

DATE: JANUARY 30, 2024

TO: MAYOR RUSTY PAUL, City of Sandy Springs
ATTN TO: HELEN OWENS, ZONING ADMINISTRATOR, City of Sandy Springs
FROM: Anna Roach, Executive Director, Atlanta Regional Commission



ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-23-03SS 460 Huntcliff Green

Submitting Local Government: City of Sandy Springs

Date Opened: January 17, 2024

Date Closed: January 30, 2024

FINDING: ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: The National Park Service submitted comments which are attached. They express concerns that the project could cause detrimental impacts to park resources if proper Best Management Practices (BMPs) are not followed and maintained. With these concerns in mind, the NPS made the following recommendations: (1) wash and clean equipment to remove any mud and debris that may transport unwanted pests before being brought on-site and use only native grass seed or native vegetation for stabilizing the project area following construction; (2) utilize native plants for all plantings; (3) utilize and maintain best practices for erosion control; and (4) develop a pool maintenance and management plan that includes a sustainable plan to drain the pool when needed that does not direct water to streams or ditches on-site that lead directly to the Chattahoochee River.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
HISTORIC RIVERLINE

CHATTAHOOCHEE RIVERKEEPER
CITY OF ROSWELL
FULTON COUNTY

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC website at <https://atlantaregional.org/plan-review>

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** City of Sandy Springs

2. **Owner(s) of Record of Property to be Reviewed:**
 Name(s): Rachel & Anthony Maddox
 Mailing Address: 460 Huntcliff Green
 City: Sandy Springs **State:** GA **Zip:** 30350
 Contact Phone Numbers (w/Area Code):
 Daytime Phone: 404-606-3636 **Fax:** _____
 Other Numbers: _____

3. **Applicant(s) or Applicant's Agent(s):**
 Name(s): Todd Shoemaker
 Mailing Address: 1440 Dutch Valley Place, Suite 600
 City: Atlanta **State:** GA **Zip:** 30324
 Contact Phone Numbers (w/Area Code):
 Daytime Phone: 678-485-2922 **Fax:** _____
 Other Numbers: _____

4. **Proposed Land or Water Use:**
 Name of Development: New Swimming Pool
 Description of Proposed Use: Construct a new swimming pool in backyard

5. **Property Description (Attach Legal Description and Vicinity Map):**
 Land Lot(s), District, Section, County: _____

 Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
 Parcel ID#17-0079-0002-006-5
 Size of Development (Use as Applicable):
 Acres: **Inside Corridor:** 1.68
 Outside Corridor: _____
 Total: _____
 Lots: **Inside Corridor:** _____
 Outside Corridor: _____
 Total: _____
 Units: **Inside Corridor:** _____
 Outside Corridor: _____
 Total: _____
 Other Size Descriptor (i.e., Length and Width of Easement):
 Inside Corridor: _____
 Outside Corridor: _____
 Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Yes, approval attached

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	50,888.14sf	17,819.29sf	11,735.68sf	(50) 35	(30) 23.6
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	_____	_____	_____	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

____ Written consent of all owners to this application. (Space provided on this form)

____ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

____ Description of proposed use(s). (Space provided on this form)

____ Existing vegetation plan.

____ Proposed grading plan.

____ Certified as-builts of all existing land disturbance and impervious surfaces.

____ Approved erosion control plan.

____ Detailed table of land-disturbing activities. (Both on this form and on the plans)

___ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

___ Documentation on adjustments, if any.

___ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

___ Site plan.

___ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

___ Concept plan.

___ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Rachael Muddox
[Signature]

11.28.23

11.28.23

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Todd Shoemaker

[Signature]

11/27/23

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of The City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Helen Owens

11/29/2023

Signature of Chief Elected Official or Official's Designee

Date

(OWNER'S NAME)

(PROJECT ADDRESS)

SCOPE OF WORK

APPLICABLE CODE

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
 - International Fire Code, 2018 Edition (Contact State Fire Marshal Below)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
 - International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
 - National Electrical Code, 2020 Edition (No Georgia Amendments)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)

RELEASED FOR CONSTRUCTION



United States Department of the Interior

National Park Service
Chattahoochee River
National Recreation Area
1978 Island Ford Parkway
Sandy Springs, GA 30350



IN REPLY REFER TO:

1.A.2

January 29, 2024

Donald Shockey
Atlanta Regional Commission
229 Peachtree Street NE
Suite 100
Atlanta, Georgia 30303

Dear Mr. Shockey:

This letter is a notification of receipt of the MRPA Review Notification RC-23-03SS 460 Huntcliff Green in Fulton County, Georgia. This project will involve construction of a new swimming pool for an existing single-family home. The analysis estimates that 17,819 SF of disturbed area and 11,735 SF of impervious surface meet the criteria for vulnerability category D.

