

DATE: JANUARY 17, 2024

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Helen Owens, Zoning Administrator, City of Sandy Springs
FROM: Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: 460 Huntcliff Green
MRPA Code: RC-23-03SS

Description: A regional MRPA review of a proposal to construct a new swimming pool for an existing single-family home on a 1.7-acre site wholly within the Chattahoochee River Corridor at 460 Huntcliff Green in the City of Sandy Springs. The total proposed disturbed area of 17,819 SF and impervious area of 11,735 SF are within allowed limits.

Preliminary Finding: ARC staff have initiated a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs
Land Lot: District: 0 Section:
Date Opened: January 17, 2024
Deadline for Comments: January 29, 2024

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
HISTORIC RIVERLINE

CHATTAHOOCHEE RIVERKEEPER
CITY OF ROSWELL
FULTON COUNTY

Please submit comments to dshockey@atlantaregional.org. For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If no comments are received by January 29, 2024, ARC will assume that your agency has no input on the subject plan. For more information visit the ARC review website at <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** City of Sandy Springs

2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Rachel & Anthony Maddox
Mailing Address: 460 Huntcliff Green
City: Sandy Springs **State:** GA **Zip:** 30350
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-606-3636 **Fax:** _____
Other Numbers: _____

3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Todd Shoemaker
Mailing Address: 1440 Dutch Valley Place, Suite 600
City: Atlanta **State:** GA **Zip:** 30324
Contact Phone Numbers (w/Area Code):
Daytime Phone: 678-485-2922 **Fax:** _____
Other Numbers: _____

4. **Proposed Land or Water Use:**
Name of Development: New Swimming Pool
Description of Proposed Use: Construct a new swimming pool in backyard

5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: _____

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Parcel ID#17-0079-0002-006-5
Size of Development (Use as Applicable):

Acres:	Inside Corridor:	<u>1.68</u>
	Outside Corridor:	_____
	Total:	_____
Lots:	Inside Corridor:	_____
	Outside Corridor:	_____
	Total:	_____
Units:	Inside Corridor:	_____
	Outside Corridor:	_____
	Total:	_____

Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Yes, approval attached

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	50,888.14sf	17,819.29sf	11,735.68sf	(50) 35	(30) 23.6
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	_____	_____	_____	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

____ Written consent of all owners to this application. (Space provided on this form)

____ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

____ Description of proposed use(s). (Space provided on this form)

____ Existing vegetation plan.

____ Proposed grading plan.

____ Certified as-builts of all existing land disturbance and impervious surfaces.

____ Approved erosion control plan.

____ Detailed table of land-disturbing activities. (Both on this form and on the plans)

____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.

____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Rachael Muddox
[Signature]

11.28.23

11.28.23

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Todd Shoemaker

[Signature]

11/27/23

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of The City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Helen Owens

11/29/2023

Signature of Chief Elected Official or Official's Designee

Date

(OWNER'S NAME)

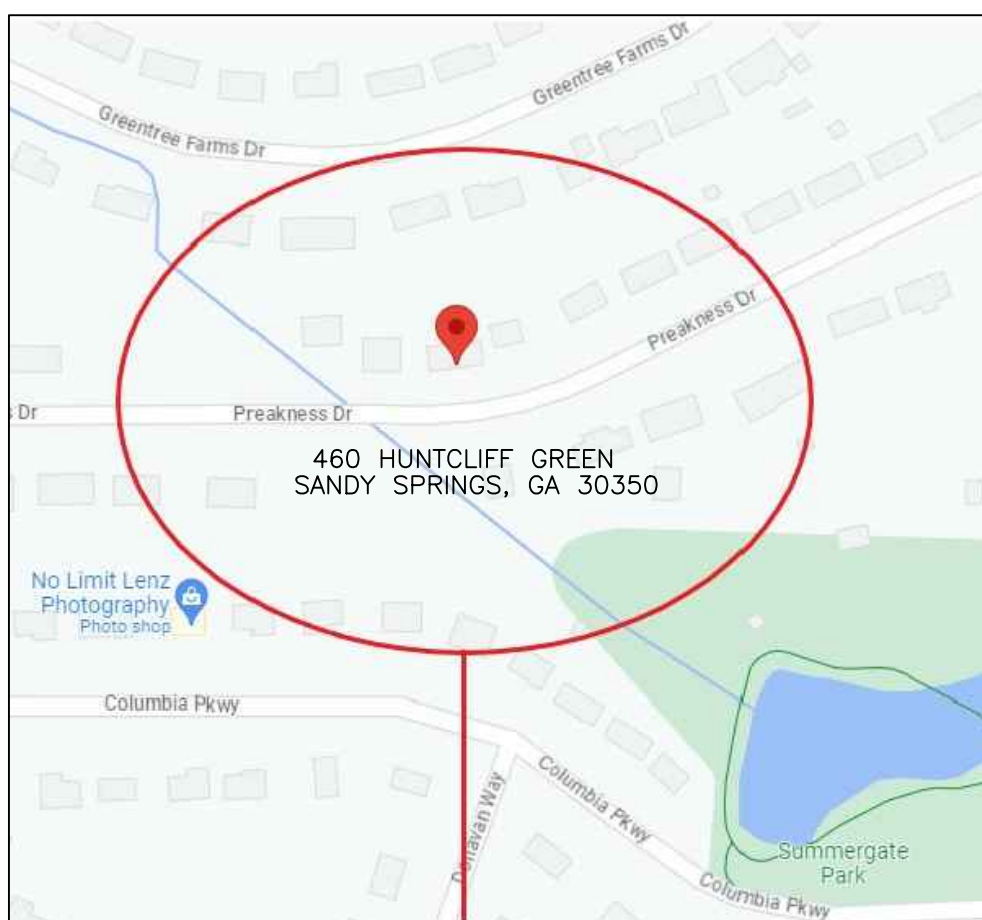
(PROJECT ADDRESS)

SCOPE OF WORK

APPLICABLE CODE

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
 - International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
 - International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
 - National Electrical Code, 2020 Edition (No Georgia Amendments)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

RELEASED FOR CONSTRUCTION



SITE	LOCATION MAP NOT TO SCALE
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PROPERTY IS ZONED RD-27
CITY OF SANDY SPRINGS
BUILDING SETBACK :
FRONT: 60'
SIDE: 15'
REAR: 40.0'
MAX LOT COVERAGE 30%
MAX BUILDING HEIGHT 3 STORIES/40'

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY,
DEVELOPER AND ARCHITECT TO CONFIRM
ZONING DISTRICT, PER ZONING DEPARTMENT.

Existing Conditions

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND
IN MY OPINION REFERENCED PARCEL (●) (IS NOT) IN AN AREA HAVING
SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR
IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL
MAP ID 13121C0151G EFFECTIVE DATE: 9/18/2013

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

SURVEY NOTES:

3. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES HAS NOT BEEN DETERMINED BY THE SURVEYOR. ALL UTILITIES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR, LOCATION OF UTILITIES AND RECORD DRAWINGS NOT PROVIDED TO THE SURVEYOR, AND ALL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE TO DETERMINE THE LOCATION OF ANY UTILITIES. EXCAVATIONS MAY BE MADE BEFORE EXCAVATIONS ARE BEGUN. TELEPHONE, ELECTRIC, WATER AND SEWER LINES MAY BE ENCOUNTERED. THE SURVEYOR IS NOT RESPONSIBLE FOR UTILITY TYPE AND FOR FIELD LOCATIONS.

4. THE SURVEYOR HAS APPROXIMATELY THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCE LINES SHOULD NOT BE SHOWN ON THIS PLAT. THE SURVEYOR'S LIABILITY FOR THE PLAT IS THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS.

5. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR ANY RIGHTS OR INTERESTS IN THE PROPERTY. THE SURVEYOR IS NOT RESPONSIBLE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER MATTERS THAT MAY AFFECT THE PROPERTY.

6. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE EVIDENCE. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DEFECTS, OMISSIONS OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OF THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DEFECTS, OMISSIONS OR CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTIONS.

7. THE SURVEYOR IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREON. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DEFECTS, OMISSIONS, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, OR ANY OTHER SOURCE. THE SURVEYOR IS NOT RESPONSIBLE FOR THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ZONING OFFICE.

8. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, FIRM, OR ENTITY NAMED HEREON. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECEIPT OF THE SURVEYOR NAMING SUCH PERSON, PERSONS,

* I F G F N D *

* LINE INDICATORS *

— — — — —	INDICATES SANITARY SEWER LINE	■	ELECTRIC PANEL/METER
— — — — —	INDICATES POWER LINE	□	WATER METER
— — — — —	INDICATES WATER LINE	⊠	AIR CONDITIONER
— — — — —	INDICATES GAS LINE	⊞	GAS METER
— — — — —	INDICATES FENCE LINE	⊞	JUNCTION BOX
— — — — —	INDICATES DRAINAGE LINE	⊞	SANITARY SEWER MANHOLE
— — — — —	BURIED CABLE LINE	⊞	STORM MANHOLE
		⊞	TRAFFIC/NOY SIGN
		⊞	GAS MARKER
		⊞	LAMP POST
		⊞	METAL POST
		⊞	WATER VALVE
		⊞	HEADWALL
		⊞	STAIRS
		⊞	DRAINAGE INLET
		⊞	FIRE HYDRANT



* SYMBOLS *

ELECTRIC PANEL/METER
WATER METER
AIR CONDITIONER
GAS METER
JUNCTION BOX
SANITARY SEWER MANHOLE
STORM MANHOLE
TRAFFIC/INFO SIGN
GAS MARKER
LAMP POST
METAL POST
WATER VALVE
HEADWALL
STAIRS
DRAINAGE INLET
FIRE HYDRANT

