62879/PG.352)
OWNER N/F:
RITCHIE JUSTIN
ZONED: RE-2

LANDMARK TREE
29" HW TREE R36.25'
CRZ IMPACTED AREA=16%
TREE SAVED

5090
(3)
(DB.63583/PG.393)
OWNER N/F:
RHINO
RANDALL & SARAH
ZONED: RE-2

LIMITS OF
DISTURBANCE

CLF 10.8'±
OUTSIDE PL

251.0'± ALONG R/W
TO INTERSECTION
R/W WITH EAST LINE LAND LOT 211
(AND)

CLF 3.0'±
OUTSIDE PL

CLF 9.2'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

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CLF 10.4'±
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OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

CLF 10.4'±
OUTSIDE PL

ALL EXISTING GAS &
WATER SERVICE LINES TO
BE REMAIN & BE REUSED

CONSTRUCTION ENTRANCE

EXISTING DRIVEWAY TO BE USED
FOR CONSTRUCTION ACCESS
ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING
PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD,
ETC. ONTO THE STREET WILL RESULT IN AN IMMEDIATE
"STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT
BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE
WITH THE CURRENT DETAILS IS CONSTRUCTED.

SUMMARY OF VULNERABILITY ANALYSIS OF LAND USE

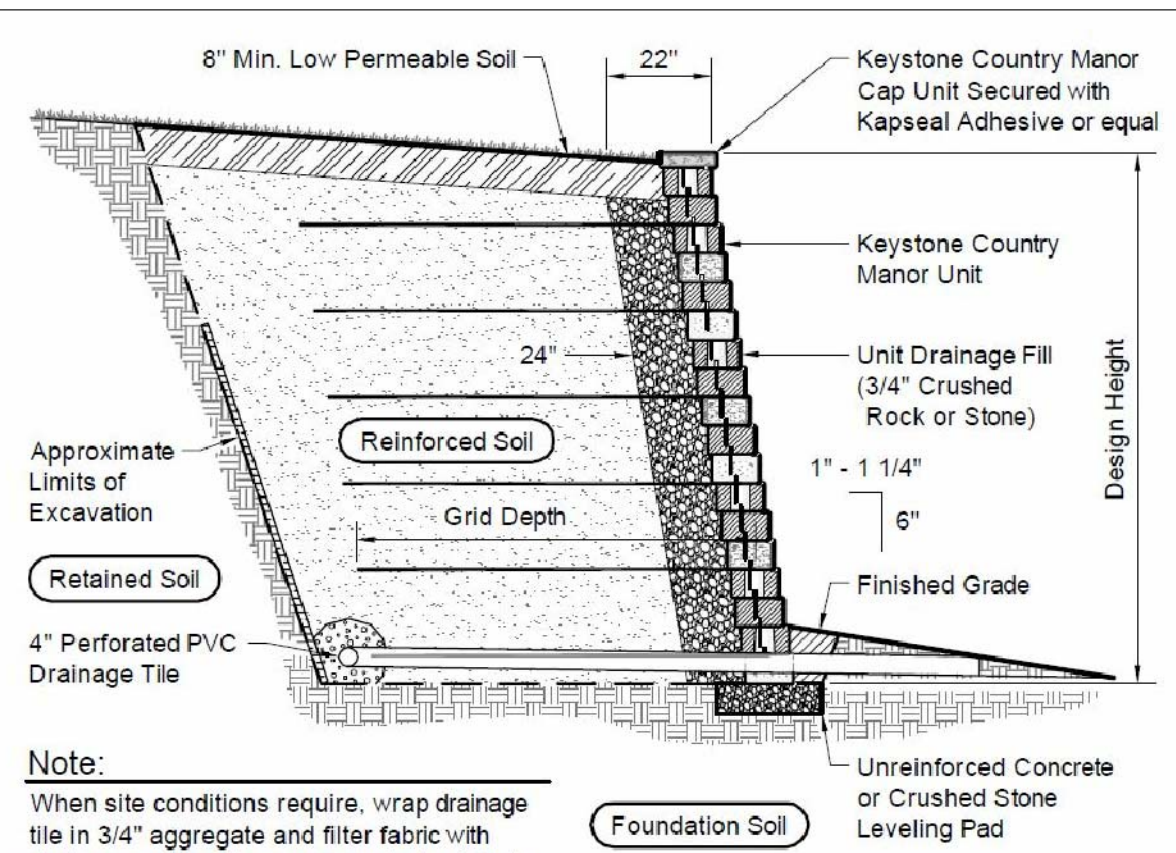
Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Disturb.	Percent Imperv. Surface
D	22,301 SF	9,400 SF	4,586 SF	(50) 42%	(30) 21%
E	59,272 SF	7,000 SF	82 SF	(30) 12%	(15) 0.1%
Total:	81,573 SF	16,400 SF	4,668 SF	N/A	N/A