Congress established the Chattahoochee River National Recreation Area (CRNRA), a unit of the National Park Service (NPS), in 1978 to assure the preservation and protection of a 48-mile stretch of the Chattahoochee River from Buford Dam to Peachtree Creek. CRNRA consists of the river and its bed along with the lands, waters, and interests within the park's authorized boundary. Congress expressly provided the Secretary of the Interior, acting through the National Park Service (NPS) and CRNRA, with the authority to protect the "natural, scenic, recreation, historic and other values" of the Chattahoochee River. We are concerned that the project could cause detrimental impacts to park resources if proper Best Management Practices (BMPs) are not followed and maintained. It is with these concerns in mind that NPS offers the following comments and recommendations:

Introduce/Promote Non-native Species

Construction activities have the potential to transport exotic invasive plant and animal species.

Recommendation: We request that all equipment be washed and cleaned of mud and debris that may transport unwanted pests before being brought on-site. The NPS encourages the project applicant to use only native grass seed or native vegetation for stabilizing the project area following construction. Non-native species are easily transported downstream.

Landscaping with Native Species

Landscaping with native plant species provides a beautiful, hardy, drought resistant yard that benefits the natural environment. It requires less water, fertilizer, and pesticides, therefore costing less in maintenance. Furthermore, native plants promote stewardship of our natural heritage by supporting pollinators, birds, and other wildlife while supporting biological diversity and ecological functions.

Recommendation: NPS encourages the use native plant species for landscaping to reduce the spread of exotic species into natural areas.

Erosion and Sedimentation

In general, to protect the stream and water quality during construction, Best Management Practices (BMPs) should be designed and implemented to comply with the standards and specifications outlined in the *Manual for Erosion and Sediment Control in Georgia* (Georgia Soil and Water Conservation Commission). An approved erosion and sedimentation control plan should be implemented before soil disturbances occur within the project site to avoid violating the Erosion and Sedimentation Act of 1975.

Currently, the Chattahoochee River near the proposed project site is listed as impaired on the state of Georgia's 303(d) listing for not fully meeting its designated uses. CRNRA is vested in improving the current state of this water body, and any addition of sediment or run-off would further disrupt the current water quality condition. Caution is advised to prevent a flush of sediment deposits during the construction process.

Recommendation: After proper installation, continued and unfailing maintenance and repair of the BMP's should be guaranteed in order to ensure their effectiveness and specifically to control, as far as possible, the effects of this project on the river.