EXISTING LOT COVERAGE DETAIL
NOT TO SCALE

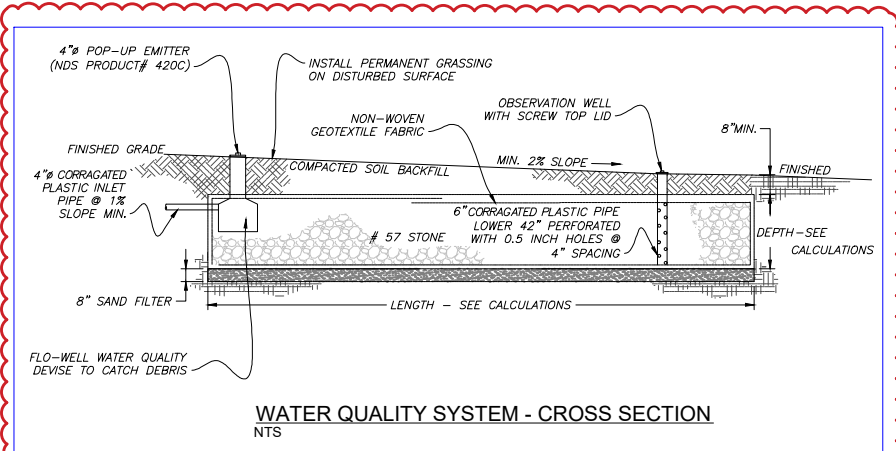
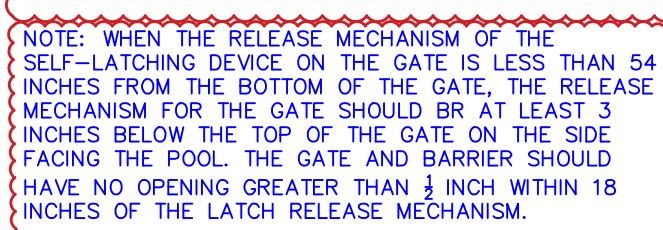
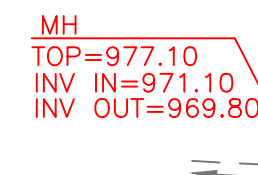
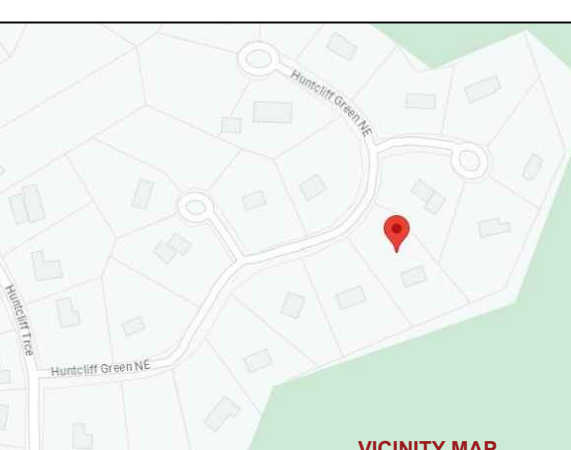
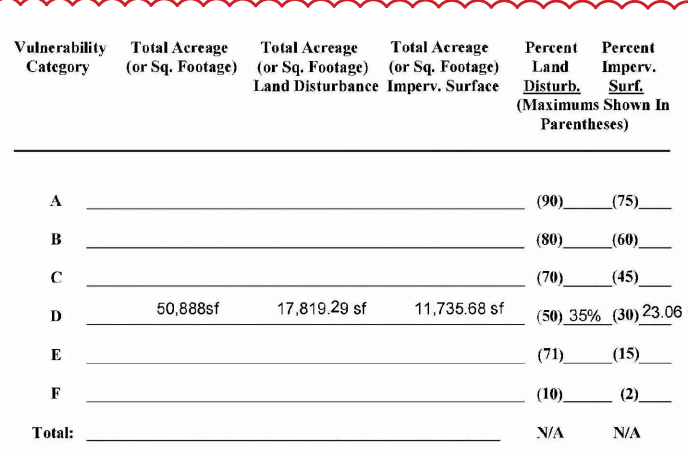
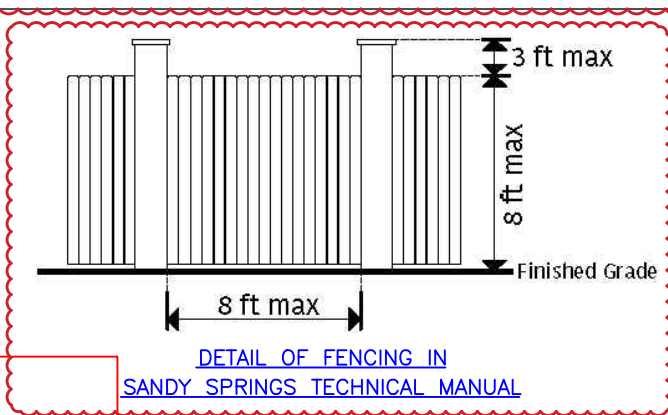
TOTAL LAND AREA
50888.14 SF / 1.168 AC

ALLOWABLE LOT COVERAGE
15266.44 SF / 0.350 AC / 30%
EXISTING LOT COVERAGE
9614.60 SF / 0.221 AC / 18.89%

LOT 32		BLOCK E		EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1	
HUNTCLIFF SUBDIVISION		UNIT			
LOT LAND LOT 7		17TH DISTRICT		RACHEL MADDOX	
FULTON COUNTY, GEORGIA		SECTION			
FIELD WORK DATE JULY 25, 2023		DB.66540 / PG.441		PROPERTY ADDRESS: 460 HUNTCLIFF GREEN SANDY SPRINGS, GA 30350	
		PB.106 / PG.93			
FIELD WORK DATE JULY 25, 2023		PRINTED/SIGNED JULY 28, 2023			
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 24" x 36"			
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000-FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGULAR POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. ALL DISTANCES WERE MEASURED FOR CURVES AND FOUND TO BE WITHIN 1/100TH OF AN INCH. ALL ELEVATIONS MEASURED AT STATION AND A 10MM CHAIN WERE USED TO OBTAIN THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.					
SURVEY LAND EXPRESS, INC WWW.SURVELANDEXPRESS.COM DOWNSIDE #231217 CDWG #231217 LAND SURVEYING SERVICES					

EXISTING IMPERVIOUS LOT COVERAGE	
TOTAL AREA OF LOT =	50,888.14 S.F.
PORCH =	3,027.96 S.F.
DRIVEWAY =	4,863.91 S.F.
CORPORATION/SCREENED =	752.15 S.F.
SIDEWALK =	402.47 S.F.
STONE LANDINGS =	783.52 S.F.
BRICK LANDINGS =	212.45 S.F.
WALLS/RET. WALLS =	258.14 S.F.
AC PAD =	9.0 S.F.
TOTAL IMPERVIOUS AREA =	9614.60 S.F.
IMPERV. AREA / LOT AREA =	0.1889 = 18.89%
**TOTAL LAND DISTURBANCE =	1641.60+
	2241.51 (septic field)
	11,856.11 S.F.
	= 23.3%

The category on this property is in D, which allows 50% land disturbance and 30% impervious surface.

[illegible]

CANOPY REQUIREMENT

*Required Canopy Coverage (RCC)
Site Area (sq. ft.) x 35%
 $50,888.14 \times 0.35 = \underline{17,811 \text{ sq. ft.}}$

*Existing Canopy to remain (EC)

- (3) 18" Hardwood
- (1) 18" Pine
- (4) 19" Hardwood
- (3) 20" Hardwood
- (6) 21" Hardwood
- (1) 21" Pine
- (1) 22" Pine
- (3) 23" Hardwood
- (2) 25" Hardwood
- (1) 25" Pine
- (1) 26" Pine
- (2) 26" Hardwood
- (3) 27" Hardwood
- (3) 29" Hardwood
- (1) 33" Hardwood