(REVISED: 04/16/2024 (PER ARC VULNERABILITY CATEGORIES) -S.M.)

EROSION CONTROL & GRADING PLAN

LOT	SUBDIVISION	LAND LOT 211	17TH DISTRICT
FIELD WORK DATE NOV 20, 2023	PRINTED/SIGNED NOV 27, 2023	ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"
SM	COORD #20211742	DWG #20211742-SITE PLAN-5	
24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES	PROPERTY ADDRESS: 5080 RIVERVIEW ROAD SANDY SPRINGS, GA 30327	GEORGIA REGISTERED LAND SURVEYOR #1187 AUSTIN STEPHENSON

RETAINING WALL DETAIL



Note:
When site conditions require, wrap drainage
tile in 3/4\"/>

GRID NORTH
NAD 83
GA WEST 1002

EXISTING WATER LINE TO BE REUSED
EXISTING WATER METER TO BE REUSED
EXISTING GAS LINE TO BE REUSED
EXISTING SEPTIC SYSTEM TO BE REUSED
NO SWIMMING POOL PROPOSED
NO TENNIS COURT PROPOSED
NO RETAINING WALLS OVER 4' HIGH PROPOSED

EXISTING HOUSE
FFE MAIN: 999.02

0 20
SCALE 1" = 20'

0
(DB.46852/PG.251)
OWNER N/F:
ONE RIVER PLACE
MASTER COMMUNITY ASSOC. INC.
ZONED: RT-2

BEARINGS SHOWN HEREON ARE RELATIVE TO
THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002
ELEVATIONS SHOWN HEREON RELATIVE TO
THE NORTH AMERICAN VERTICAL DATUM OF 1988



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

NO IMPACTS TO TREES
UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

Co	CONSTRUCTION ENTRANCE/EXIT
Sd1-S	INDICATES Sd1 TYPE S SILT FENCE
Sd1-Hb	INDICATES Sd1 TYPE Hb HAYBALES
Tr	INDICATES TREE PROTECTION FENCE
Ds1	DISTURBED AREA STABILIZATION (WITH MULCH)
Ds2	DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)

ALL DISTURBED AREAS

PROTECTED TREE
18" HW TREE R22.5'
CRZ IMPACTED AREA=8%
TREE SAVED

LANDMARK TREE
29" HW TREE R36.25'
CRZ IMPACTED AREA=16%
TREE SAVED

5090
3
(DB.63583/PG.393)
OWNER N/F:
RHINO
RANDALL & SARAH
ZONED: RE-2

LIMITS OF
DISTURBANCE

ALL EXISTING GAS &
WATER SERVICE LINES TO
BE REMAIN & BE REUSED

CONSTRUCTION ENTRANCE
EXISTING DRIVEWAY TO BE USED
FOR CONSTRUCTION ACCESS
ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING
PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD,
ETC. ONTO THE STREET WILL RESULT IN AN IMMEDIATE
"STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT
BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE
WITH THE CURRENT DETAILS IS CONSTRUCTED.