Pool Maintenance and Management Plan

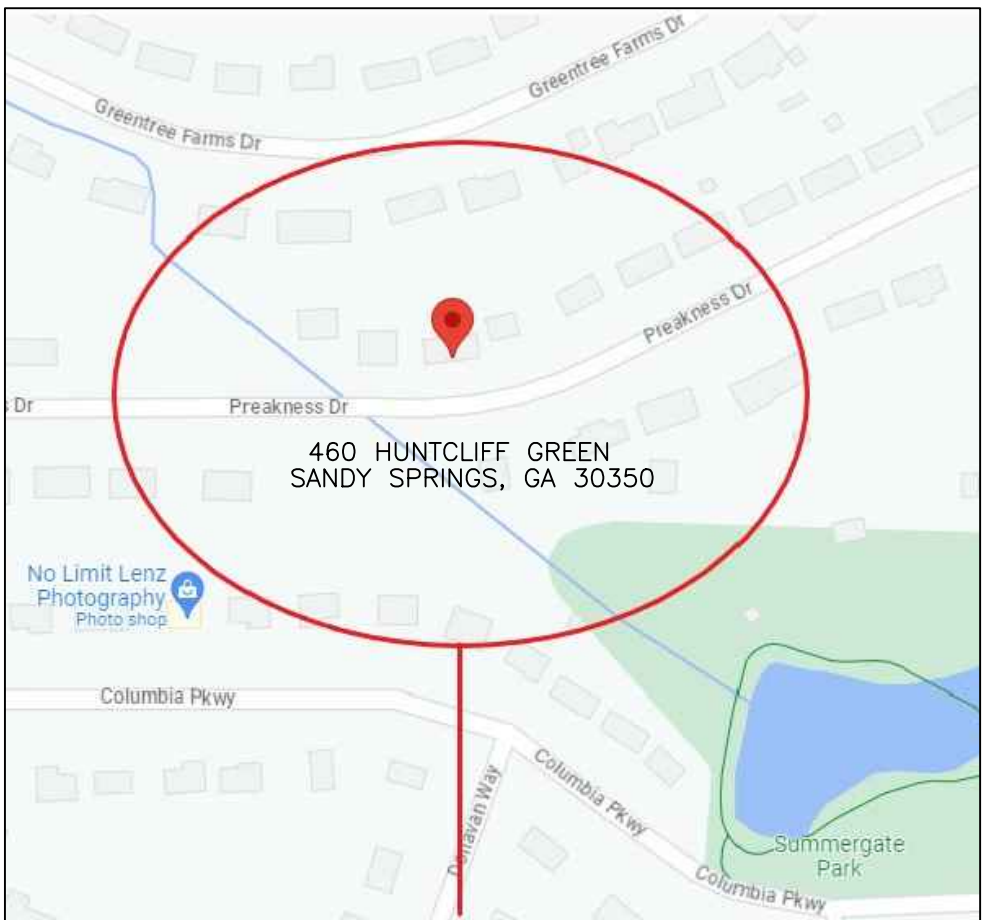
The proposed project includes the installation of a pool at a site that has a septic system. Pools typically require the use of chemicals such as chloride and bromide as well as algaecides, biocides, water conditioners, and stabilizers which could all be harmful to natural waterways. Additionally, these additives prevent pools from being drained into septic systems.

Recommendations: The owners should develop a pool maintenance and management plan that includes a sustainable plan to drain the pool. Pool drainage should not be directed to areas that may lead directly to the Chattahoochee River.

We appreciate your consideration of these comments. Please feel free to contact the park's Chief of Planning, Resources, and Education, Beth Wheeler, directly if you have any questions or concerns that we could help to address. She can be reached at 678-538-1321 or by email at Beth_Wheeler@nps.gov.

Sincerely,

Ann Honious
Superintendent



SITE LOCATION MAP
NOT TO SCALE

Curve	Radius	Length	Chord	Chord Bear.
C1	236.164'	120.00'	118.71'	N 41°03'26"E

PROPERTY IS ZONED RD-27
CITY OF SANDY SPRINGS
BEFORE DEVELOPMENT OF THIS PROPERTY,
BUILDING SETBACK :
FRONT: 60'
SIDE: 15'
REAR: 40.0'
MAX LOT COVERAGE 30%
MAX BUILDING HEIGHT 3 STORIES/40'

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY,
DEVELOPER AND ARCHITECT TO CONFIRM
ZONING DISTRICT, PER ZONING DEPARTMENT.

Existing Conditions

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (S NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL.
MAP ID 1312101516 EFFECTIVE DATE: 9/18/2013
ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