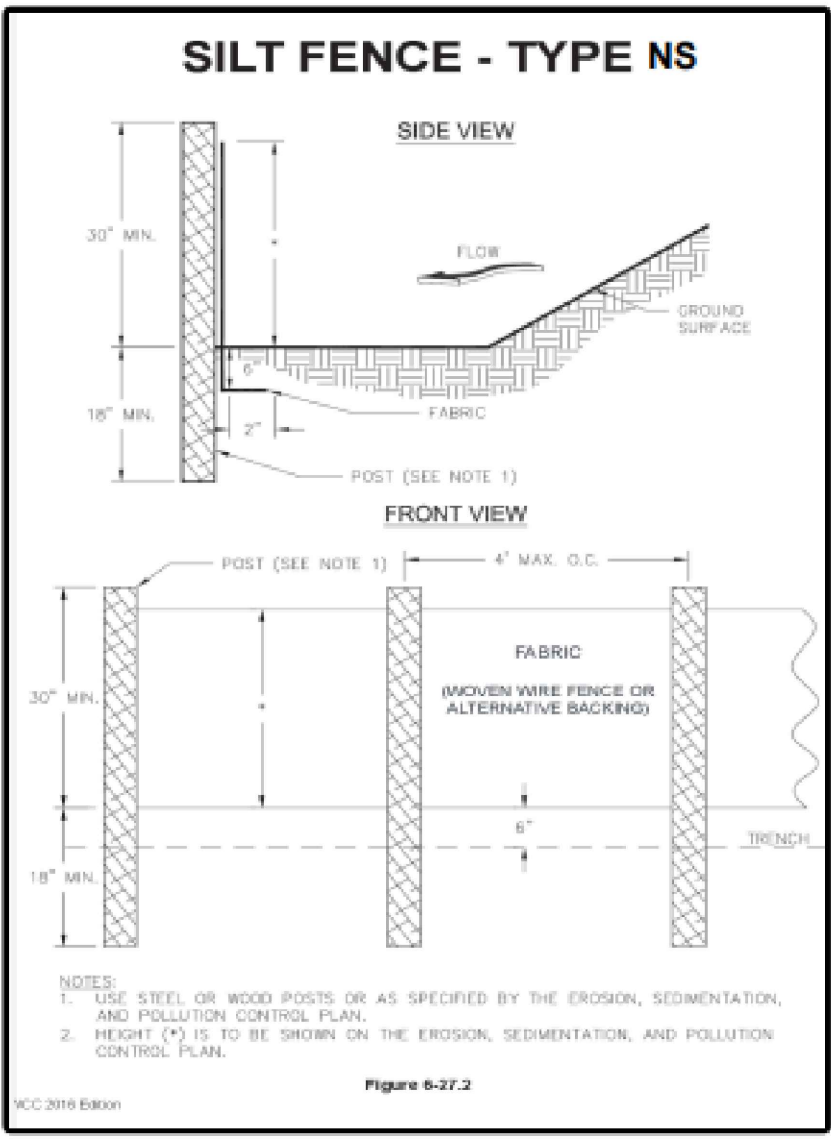
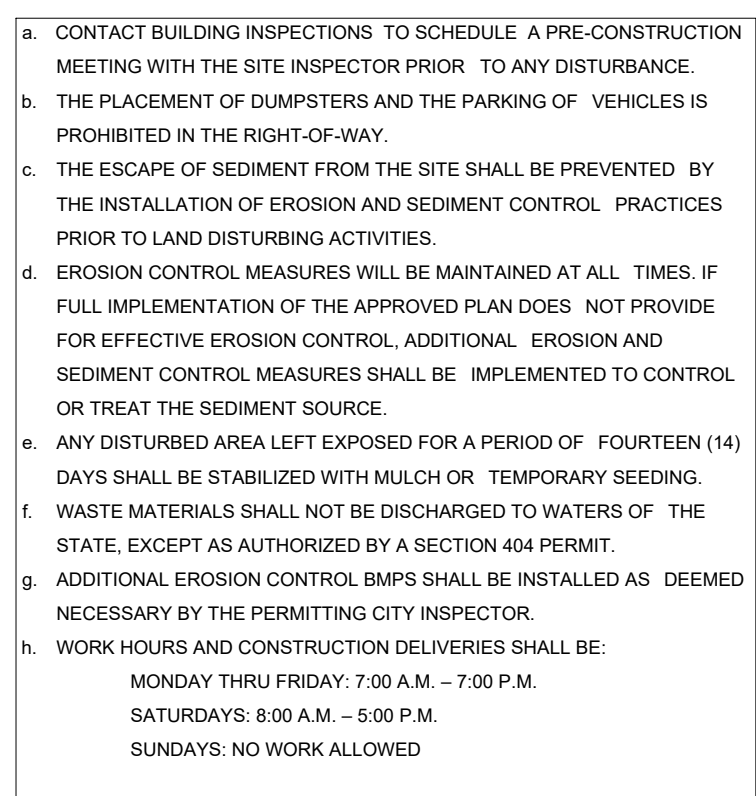
(35) Total x 1,000 sq. ft = 35,000 sq. ft.

*LANDMARK REPLACEMENT (LR)
(Landmark trees are 18" and larger)
Landmark canopy to be removed=

(0) Total x 1,000 sq. ft x 1.5 = 00.00 sq. ft.

*CANOPY REPLACEMENT (CR)
CR = RCC – EC + LR
(RCC) 17,811 sq. ft. < (EC) 35,000 sq. ft.
"No Canopy Replacement required."

TREE NOTES		
RECOMMEND FORMULA		
$\$ \text{AMOUNT} = \$100.00 (\# \text{ NO OF TREES DESTROYED} \times \# \text{ OF TREES LOST}) - \# \text{ TREES REPLACED}$		
$= \$30.00 (\times) \text{ DBH INCHES DESTROYED} \times \text{DBH INCHES LOST} \times \text{CAPLAIN INCHES REPLACED}$		
$\$100.00 \times \# \text{ TREES DESTROYED} =$	$\$100.00 \times 3 =$	$\$300.00$
$+ \$30.00 \times \text{DBH INCHES DESTROYED} =$	$\$30.00 \times 38 =$	$\$1140.00$
$- \$100.00 \times \text{TREES REPLACED} =$	$\$100.00 \times 0 =$	$\$0.00$
$= \$30.00 \times \text{DBH INCHES REPLACED} =$	$\$30.00 \times 0 =$	$\$0.00$
		$= \$1440.00$



ISPC SECTION 305.4

WHERE A WALL OF A DWELLING OR STRUCTURE SERVES AS PART OF THE BARRIER, DOORS AND OPERABLE WINDOWS WITH A SILL HEIGHT OF LESS THAN 48 INCHES THAT PROVIDE DIRECT ACCESS TO THE AQUATIC VESSEL THROUGH THE WALL SHALL BE EQUIPPED WITH ONE OR MORE OF THE FOLLOWING:

1. AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN OR WINDOW, IS OPENED. THE ALARM SHALL BE LISTED AND LABELED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 1717. IN DWELLINGS OR STRUCTURES NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS OR STRUCTURES REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED NOT GREATER THAN 54 INCHES AND NOT LESS THAN 48 INCHES ABOVE THE THRESHOLD OF THE DOOR.

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (1A) [IS NOT] IN AN AREA HAVING A FLOOD HAZARD. [THE] PARCEL IS AT AN ELEVATION IDENTICAL TO OR HIGHER THAN THE FLOOD HAZARD. THEREFORE, THE PARCEL IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS LOCATION AS SAID PARCEL MAP ID # 1312101516 EFFECTIVE DATE: 9/18/2013

ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

CURRENT MINIMUM CONSTRUCTION CODES (AS APPLICABLE)	
a.	INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
b.	INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022)
c.	NATIONAL ELECTRICAL CODE, 2020 EDITION, WITH GEORGIA AMENDMENTS (2021)
d.	INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020), (2022)
e.	INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

Proposed Site Plan

SCALE: 1"=20'

***RELEASED FOR CONSTRUCTION

STRUCTURAL NOTES:

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 2500 PSI. REINFORCED STEEL FROM POOL WALL SHALL NOT BE BENT INTO A NEW OR FUTURE CONCRETE DECK. CONCRETE DECK SHALL BE FREE TO FLOAT BEYOND POOL WALL. EXCEPTION: STRUCTURAL DECKS SHALL COMPLY WITH THE DESIGN FOR SUPPORT SHOWN ON THESE PLANS.
4. ALL REINFORCING SPLICES SHALL BE 18" IN LENGTH UNLESS OTHERWISE INDICATED ON THESE PLANS.
5. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPLES.
6. POOL WALL REINFORCEMENT IS ADEQUATE TO WITHSTAND THE HORIZONTAL WATER LOADS PLACED ON THE POOL WALL FOR UP TO 18" OF EXPOSED POOL WALL ABOVE GRADE.