TREE SAVE STATUS:
X INDICATES TREE
TO BE REMOVED

CANOPY REQUIREMENTS:
NET LOT AREA: 81,573 SF
REQUIRED: 22,551 SF (35%)
APPROXIMATELY 40 PROTECTED TREES TO REMAIN ON SITE

THE PROPOSED DEVELOPMENT DOES NOT CAUSE THE PROPERTY
TO FALL BELOW THE MINIMUM CANOPY REQUIREMENTS

REQUIREMENT SATISFIED

SIDE YARD GRADING MITIGATION TREE REPLACEMENT REQUIREMENTS:

NO SIDE YARD LAND DISTURBANCE OR TREE REMOVALS PROPOSED
REQUIREMENT SATISFIED

FRONT YARD TREE REPLACEMENT REQUIREMENTS:

1 LARGE CANOPY TREE REQUIRED PER EVERY 40' OF STREET FRONTAGE
LOT CONTAINS 208' OF FRONTAGE
208 ÷ 40 = 5 TREES REQUIRED

8 LARGE TREES EXIST WITHIN THE FRONT YARD
REQUIREMENT SATISFIED

LANDMARK TREE REPLACEMENT REQUIREMENTS:


DESTROYED: 1 TOTAL x 1,000 SF = 1,000 SF
REPLACEMENT REQUIRED: 1,000 SF x 1.5 = 1,500 SF (2 LARGE CANOPY TREES)

REPLACEMENT PROPOSED: 2 TOTAL x 1,000 SF = 2,000 SF
REQUIREMENT SATISFIED

REPLACEMENT TREES TO BE PLANTED				
T#	SPECIES	TYPE	CREDIT	REQUIREMENT
T1	WILLOW OAK	LARGE	1,000 SF	LANDMARK REPLACEMENT
T2	WILLOW OAK	LARGE	1,000 SF	LANDMARK REPLACEMENT

(REVISED: 04/16/2024 (PER ARC VULNERABILITY CATEGORIES) -S.M.)

TREE PROTECTION & REPLACEMENT PLAN

LOT				SITE PLAN PREPARED FOR:		SHEET 3 OF 4	
SUBDIVISION				5080 RIVERVIEW RD LLC			
LAND LOT 211 17TH DISTRICT							
FULTON COUNTY, GEORGIA				DB.64186/PG.84		PROPERTY ADDRESS:	
FIELD WORK DATE NOV 20, 2023				PRINTED/SIGNED NOV 27, 2023		5080 RIVERVIEW ROAD	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED				PAPER SIZE: 24" x 36"		SANDY SPRINGS, GA 30327	
<p>THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGULAR POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 1/2" CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.</p>							
SM				24 LENOX POINTE			
COORD #20211742				ATLANTA, GA 30324			
DWG #20211742-SITE PLAN-5				FAX 404-601-0941			
SURVEY LAND EXPRESS, INC				TEL 404-252-5747			
LAND SURVEYING SERVICES				INFO@SURVEYLANDEXPRESS.COM			
<p>BY SP, SURVEYOR, I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF GEORGIA AND THAT I AM THE AUTHOR OF THIS PLAN. I HAVE BEEN ADVISED BY THE CLIENT THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT AND THAT THE CLIENT HAS THE NECESSARY RIGHTS AND INTERESTS IN THE LAND DESCRIBED HEREIN.</p>							

NET TOTAL LAND AREA
81,573 SF / 1.873 AC

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100 CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

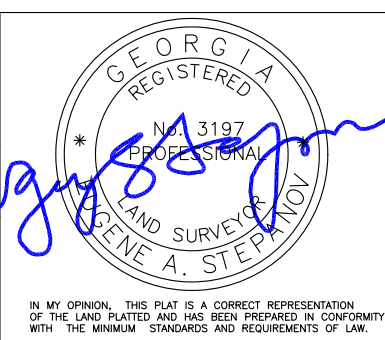


Figure 2 - Tree Protection Fencing (not to scale)

NOTES:

1. Tree protection fencing to be installed prior to any land disturbance on site.
2. Locate fencing at edge of CRZ or against pavement edges, as per approved site plan.
3. Fencing must remain throughout the duration of all construction activities. Removal or relocation of fencing for temporary access must be replaced daily and immediately upon completion of work requiring access. Temporary access must be approved in advance by the COSS Arborist.
4. Activities within tree protection area are not permitted, including staging of materials, parking, pedestrian access, etc.
5. Where tree protection is adjacent to erosion control fencing, tree fence must be visible and at full 4' height min. on the inside of tree save area.
6. Where tree protection fencing encroaches on CRZ of existing trees to remain, of any size, in areas of cutting grade, tree roots are to be cut below grade to depth of 12" with clean sharpened implements.