* LEGEND *

APD AS PER DEED	IR IRON ROD FOUND
AE ACCESS EASEMENT	IV IRRIGATION VALVE
APP AS PER FIELD	JB JUNCTION BOX
AI ANGLE IRON FOUND	LL LAND LOT LINE
APR AS PER PLAT	LLS LAND LOT LINE
ASR AS PER RECORD	MGN MAGNOLIA TREE
BLK BACK OF CURB	MH MAN HOLE
BLK BLOCK	MTF METAL FENCE
BLS BUILDING LINE SETBACK	OH OVERHANG
BSM BRICK	OP OPEN TOP PIPE FOUND
CBK CABLE BOX	OU OWNERSHIP UNCLAR
CB CONCRETE	PC PROPERTY CORNER
CB CENTER BASIN	PL PLANT
CLF CHAIN LINK FENCE	PN PINE TREE
CLP CORRUGATED METAL PIPE	POB POINT OF BEGINNING
C.O.A. CITY OF ATLANTA	PP POWER POLE
CLW CRAWL SPACE	PL POWER LINE
CPT CALCULATED POINT	PL PLANT
CPT CARPORT	R RECORD
CPT CMP TOP PIPE FOUND	RFB REINFORCING BAR FOUND
DE DEED	RBS REINFORCING BAR SET
DEE DRAINAGE EASEMENT	RFB REINFORCING CONC. PIPE
DI DRAINAGE INLET	R/W RIGHT-OF-WAY
EM ELECTRIC METER	SSL SANITARY SEWER LINE
EP EDGE OF PAVEMENT	SS SANITARY SEWER INLET
FP FIELD	SP SCREENED PORCH
FP FENCE POST	SP SIGN
FC FENCE CORNER	TB TOP OF BANK
FI FIRE HYDRANT	UE UTILITY EASEMENT
FR FRAME	WD WOOD
GL GAS LINE	WDF WOOD FENCE
GM GAS METER	WOK WOOD DECK
GV GAS VALVE	WL WATER LINE
GW GUY WIRE	WM WATER METER
HW HARDWOOD TREE	WW WATER VALVE
IPS IRON PIN SET	WV WET WEATHER
	WV WET WEATHER
	WV WET WEATHER

* LINE INDICATORS *

INDICATES SANITARY SEWER LINE	INDICATES POWER LINE
INDICATES WATER LINE	INDICATES GAS LINE
INDICATES FENCE LINE	INDICATES DRAINAGE LINE
BURIED CABLE LINE	

* SYMBOLS *

WATER METER	ELECTRIC PANEL/METER
AIR CONDITIONER	
GAS METER	
JUNCTION BOX	
SANITARY SEWER MANHOLE	
STORM MANHOLE	
TRAFFIC/INFO SIGN	
GAS MARKER	
LAMP POST	
METAL POST	
WATER VALVE	
HEADWALL	
STAIRS	
DRAINAGE INLET	
FIRE HYDRANT	



IF YOU DO GEORGIA,
CALL US FIRST
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

HUNTCLIFF TERRACE ~ 50' R/W
BC/BC 28.5'±

NOTE A
UNABLE TO FIELD VERIFY AT THE
TIME OF SURVEY EXACT PIPE
LOCATION WITHOUT EXCAVATION

215
31
(PB.106/PG.93)
(DB.11317/PG.47)

225
30
(PB.116/PG.88)
(DB.44786/PG.552)

450
33
(PB.116/PG.88)
(DB.65635/PG.432)