LIST OF POOL/SPA EQUIPMENT

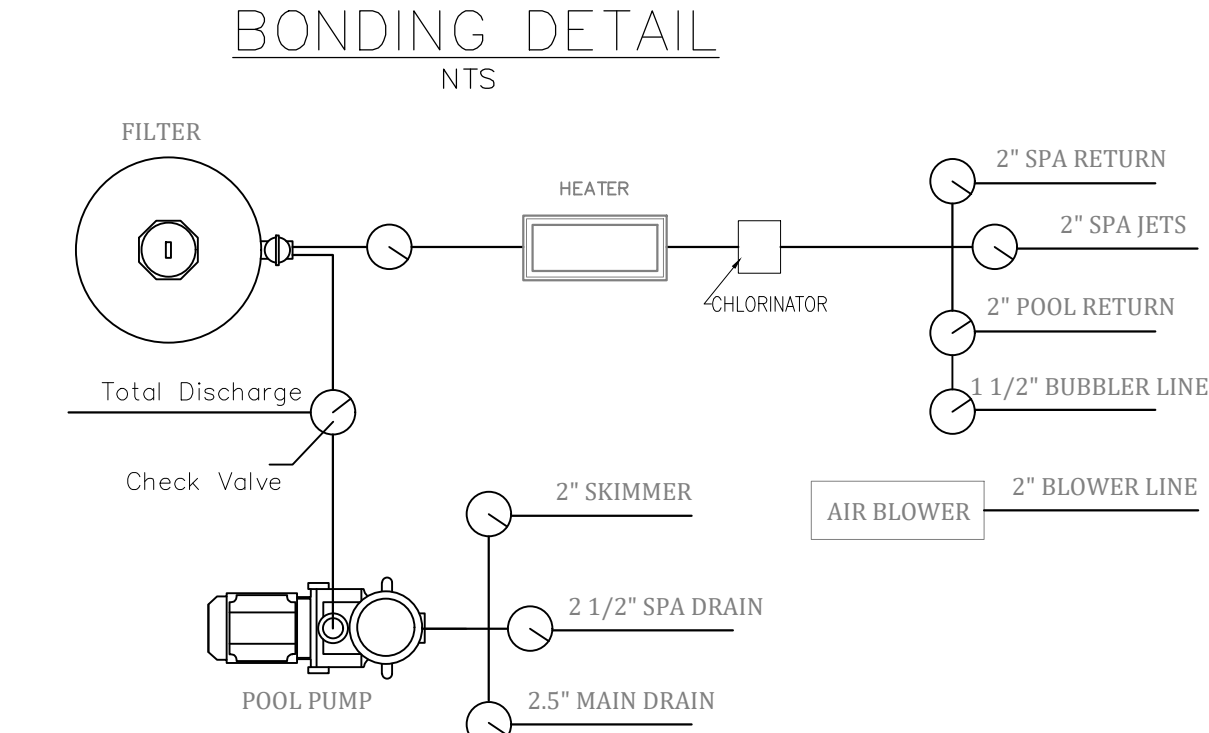
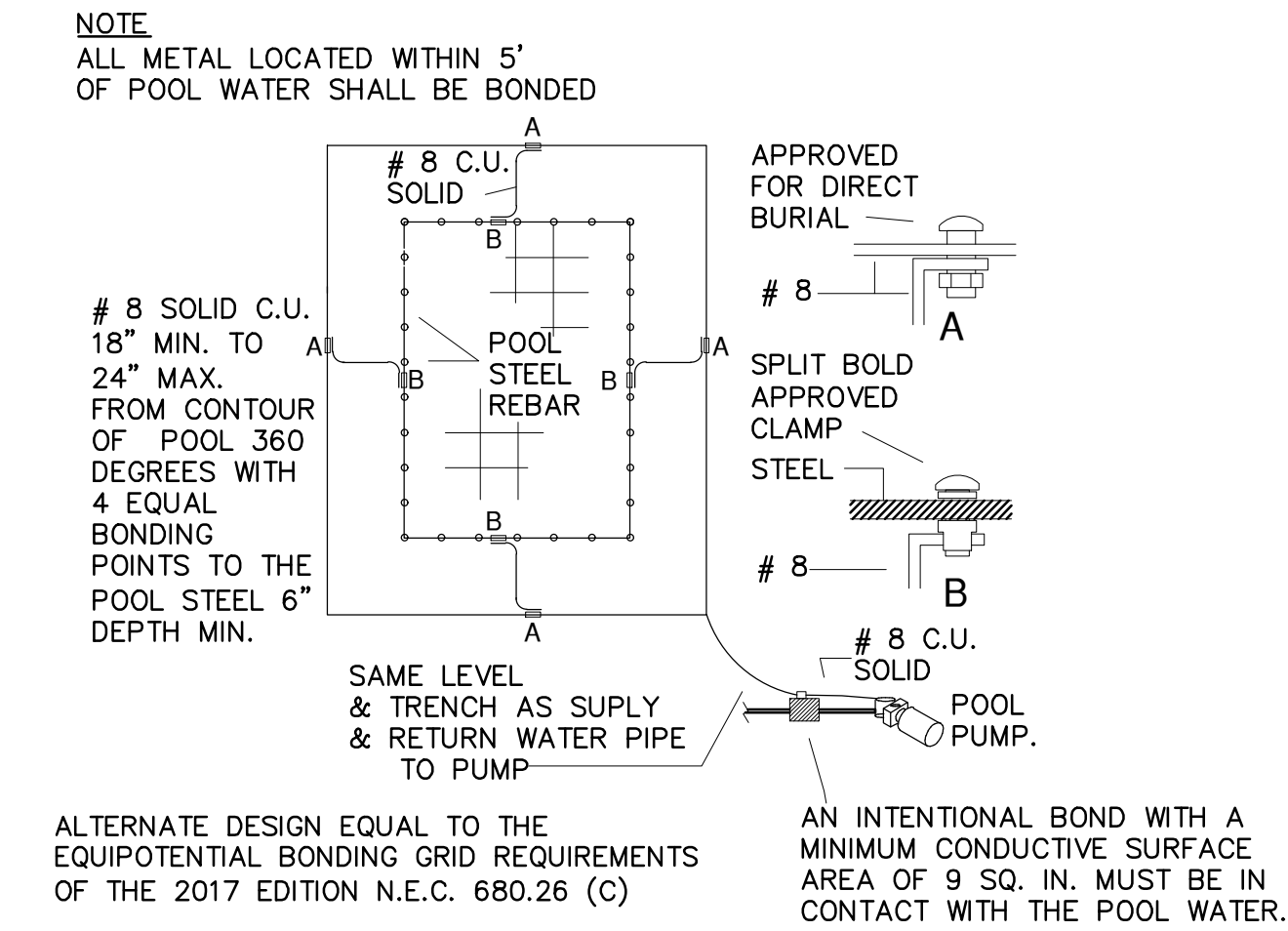
- FILTER: PENTAIR C & C PLUS (SIZE 420)
- MAIN PUMP: PENTAIR WHISPERFLO 2HP
- GAS HEATER: PENTAIR MASTERTEMP 400 (400,000 BTU)
- ADD'L PUMPS: 3/4 H.P. BOOSTER PUMP
- CHLORINATOR: INTELICHLOR IC-40
- CLEANER: POLARIS 280 VAC SWEEP
- POOL LIGHT: 2 PENTAIR LED COLOR
- SPA LIGHT: 1 PENTAIR LED LIGHT
- POOL/SPA CONTROL: EASYTOUCH-8 WIRELESS

PLUMBING NOTES:

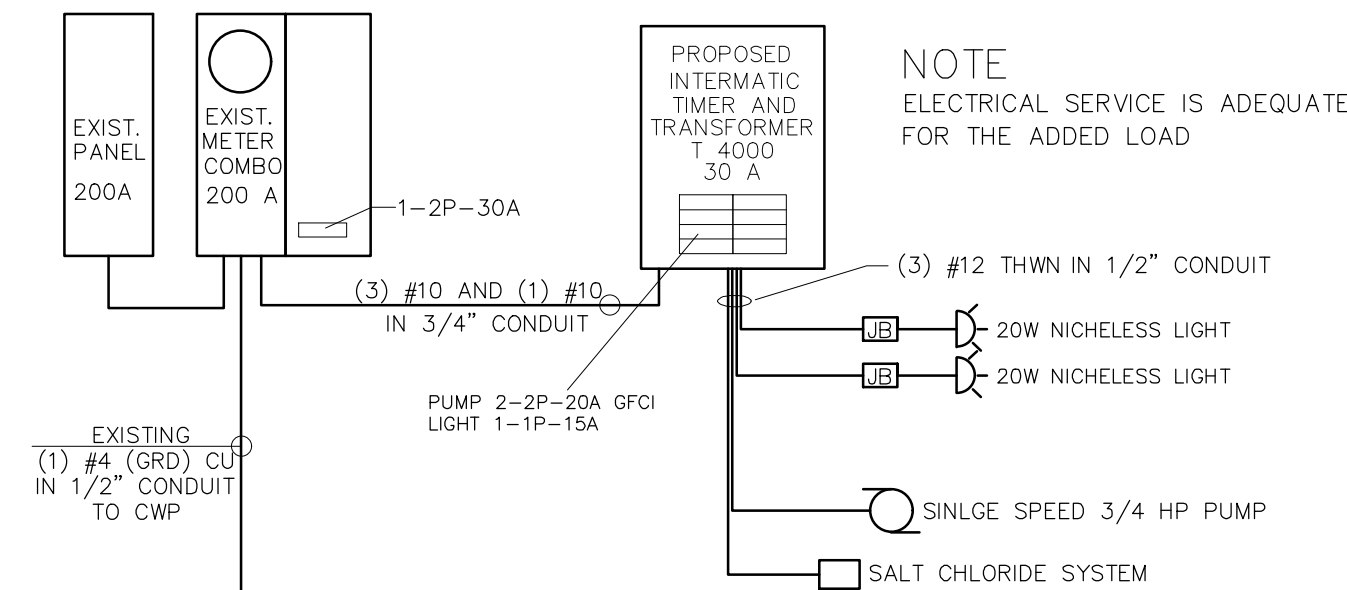
1. ALL POOL EQUIPMENT PIPING SHALL BE SCHEDULE 40, PVC-PW, ON-THREADED, NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HENGERS.
2. ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1-1/2" DIAMETER, UNLESS OTHERWISE NOTED.
3. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS.
4. ANTI VORTEX MAIN DRAINS SHALL HAVE ITS PLATE SECURELY FASTENED WITH TAMPER-PROOF SCREWS.
5. POOL VACUUM SHALL HAVE SPRING LOADED CAP IN ACCORDANCE WITH THE GEORGIA BUILDING CODE
6. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEORGIA BUILDING CODE AS IT PERTAINS TO BUOYANCY.
7. THE WATER VELOCITY THROUGH ALL SUCTION PIPING SHALL BE LESS THAN 8 FEET PER SECOND.
8. THE WATER VELOCITY THROUGH ALL PRESSURE PIPING SHALL BE LESS THAN 10 FEET PER SECOND.
9. ALL PIPING SHALL BE SUITABLE FOR EXPOSURE TO ULTRA VIOLET RADIATION AND NORMAL OPERATING TEMPERATURES

ELECTRICAL NOTES:

1. ALL POOL ELECTRICAL WORK SHALL BE SCHEDULE 40, PVC-PW, ON-THREADED, NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HENGERS.
2. ALL POOL ELECTRICAL WORKS, GROUNDING AND BONDING MUST BE CONFORM WITH THE NEC 2017, ART 680.
3. AT LEAST ONE GFCI PROTECTED, 125-VOLT RECEPTACLE OUTLET IS REQUIRED BETWEEN 6 AND FEET OF THE INSIDE WALL OF THE POOL. NEC 680.22(A)(1)(RESIDENTIAL AND COMMERCIAL.)
4. THE EQUIPMENT GROUNDING CONDUCTOR MUST BE A MINIMUM 12 AWG COPPER. NEC 680.21(A); 680.25(F)(2); 680.25(8)(1)
5. EQUIPOTENTIAL BONDING TO COMPLY WITH 2017 NEC 680.26(8) SHALL BE INSTALLED IN OR UNDER PAVED WALKING SURFACES FOR THREE FEET HORIZONTALLY BEYOND THE WALLS OF THE POOL NEC 680.26(C) L 4 POINTS & DECK BONDING (360 DEGREES)
6. RECEPTACLE OUTLETS ARE NOT PERMITTED WITHIN 6 FEET OF THE INSIDE WALLS OF A POOL NEC 680.22(A)(2)
7. POOL PUMP MOTOR CIRCUITS, MUST BE PROVIDED WITH GFCI PROTECTION. NEC 680.21(C)
8. LIGHTING OUTLETS MUST BE LOCATED A MINIMUM OF 5 FEET FROM THE INSIDE WALL OF A POOL OR MOUNTED A MINIMUM OF 12 FEET ABOVE THE MAXIMUM WATER LEVEL NEC680.22(8)(1.)
9. OVERHEAD CONDUCTORS ARE NOT PERMITTED OVER THE POOL OR THIN 10 FEET HORIZONTALLY FROM THE EDGE OS THE POOL FBC 426.1.4.2.4
10. OVERHEAD CONDUCTORS SHALL NOT BE PERMITTED OVER THE POOL OR WITHIN 10 FEET HORIZONTALLY FROM EDGE OF THE POOL UNLESS PROVIDE WITH CLEARANCE TO COMPLY WITH NEC 680.8.
11. A CONDUCTIVE ELEMENT THAT IS PART OF THE POOL BONDING SYSTEM MUST BE IN DIRECT CONTACT WITH THE POOL WATER. IN THE ABSENCE OF RAILS, LADDERS OR NICHES, A WATER BONDING SHALL MEET THE REQUIREMENT. NEC 680.26(C).
12. ALL METAL PARTS WITHIN 5 FEET OF THE POOL MUST BE BONDED TO A COMMON BONDING GRID. NEC 680.26(8)(5)



PUMP CONNECTION DIAGRAM
NTS



- NOTES
- A. POOL PUMP TO COMPLY WITH FBC E 403.
- B. POOL MOTORS REQUIRE OVERLOAD PROTECTION TO COMPLY WITH NEC 430.32.