Use as many stakes as required to extend fencing to furthest limits of CRZ or as shown on plans

Secure fencing material to 2x2 p.c. wood stakes or metal fence posts, spaced at 6' o.c. max.

DBH

DBH: Diameter Breast Height, measured at 4.5' above finish grade

Orange laminated safety netting or equivalent

Provide 3" mulch over bare areas in critical root zone. Keep 6" away from base of plants

Stakes to be 4' min. above grade, 2' min. below grade

FENCE LOCATION at edge of Critical Root Zone, CRZ diameter = 1.29 x DBH

COSS requires protected CRZ equivalent to 1.29 radius per 1" DBH, or as per COSS

Transplanting procedures shall follow standards established by the International Society of Arboriculture in the "Trees and Shrub Transplanting Manual," latest edition. The following is a summary of several key practices.

- i. Only healthy trees with a well-developed root system and a well formed top, characteristic of the species, shall be planted. Standards for selecting quality stock may be provided by the City Arborist.
- ii. Trees selected for planting must be compatible with the specific site conditions. A site specific tree list is provided in subsection M, further below.
- iii. Make certain there is adequate planting area and soil volume for the tree and the potential size of the tree is appropriate for the site, including potential conflicts with sight distance, traffic and pedestrian clearance, and overhead utilities. (Utilities Protection Center 1-800-282-7411).
- iv. Deciduous trees must be planted in utility location of underground utilities prior to digging.
- v. Deciduous and evergreen trees shall be planted between the end of October and the end of February.

The diagram illustrates the process of planting a tree. A tree is shown with its root ball, which is labeled as having a diameter of 2 x root ball dia. in. The root ball is placed in a hole that has been filled with pit material, set to a depth of 1-4" above the final grade. The hole is surrounded by a mound of soil, which is labeled as being outside of the root ball, approximately 3" high, and on the downhill side of the slope. The mound is to be removed after the growing season. The tree is supported by a stake and guy system, with the stake labeled as being 2x2 p.t. wood, 5' long, and the guy labeled as being 1/4" x 1/4" x 1/4" wire. The tree is also supported by a 2x4 p.t. wood or metal fence post, which is secured with poly webbing straps at 1/3 ft. of the tree. The tree is planted in a hole that has been filled with pit material, set to a depth of 1-4" above the final grade. The hole is surrounded by a mound of soil, which is labeled as being outside of the root ball, approximately 3" high, and on the downhill side of the slope. The mound is to be removed after the growing season. The tree is supported by a stake and guy system, with the stake labeled as being 2x2 p.t. wood, 5' long, and the guy labeled as being 1/4" x 1/4" x 1/4" wire. The tree is also supported by a 2x4 p.t. wood or metal fence post, which is secured with poly webbing straps at 1/3 ft. of the tree.

NOTES:

1. Set tree plumb and vertical.
2. Rotate tree to align as grown in field: north face to North.
3. Prune dead, damaged and crossing branches. Elevate branches as per City standards where applicable. Do not cut branch tips or central leader.
4. Remove all stakes and guys after 12 months.

Stake trees in pits or trees under 2' cal.:

Provide (4) 2x2 or 2x4 p.t. wood or metal fence posts, secure tree with poly webbing straps at 1/3 ft. of tree.

Provide 2-4" approved mulch throughout plant beds, do not place against trunk as shown

Edge beds with continuous trench all lawns and hardscape, 4" min depth as shown to hold mulch

2 x root ball dia. min.

Guy all trees over 2' cal. in plant beds:

Secure 2x2 p.t. wooden stakes - min 5' per tree, equally spaced with poly webbing straps at first branch or at 1/3 height of tree, whichever is higher. If wire guy and hose is used, include fluorescent color tags on sea. wire at mid point.

Mound soil around outside of root ball approx. 3" ht., or on downhill side of sloped beds; remove after growing season

Remove strapping, wire basket and burlap from top 1/3 minimum of root ball. Cut any girdling roots.