655
N/F
CHEROKEE TOWN & COUNTRY CLUB

TOTAL LAND AREA
50888.14 SF / 1.168 AC

ALLOWABLE LOT COVERAGE
15266.44 SF / 0.350 AC / 30%
EXISTING LOT COVERAGE
9614.60 SF / 0.221 AC / 18.89%

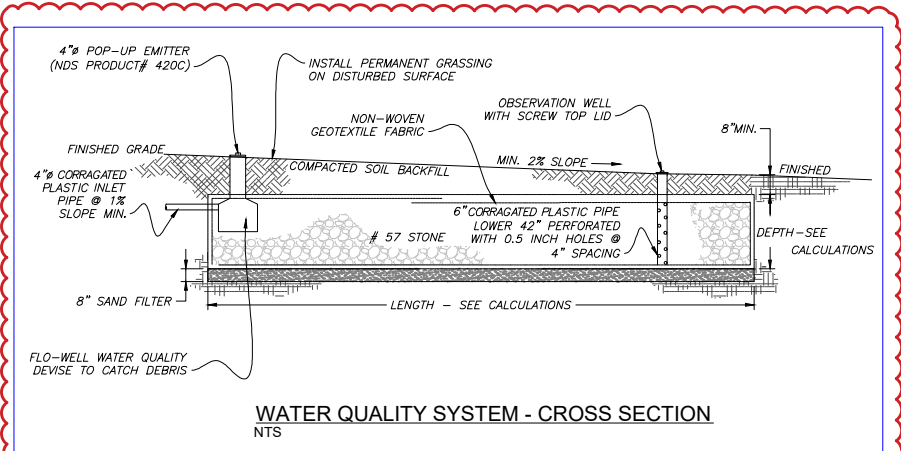
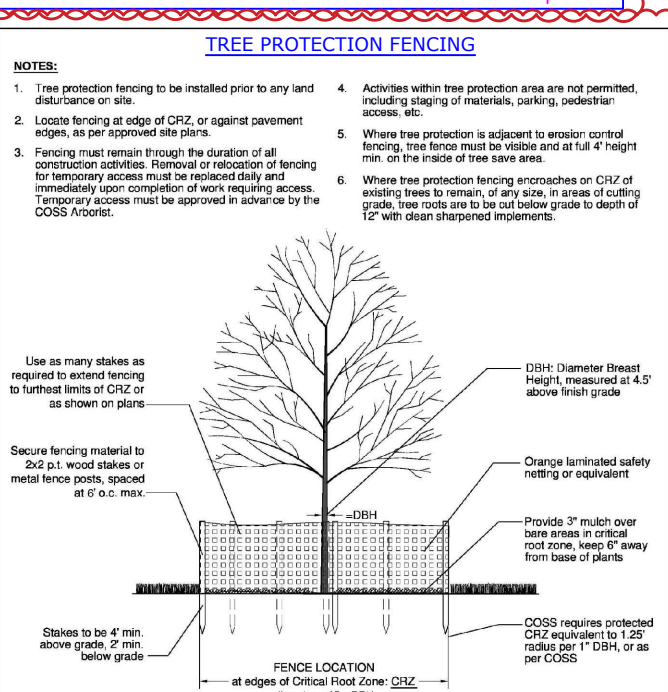
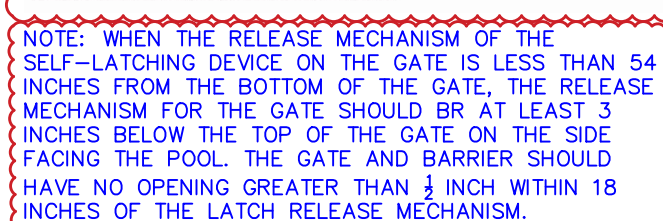
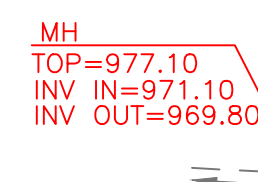
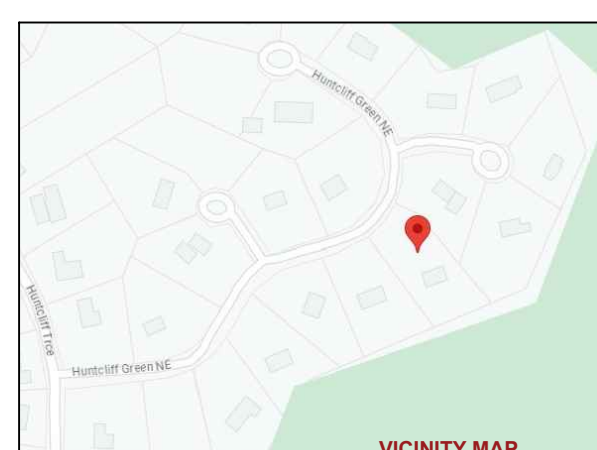
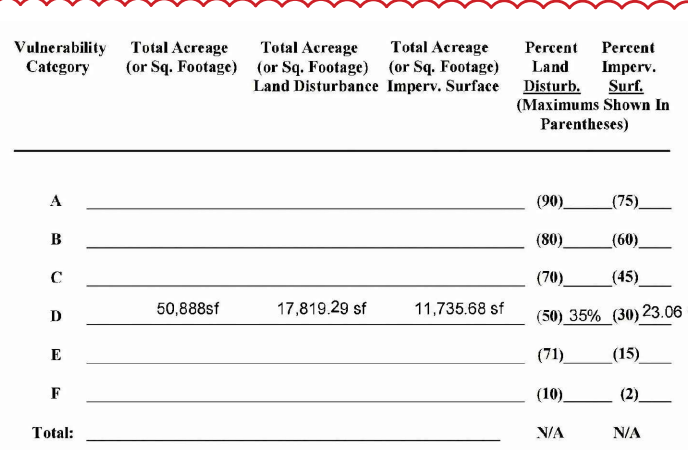
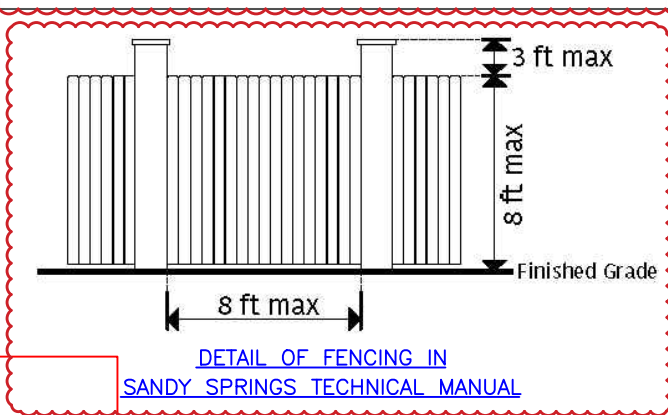
0 20
SCALE 1" = 20'