ELECTRIC DIAGRAM

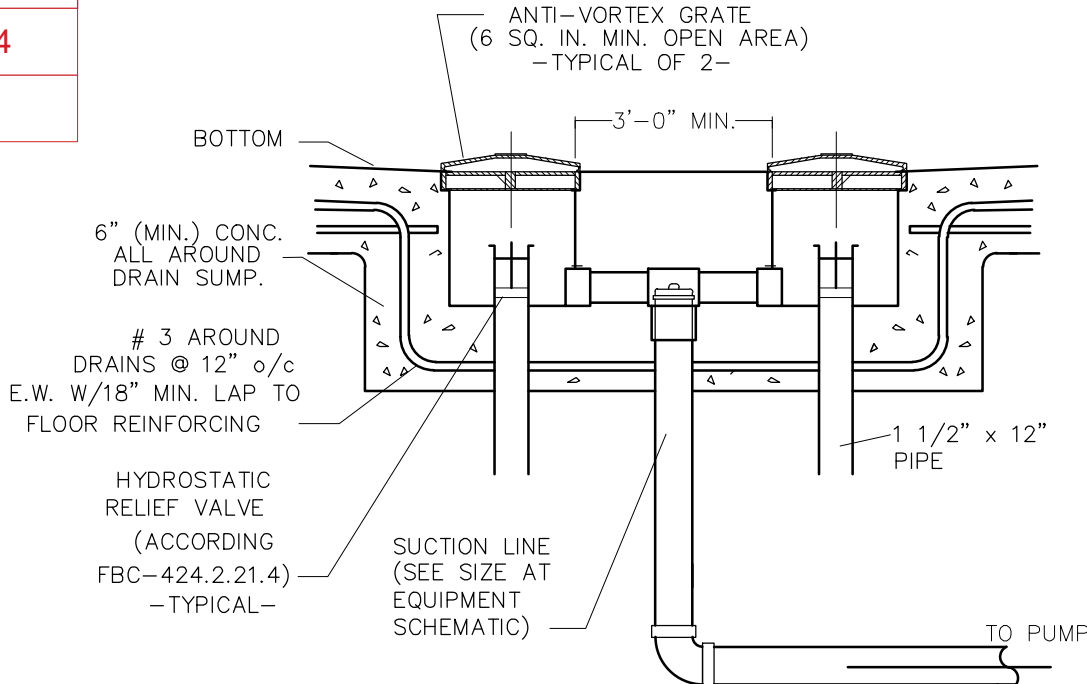
DATA	POOL	SPA	DECK
MAX. LENGTH (FEET)	38	8	59
MAX. WIDTH (FEET.)	18	8	30
DEPTH (FEET)	3.5 - 7	4	-
SURFACE AREA (SQ. FT.)	684	64	1,645
PERIMETER (FEET.)	112	32	224
VOLUME (GALLONS)	26,861	1,676	-

NOTE:

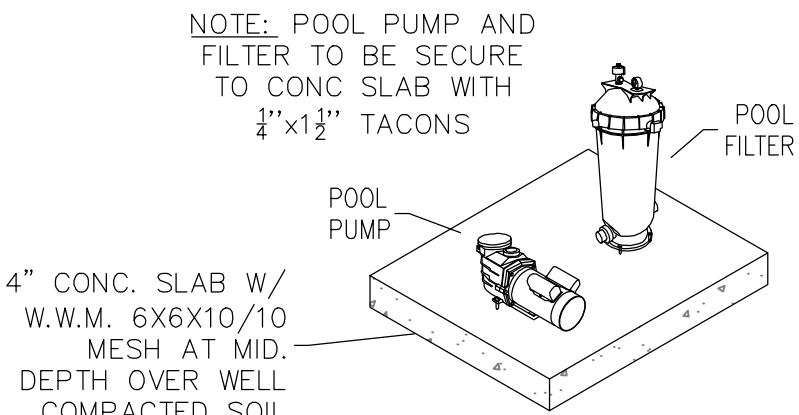
REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS:

>> CONCRETE POURED AGAINST EARTH 3"

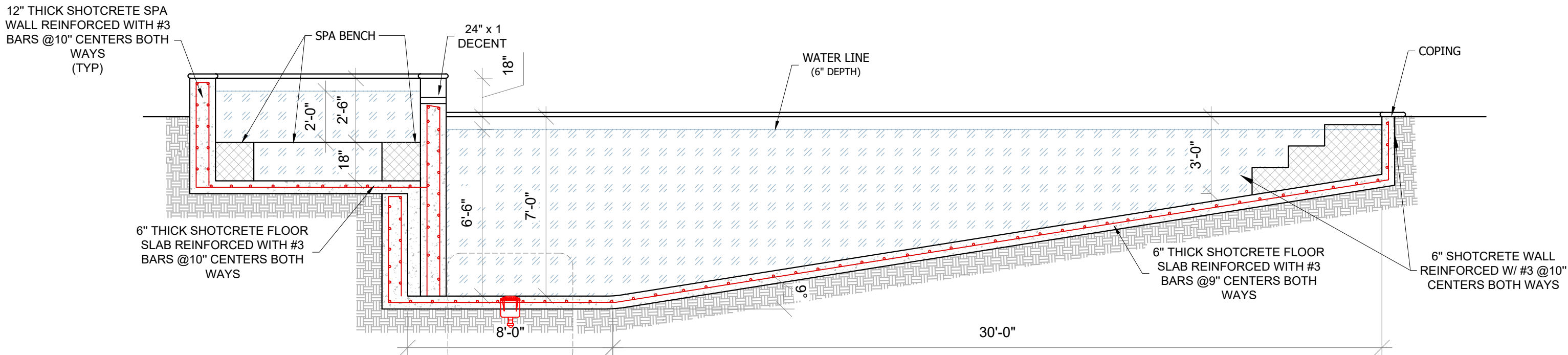
>> CONCRETE EXPOSED TO EARTH OR WEATHER:
5' OR SMALLER 1-1/2"
6' OR LARGER 2"



DOUBLE MAIN DRAIN DETAIL
NTS

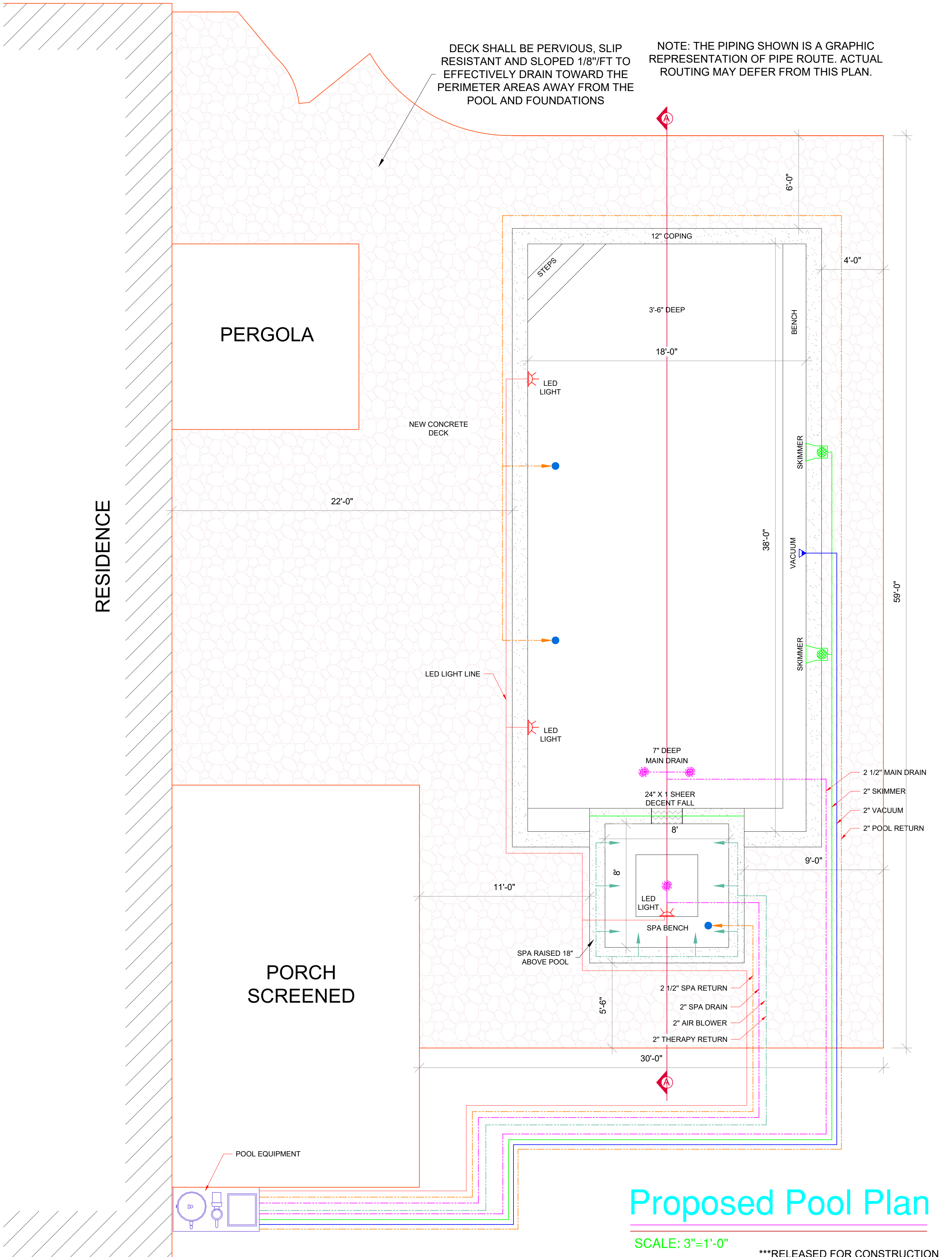


EQUIPMENT HOLD DOWN
NTS



Section A - A

SCALE: 3"=1'-0"