Backfill pit w/ approved clean planting mix in 12" max. lifts, lightly compact to hold root ball

Fill and compact base of pit to set root collar 1-4" above final grade

Compacted or undisturbed soil

NO IMPACT TO CRZs
UNLESS EXPLICITLY STATED

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
RYE	3.9 POUNDS	3 bu.	9/1-3/1
RYEGRASS	0.9 POUND	40 lbs.	8/15-4/1
ANNUAL LESPEDeza	0.9 POUND	40 lbs.	1/15-3/15
WEEPING LOVEGRASS	0.1 POUND	4 lbs.	2/15-6/15
SUDANGRASS	1.4 POUNDS	60 lbs.	3/1-8/1
BROWNTOP MILLET	0.9 POUND	40 lbs.	4/1-7/15
WHEAT	4.1 POUNDS	3 bu.	9/15-2/1

The drawing consists of two views of a silt fence:

- Side View (Top):** Shows the profile of the fence. The fabric is 30" high and 18" wide. The backing is 24" high and 18" wide. The total height is 54". The backing is attached to the fabric with a 6" overlap. The backing is made of woven wire. The flow direction is indicated by an arrow pointing right.
- Front View (Bottom):** Shows the fence from the front. The fabric is 30" high and 18" wide. The backing is 24" high and 18" wide. The total height is 54". The backing is attached to the fabric with a 6" overlap. The backing is made of woven wire. The flow direction is indicated by an arrow pointing right.

Labels and dimensions include:

- 30" min. (Fabric height)
- 18" min. (Fabric width)
- 24" (Backing height)
- 18" (Backing width)
- 6" (Overlap)
- 4' max o.c. (Maximum opening between fabric sections)
- Fabric (Woven Wire Fence Backing)
- Trench
- SIDE VIEW
- FRONT VIEW

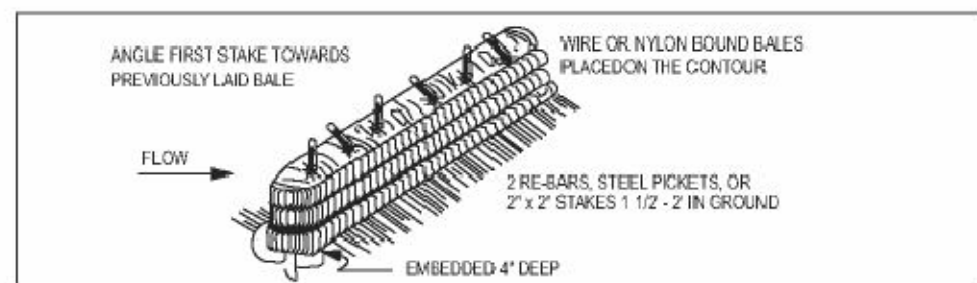
NOTES:
 Use 36" D.O.T. approved fabric.
 Use steel posts – only

SILT FENCE –TYPE S

NOT TO SCALE

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

- Place in a single row, lengthwise, on the contour.
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through the bales or by other adequate means.
- Place in areas of low rate sheet flow.
- For use on projects with a duration of three months or less.



SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1
CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31
WEeping LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15
SWITCHGRASS	0.9 POUND	40 lbs.	3/15-6/1

EXIT DIAGRAM

(IF NEEDED)

50' MIN.

20' MIN.

6' MIN.

6' MIN.

ENTRANCE ELEVATION

6' MIN.

NOTES:

1. Avoid locating on steep slopes or at curves on public roads.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
4. Gravel pad shall have a minimum thickness of 6".
5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
6. A diversion ridge should be constructed when grade toward paved area is greater than 2%.
7. Install pipe under the entrance if needed to maintain drainage ditches.
8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
9. Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanup of any measures used to trap sediment.

Co **CRUSHED STONE CONSTRUCTION EXIT**
N.T.S.

Figure 6-11.1

Figure 6-11.1

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED.

SM
COORD #20211742
DWG #20211742-SITE PLAN-5

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

24 LENOX POINT
ATLANTA, GA 30324
FAX 404-601-094
TEL 404-252-574
INFO@SURVEYLANDEXPRESS

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMANCE WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.