LOT 32 HUNTCLIFF SUBDIVISION LAND LOT 79 FULTON COUNTY, GEORGIA FIELD WORK DATE JULY 25, 2023 ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	BLOCK E UNIT SECTION DB.66540/PG.441 PB.106/PG.93 PRINTED/SIGNED JULY 28, 2023 PAPER SIZE: 24" x 36"	EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1 RACHEL MADDOX PROPERTY ADDRESS: 460 HUNTCLIFF GREEN SANDY SPRINGS, GA 30350 24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-292-5747 INFO@SURVEYLANDEXPRESS.COM
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EXISTING IMPEVIOUS LOT COVERAGE	
TOTAL AREA OF LOT	= 50,888.14 S.F
HOUSE	= 3,027.96 S.F
DRIVEWAY	= 4,883.91 S.F
PORCH/PATIO/SCREENED	= 752.15 S.F
SIDEWALK	= 402.47 S.F
STONE LANDINGS	= 78.52 S.F
BRICK LANDINGS	= 202.45 S.F
WALLS/RET. WALLS	= 258.14 S.F
AC PAD	= 9.0 S.F
TOTAL IMPEVIOUS AREA	= 9514.60 S.F
IMPEVIOUS AREA / LOT AREA	= 0.1889 = 18.89%
TOTAL LAND DISTURBANCE	= 9614.60 +
	2241.51 (peepic field)
	= 11,856.11 S.F.
	= 23.3 %

The category on this property is in D, which allows 50% land disturbance and 30% impervious surface.

[illegible]

NOTE A
UNABLE TO FIELD VERIFY AT THE
TIME OF SURVEY EXACT PIPE
LOCATION WITHOUT EXCAVATION

CANOPY REQUIREMENT

*Required Canopy Coverage (RCC)
Site Area (sq. ft.) x 35%
 $50,888.14 \times 0.35 = \underline{17,811 \text{ sq. ft.}}$

*Existing Canopy to remain (EC)