Proposed Pool Plan

SCALE: 3"=1'-0"

***RELEASED FOR CONSTRUCTION

A-3

PROPOSED SWIMMING POOL FOR;
MADDOX
460 Huntcliff Green, Sandy Springs, GA 30350

REVISIONS	BY
09/12/2023	O.E.A
09/13/2023	O.E.A
09/14/2023	O.E.A
12/03/2023	O.E.A
12/21/2023	O.E.A
01/10/2024	O.E.A

24 HR CONTACT
TIM THOMPSON
OCEAN BLUE
POOLS
+1(404) 895-9710



www.oceanbluepools.com

404.944.8823

CUSTOM POOLS / RENOVATIONS

ALL DRAWINGS, DESIGNS, SPECIFICATIONS REPRESENTED HEREIN ARE THE ORIGINAL AND UNPUBLISHED PROPERTY OF CLOUD 9 DEVELOPMENT AND SHALL NOT BE REPRODUCED, DISCLOSED OR USED BY OTHERS WITHOUT PRIOR WRITTEN CONSENT OF GROUP 9 DEVELOPMENT. VIEWING THESE DOCUMENTS CONSTITUTES ACCEPTANCE OF THESE CONDITIONS. ALL RIGHTS RESERVED.



Georgia Department of Public Health On-Site Sewage Management System Performance Evaluation Report Form

APPLICANT NAME: Todd Shoemaker	PROPERTY/SYSTEM ADDRESS: 460 HUNTCLIFF GREEN ATLANTA, GA 30350	EVALUATION ID: 009680
APPLICANT PHONE: (678) 485-2922		COUNTY: Fulton
APPLICANT EMAIL ADDRESS:	SUBDIVISION/LOT/BLOCK: /Property Renovation/	REASON FOR EVALUATION: Property Renovation

Inspection Records	
Yes	1. Inspection records exist for this septic system.
Yes	2. Inspection records indicate that all components of the septic system were properly constructed and approved at the time of original inspection. A copy of the original inspection report is attached.
Maintenance Records (applicable copies are attached)	
No	3. Maintenance or installation records indicate that the tank has been pumped out or installed within the past 5 years. Note: it is recommended that septic tanks be pumped at least once every 5 years.
N/A	4. Systems with aerobic treatment unit(s) (ATU): Records indicate the ATU has been serviced in accordance with the manufacturer's recommended maintenance schedule OR an authorized representative of the manufacturer has provided documentation that the ATU is operating sufficiently.
N/A	5. Systems with grease trap(s): Maintenance records indicate the grease trap(s) has been pumped out within the last 6 months OR documentation has been provided by a qualified individual confirming that the grease trap contains less than 75% of the designed grease holding capacity and is operating sufficiently.
System Assessment and Existing Site Conditions (applicable copies are attached)	
Yes	6. The septic tank was uncovered at the time of this County Board of Health Evaluation OR maintenance records exist and the tank appears to meet the required design, construction, and installation criteria. The appropriateness of the sizing and installation criteria of the absorption field cannot be verified since no initial inspection records exist.
Yes	7. A Georgia certified septic tank installer has provided written documentation of the system design, location, and components.
Yes	8. This site evaluation by the County Board of Health revealed no evidence of system failure.
Yes	9. This site evaluation by the County Board of Health revealed no evidence of adverse conditions which would affect the functioning of the system.
Addition to Property	
Yes	10. This site evaluation as well as the provided information indicate that the proposed construction to the home or property should not adversely affect the functioning of the existing system.
Relocation of Home or Change of Use	
No	11. This site evaluation as well as the provided information indicate that the system appears to meet the required design, construction, and installation criteria to accommodate the proposed relocation of the home or change of use for the facility should not adversely affect the functioning of the existing system.

See 2nd page for evaluation notes, disclaimer, and signature.

Performance Evaluation Report Form (continued)

PROPERTY/SYSTEM ADDRESS: 460 HUNTCLIFF GREEN ATLANTA, GA 30350	EVALUATION ID: 009680
	SUBDIVISION/LOT/BLOCK: /Property Renovation/

Adverse Conditions (i.e. malfunctioning or damaged system or clear evidence of a condition, or conditions, that would likely contribute to system malfunction or unacceptable risk to public health):

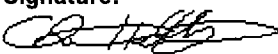
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Additional Notes/Comments:

Recommend no heavy machinery on septic system. Recommend roping off septic system during construction. Maintain necessary setbacks.

APPROVED FOR POOL CONSTRUCTION. APPROVED FOR DECK CONSTRUCTION.

--

Inspector: Christian Hollingsworth	Signature: 	Date: 10/12/2023
--	--	----------------------------

I verify the above information to be correct at the date and time of this evaluation only. **Disclaimer:** This verification shall not be construed as a guarantee of the proper functioning of this system for any given period of time. No liability is assumed for future damages that may be caused by system malfunction.



Environmental Health Services

North Fulton
3155 Royal Drive, Suite 150
Alpharetta, GA 30022
404-612-1801

Central Fulton
10 Park Place South, SE, 4th Floor
Atlanta, Georgia 30303
404-613-1303

South Fulton
1920 John Wesley Ave, Suite 212, 2nd floor
College Park, GA 30337
404-613-5579

Property Renovation Property Owner's Agreement

I, (print) Rachel Maddox, am applying for a Property Renovation Approval to add hardscape to my property located at 460 Hunt Cliff Green, Atlanta, GA 30350
(Check all that apply) ☒ Pool, ☒ Deck, ☐ Patio, ☐ Shed, ☐ Garage, Other: _____

I understand that an approval by the Fulton County Health Department does not mean that the exact location of the Septic System was determined and that the renovation location or heavy equipment used during construction may still disturb the Septic System. If the Septic System is compromised or damaged during the construction all work will stop until repairs are approved by the County Board of Health. I acknowledge the responsibility, as the property owner or the agent of, to make any repairs necessary in accordance to the DPH Manual for Onsite Sewage Management Systems.

Rachel Maddox
★Property Owner's Signature _____ Date: 2023-09-12
[Signature]
Agent of Property Owner's Signature _____ Date: 9/11/23

Signature Certificate

Reference number: QMZMT-3ACWM-KKAM3-VD2WL

Signer

Rachel Maddox

Email: rachel.l.maddox@gmail.com

Sent:

12 Sep 2023 16:55:17 UTC

Viewed:

12 Sep 2023 19:24:33 UTC

Signed:

12 Sep 2023 19:25:58 UTC

Timestamp

Signature

Rachel Maddox

Recipient Verification:

✓Email verified

12 Sep 2023 19:24:33 UTC

IP address: 24.99.192.28

Location: Atlanta, United States

Document completed by all parties on:

12 Sep 2023 19:25:58 UTC

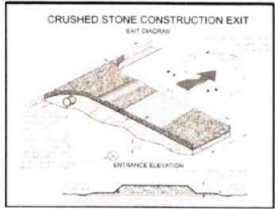
Page 1 of 1



Signed with PandaDoc

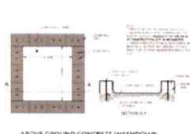
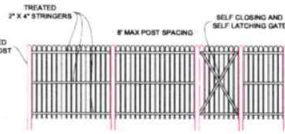
PandaDoc is a document workflow and certified eSignature solution trusted by 40,000+ companies worldwide.





34 HR CONTACT
TIM THOMPSON
OCEAN BLUE
POOLS
+1(404) 895-8710

SITE DATA
TOTAL AREA OF LOT = 50,888.14 S.F. or 1.168 AC
EXISTING IMPERVIOUS = 8,614.80 S.F.
NEW IMPERVIOUS = 2,121.10 S.F.
REPLACED IMPERVIOUS = 277.82 S.F.
TOTAL IMPERVIOUS AREA = 10,913.72 S.F.
IMPERVIOUS AREA / LOT AREA = 0.236 = 23.61%
TOTAL DISTURBED AREA = 5,963.18 S.F.

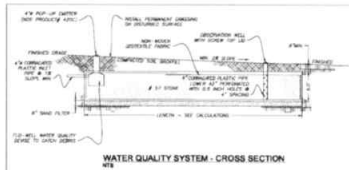


I approved site plan

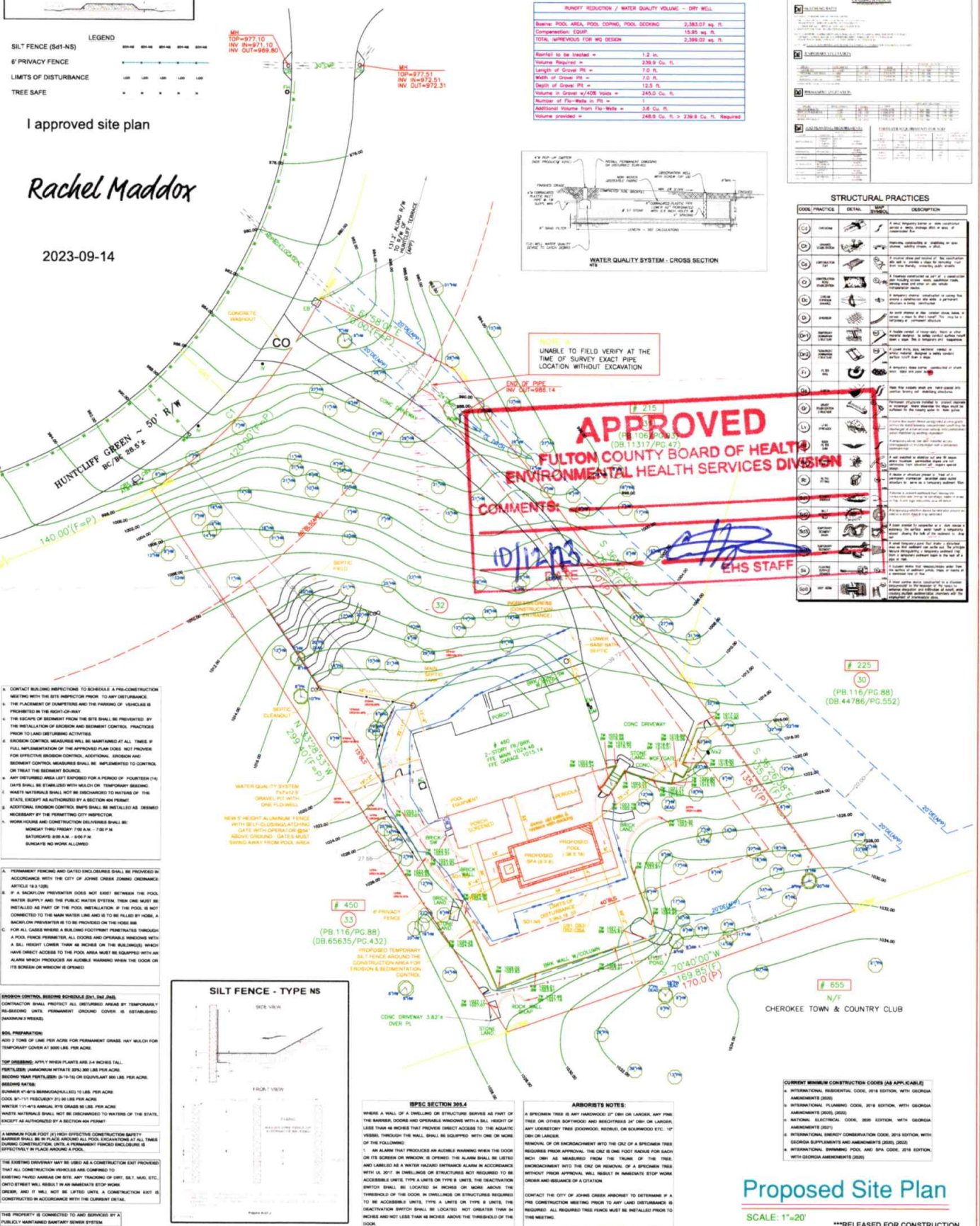
Rachel Maddox

2023-09-14

RUNOFF REDUCTION / WATER QUALITY VOLUME - DRY WELL	
Swimming Pool, Area, Pool, Decking, Pool, Decking	2,383.57 sq. ft.
Compensation: EQSPT	15.80 cu. ft.
TOTAL IMPERVIOUS FOR WQ DESIGN	2,383.57 cu. ft.
Required to be treated =	1.2 in.
Volume Required =	238.9 Cu. ft.
Length of Gravel Pit =	7.0 ft.
Width of Gravel Pit =	7.0 ft.
Depth of Gravel Pit =	12.5 ft.
Volume of Gravel Pit =	245.0 Cu. ft.
Number of 4000 Voids =	3.8 Cu. ft.
Additional Volume from For Wells =	248.8 Cu. ft. > 238.9 Cu. ft. Required
Volume provided =	248.8 Cu. ft. > 238.9 Cu. ft. Required



STRUCTURAL PRACTICES	
CODE/PRACTICE	DESCRIPTION
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- CONTACT BUILDING INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY DISTURBANCE.
- THE PLACEMENT OF CONCRETE AND THE FINISHING OF CONCRETE IS PROHIBITED IN THE RIGHT-OF-WAY.
- THE SCOPE OF DISTURBANCE FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO ANY DISTURBANCE ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF FOURTEEN (14) DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. MULCH MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 401 PERMIT.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEEMED NECESSARY BY THE PERMITTING CITY INSPECTOR.
- WORK SCHEDULE AND CONSTRUCTION SCHEDULE SHALL BE MONDAY THROUGH FRIDAY 7:00 A.M. - 7:00 P.M. SATURDAY 8:00 A.M. - 5:00 P.M. SUNDAY NO WORK ALLOWED.

- PERMANENT FENCING AND GATED ENCLOSURES SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF JOHNS CREEK ORDINANCE ARTICLE 13.1.02B.
- IF A BACKFLOW PREVENTER DOES NOT EXIST WITHIN THE POOL WATER SUPPLY AND THE PUBLIC WATER SYSTEM, THEN ONE MUST BE INSTALLED AS PART OF THE POOL INSTALLATION. IF THE POOL IS NOT CONNECTED TO THE MAIN WATER LINE AND IS TO BE FILLED BY HOSE, A BACKFLOW PREVENTER IS TO BE PROVIDED ON THE HOSE END.
- FOR ALL CASES WHERE A BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERMANENTLY, ALL DOORS AND OPERABLE WINDOWS WITHIN A FENCE HEIGHT LOWER THAN SIX INCHES ON THE BUILDING WHICH HAVE DIRECT ACCESS TO THE POOL AREA MUST BE EQUIPPED WITH AN ALARM WHICH PROVIDES AN AUDIBLE WARNING WHEN THE DOOR OR ITS BURDEN OR WINDOW IS OPENED.

EROSION CONTROL, SEDIMENT CONTROL, AND MULCH
CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS BY TEMPORARY RE-SEEDING UNITS. PERMANENT GROUND COVER IS ESTABLISHED (TYPICALLY 3 WEEKS).

SOIL PREPARATION
ADD 2 TONS OF LIME PER ACRE FOR PERMANENT GRASS. ADD MULCH FOR TEMPORARY COVER AT 500 LBS. PER ACRE.

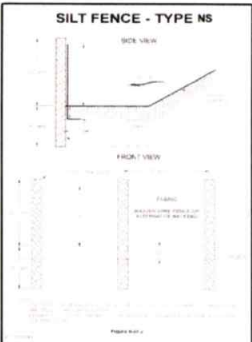
TOP DRESSING
APPLY 1/2 INCH PLANTING MIX 24 INCHES DEEP.
FERTILIZER: JAVANORM NITRATE 20% (20-0-0) LBS PER ACRE.
SEEDING: TALL FESCUE (2-10-15) OR EQUIVALENT 80 LBS PER ACRE.
SEEDING DATE: ...

SEEDING DATE
DUNN 4000'S BROADCAST/20% TO LBS PER ACRE
COOL SEEDING FREQUENCY 20% TO LBS PER ACRE
WINTER 11000'S BROADCAST/20% TO LBS PER ACRE
WATER MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 401 PERMIT.

MINIMUM FOUR FOOT (4') HIGH EFFECTIVE CONSTRUCTION SAFETY BARRIER SHALL BE IN PLACE AROUND THE CONSTRUCTION AREA AT ALL TIMES DURING CONSTRUCTION UNTIL A PERMANENT FENCE ENCLOSURE IS EFFECTIVELY IN PLACE AROUND A POOL.

THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE STOP WORK ORDER, AND IT WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRUCTED IN ACCORDANCE WITH THE CURRENT DISTRICT.

THE PROPERTY IS CONNECTED TO AND SERVICED BY A PUBLICLY MAINTAINED SANITARY SEWER SYSTEM.



IMPSC SECTION 305.4
WHERE A WALL OF A DWELLING OR STRUCTURE SERVES AS PART OF THE BARRIER, DOORS AND OPERABLE WINDOWS WITH A HEIGHT OF LESS THAN SIX INCHES THAT PROVIDE DIRECT ACCESS TO THE AQUATIC VESSEL THROUGH THE WALL SHALL BE EQUIPPED WITH ONE OR MORE OF THE FOLLOWING:
1. AN ALARM THAT PROVIDES AN AUDIBLE WARNING WHEN THE DOOR OR ITS BURDEN OR WINDOW IS OPENED. THE ALARM SHALL BE LISTED AND LABELED AS A WATER ALARM/ENTRANCE ALARM IN ACCORDANCE WITH UL 2017. IN DWELLINGS OR STRUCTURES NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DETECTION SWITCH SHALL BE LOCATED AT LEAST SIX INCHES ABOVE THE THRESHOLD OF THE DOOR, IN DWELLINGS OR STRUCTURES REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DETECTION SWITCH SHALL BE LOCATED NOT GREATER THAN SIX INCHES AND NOT LESS THAN SIX INCHES ABOVE THE THRESHOLD OF THE DOOR.

ARBORISTS NOTES:
A SPECIMEN TREE IS ANY HARDWOOD 3" DBH OR LARGER, ANY PINE TREE OR OTHER SOFTWOOD AND RESISTANCE 2" DBH OR LARGER, ANY CONIFEROUS TREE (SPRUCE, FIR, OR DOUGLASS PINE) 1" DBH OR LARGER, REMOVAL OF OR ENCROACHMENT INTO THE CANOY OF A SPECIMEN TREE REQUIRES PRIOR APPROVAL. THE CANOY IS ONE FOOT INCHES FOR EACH INCH DBH AS MEASURED FROM THE TRUNK OF THE TREE. ENCROACHMENT INTO THE CANOY OR REMOVAL OF A SPECIMEN TREE WITHOUT PRIOR APPROVAL WILL RESULT IN IMMEDIATE STOP WORK ORDER AND SEQUELANCE OF A CITATION.
CONTACT THE CITY OF JOHNS CREEK ARBORIST TO DETERMINE IF A TREE CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBANCE IS REQUIRED. ALL REQUIRED TREE FENCE MUST BE INSTALLED PRIOR TO THE MEETING.