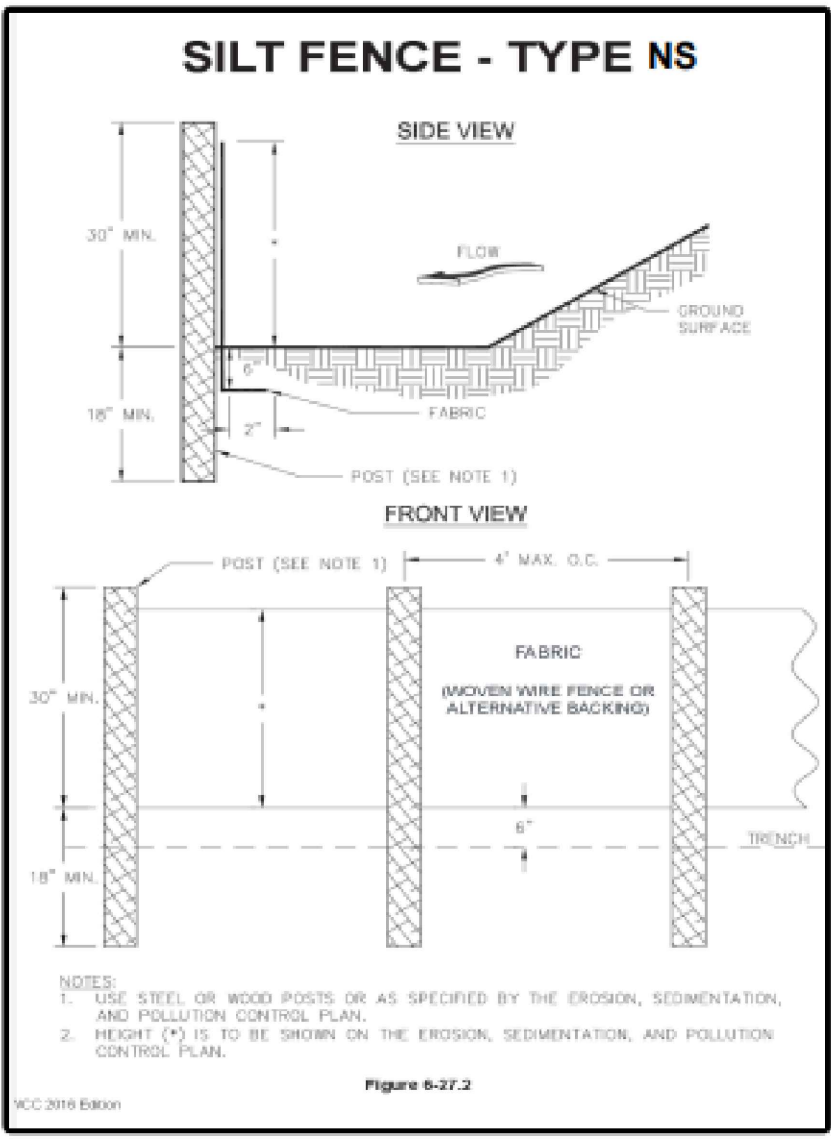
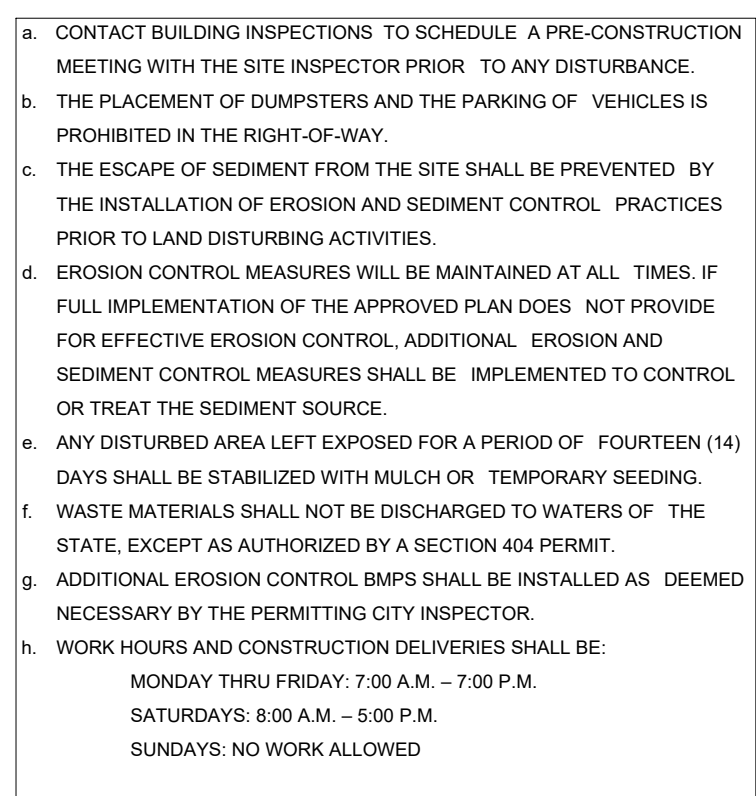
- (3) 18" Hardwood
- (1) 18" Pine
- (4) 19" Hardwood
- (3) 20" Hardwood
- (6) 21" Hardwood
- (1) 21" Pine
- (1) 22" Pine
- (3) 23" Hardwood
- (2) 25" Hardwood
- (1) 25" Pine
- (1) 26" Pine
- (2) 26" Hardwood
- (3) 27" Hardwood
- (3) 29" Hardwood
- (1) 33" Hardwood

(35) Total x 1,000 sq. ft. = 35,000 sq. ft.