Proposed Site Plan
SCALE: 1"=20'
***RELEASED FOR CONSTRUCTION

STRUCTURAL NOTES:

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI. REINFORCED STEEL FROM POOL WALL SHALL NOT BE BENT INTO A NEW OR FUTURE CONCRETE DECK. CONCRETE DECK SHALL BE FREE TO FLOAT BEYOND POOL WALL. EXCEPTION: STRUCTURAL DECKS SHALL COMPLY WITH THE DESIGN FOR SUPPORT SHOWN ON THESE PLANS.
4. ALL REINFORCING SPLICES SHALL BE 18" IN LENGTH UNLESS OTHERWISE INDICATED ON THESE PLANS.
5. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPLES.
6. POOL WALL REINFORCEMENT IS ADEQUATE TO WITHSTAND THE HORIZONTAL WATER LOADS PLACED ON THE POOL WALL FOR UP TO 18" OF EXPOSED POOL WALL ABOVE GRADE.

LIST OF POOL/SPA EQUIPMENT

- FILTER: PENTAIR C & C PLUS (SIZE 420)
- MAIN PUMP: PENTAIR WHISPERFLO 2HP
- GAS HEATER: PENTAIR MASTERTEMP 400 (400,000 BTU)
- ADDL PUMPS: 1/2 HP BOOSTER PUMP
- CHLORINATOR: INTELLOCHLOR IC-40
- CLEANER: POLARIS 280 VAC SWEEP
- POOL LIGHT: 2 PENTAIR LED COLOR
- SPA LIGHT: 1 PENTAIR LED LIGHT
- POOL/SPA CONTROL: EASYTOUCH-8 WIRELESS

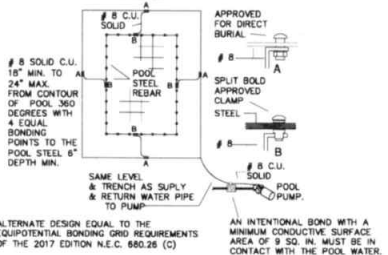
PLUMBING NOTES:

1. ALL POOL EQUIPMENT PIPING SHALL BE SCHEDULE 40 PVC/PW ON THREADED NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HANGERS.
2. ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1-1/2" DIAMETER, UNLESS OTHERWISE NOTED.
3. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS.
4. ANTI-VORTEX MAIN DRAINING SHALL HAVE ITS PLATE SECURELY FASTENED WITH TAMPER-PROOF SCREWS.
5. POOL VACUUM SHALL HAVE SPRING LOADED CAP IN ACCORDANCE WITH THE GEORGIA BUILDING CODE.
6. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEORGIA BUILDING CODE AS IT PERTAINS TO BUOYANCY.
7. THE WATER VELOCITY THROUGH ALL SUCTION PIPING SHALL BE LESS THAN 8 FEET PER SECOND.
8. THE WATER VELOCITY THROUGH ALL PRESSURE PIPING SHALL BE LESS THAN 10 FEET PER SECOND.
9. ALL PIPING SHALL BE SATISFACTORILY PROTECTED TO ULTRA VIOLET RADIATION AND NORMAL OPERATING TEMPERATURES.

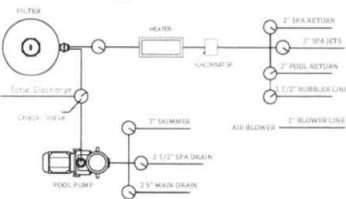
ELECTRICAL NOTES:

1. ALL POOL ELECTRICAL WORK SHALL BE ACCOMPLISHED IN COMPLIANCE WITH FBC 2020, 7TH EDITION, CHAPTER 42.
2. ALL POOL ELECTRICAL WORKS, GROUNDING AND BONDING MUST BE CONFORM WITH THE NEC 2017, ART. 680.
3. AT LEAST ONE GFCI PROTECTED, 125-VOLT RECEPTACLE OUTLET IS REQUIRED BETWEEN 5 AND FEET OF THE INSIDE WALL OF THE POOL, NEC 680.22(A)(1) (RESIDENTIAL AND COMMERCIAL).
4. THE EQUIPMENT GROUNDING CONDUCTOR MUST BE A MINIMUM 12 AWG COPPER, NEC 680.21(A), 680.25(2)(2) (680.25(1)).
5. EQUIPOTENTIAL BONDING TO COMPLY WITH 2017 NEC 680.26(B) SHALL BE INSTALLED IN OR UNDER PAVED WALKING SURFACES FOR THREE FEET HORIZONTALLY BEYOND THE WALLS OF THE POOL, NEC 680.26(C) 1, 4 POINTS & DECK BONDING (90 DEGREES).
6. RECEPTACLE OUTLETS ARE NOT PERMITTED WITHIN 6 FEET OF THE INSIDE WALLS OF A POOL, NEC 680.22(A)(2).
7. POOL PUMP MOTOR CIRCUITS, MUST BE PROVIDED WITH GFCI PROTECTION, NEC 680.21(C).
8. LIGHTING OUTLETS MUST BE LOCATED A MINIMUM OF 5 FEET FROM THE INSIDE WALL OF A POOL OR MOUNTED A MINIMUM OF 12 FEET ABOVE THE MAXIMUM WATER LEVEL, NEC 680.22(B)(1).
9. OVERHEAD CONDUCTORS ARE NOT PERMITTED OVER THE POOL OR THEN 10 FEET HORIZONTALLY FROM THE EDGE OF THE POOL, NEC 404.1 A, 1, 4.
10. OVERHEAD CONDUCTORS SHALL NOT BE PERMITTED OVER THE POOL OR WITHIN 10 FEET HORIZONTALLY FROM EDGE OF THE POOL UNLESS PROVIDED WITH CLEARANCE TO COMPLY WITH NEC 680.8.
11. A CONDUCTIVE ELEMENT THAT IS PART OF THE POOL BONDING SYSTEM MUST BE IN DIRECT CONTACT WITH THE POOL WATER. IN THE ABSENCE OF RAILS, LADDERS, OR NICHES, A WATER BONDING SHALL MEET THE REQUIREMENT, NEC 680.26(C).
12. ALL METAL PARTS WITHIN 5 FEET OF THE POOL MUST BE BONDED TO A COMMON BONDING GRID, NEC 680.26(B)(5).

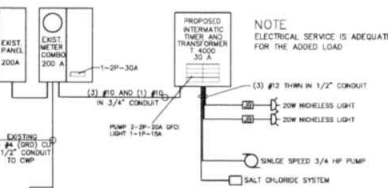
NOTE:
ALL METAL LOCATED WITHIN 5' OF POOL WATER SHALL BE BONDED



BONDING DETAIL
NTS



PUMP CONNECTION DIAGRAM
NTS



NOTES

- A. POOL PUMP TO COMPLY WITH FBC E 403.
- B. POOL MOTORS REQUIRE OVERLOAD PROTECTION TO COMPLY WITH NEC 430.32.

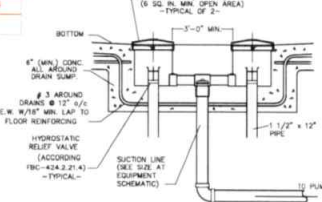
ELECTRIC DIAGRAM

DATA	POOL	SPA	DECK
MAX. LENGTH (FEET)	38	8	59
MAX. WIDTH (FEET)	18	8	30
DEPTH (FEET)	3.5 - 7	4	-
SURFACE AREA (SQ. FT.)	684	64	1,645
PERIMETER (FEET)	112	32	224
VOLUME (GALLONS)	26,861	1,676	-

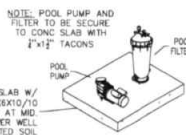
NOTES:

REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS:

- >> CONCRETE POURED AGAINST EARTH : : : : : 3"
- >> CONCRETE EXPOSED TO EARTH OR WEATHER: : : : : 1-1/2"
- 5' OR SMALLER : : : : : 2"
- 6' OR LARGER : : : : : 2"



DOUBLE MAIN DRAIN DETAIL
NTS



EQUIPMENT HOLD DOWN
NTS

approve site plan

Rachel Maddox

2023-09-14

Section A - A

SCALE: 3"=1'-0"

DECK SHALL BE PERVIOUS, SLIP RESISTANT AND SLOPED 1/8"/FT TO EFFECTIVELY DRAIN TOWARD THE PERIMETER AREAS AWAY FROM THE POOL AND FOUNDATIONS

NOTE: THE PIPING SHOWN IS A GRAPHIC REPRESENTATION OF PIPE ROUTE. ACTUAL ROUTING MAY DEFER FROM THIS PLAN.

PERGOLA

22'-0"

PORCH
SCREENED

POOL EQUIPMENT

Proposed Pool Plan

SCALE: 3"=1'-0"

***RELEASED FOR CONSTRUCTION

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DATE	REVISION	BY	CHKD
SEPTEMBER 2023	1	RA	RA

PROPOSED SWIMMING POOL FOR;
MADDOX
460 Huntcliff Green, Sandy Springs, GA 30350

NO.	DESCRIPTION	DATE	BY	CHKD
1	10.0.0	10.0.0	10.0.0	10.0.0
2	10.0.0	10.0.0	10.0.0	10.0.0
3	10.0.0	10.0.0	10.0.0	10.0.0
4	10.0.0	10.0.0	10.0.0	10.0.0
5	10.0.0	10.0.0	10.0.0	10.0.0
6	10.0.0	10.0.0	10.0.0	10.0.0
7	10.0.0	10.0.0	10.0.0	10.0.0
8	10.0.0	10.0.0	10.0.0	10.0.0
9	10.0.0	10.0.0	10.0.0	10.0.0
10	10.0.0	10.0.0	10.0.0	10.0.0

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