*LANDMARK REPLACEMENT (LR)
(Landmark trees are 18" and larger)
Landmark canopy to be removed=
- -----
(0) Total x 1,000 sq. ft x 1.5 = 00.00 sq. ft.

*CANOPY REPLACEMENT (CR)
CR = RCC - EC + LR
(RCC) 17,811 sq. ft. < (EC) 35,000 sq. ft.
"No Canopy Replacement required."

TREE NOTES			
RECOMPENSE FORMULA			
$(\$ \text{AMOUNT} \div \$100.00) \times (\# \text{ OF TREES DESTROYED} \times \# \text{ OF TREES LOST}) - \# \text{ TREES REPLACED} =$ $\$30.00 \times (\text{DBH INCHES DESTROYED} \times \text{DBH INCHES LOST}) - \text{CALIPER INCHES REPLACED}$			
\$100.00 x # TREES DESTROYED	= DBH (INCHES) x 3	=	\$300.00
+ \$30.00 x DBH INCHES DESTROYED	= \$30.00 x 38	=	\$1140.00
- \$100.00 x TREES REPLACED	= \$30.00 x 0	=	\$0.00
- <u>\$30.00 x DBH INCHES REPLACED</u>	= <u>\$30.00 x 0</u>	=	<u>\$0.00</u>
		=	<u>\$1410.00</u>



ISPC SECTION 305.4

WHERE A WALL OF A DWELLING OR STRUCTURE SERVES AS PART OF THE BARRIER, DOORS AND OPERABLE WINDOWS WITH A SILL HEIGHT OF LESS THAN 48 INCHES THAT PROVIDE DIRECT ACCESS TO THE AQUATIC VESSEL THROUGH THE WALL SHALL BE EQUIPPED WITH ONE OR MORE OF THE FOLLOWING:

1. AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN OR WINDOW, IS OPENED. THE ALARM SHALL BE LISTED AND LABELED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 717. IN DWELLINGS OR STRUCTURES NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS OR STRUCTURES REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED NOT GREATER THAN 54 INCHES AND NOT LESS THAN 48 INCHES ABOVE THE THRESHOLD OF THE DOOR.

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (S) IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARD, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP # 131C1013116. EFFECTIVE DATE: 2/18/2013.

ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE. THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA, A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION, CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

CURRENT MINIMUM CONSTRUCTION CODES (AS APPLICABLE)	
a.	INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
b.	INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020), (2022)
c.	NATIONAL ELECTRICAL CODE, 2020 EDITION, WITH GEORGIA AMENDMENTS (2021)
d.	INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020), (2022)
e.	INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

Proposed Site Plan

SCALE: 1"=20'

***RELEASED FOR CONSTRUCTION

STRUCTURAL NOTES:

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 2500 PSI. REINFORCED STEEL FROM POOL WALL SHALL NOT BE BENT INTO A NEW OR FUTURE CONCRETE DECK. CONCRETE DECK SHALL BE FREE TO FLOAT BEYOND POOL WALL. EXCEPTION: STRUCTURAL DECKS SHALL COMPLY WITH THE DESIGN FOR SUPPORT SHOWN ON THESE PLANS.
4. ALL REINFORCING SPLICES SHALL BE 18" IN LENGTH UNLESS OTHERWISE INDICATED ON THESE PLANS.
5. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPLES.
6. POOL WALL REINFORCEMENT IS ADEQUATE TO WITHSTAND THE HORIZONTAL WATER LOADS PLACED ON THE POOL WALL FOR UP TO 18" OF EXPOSED POOL WALL ABOVE GRADE.

LIST OF POOL/SPA EQUIPMENT

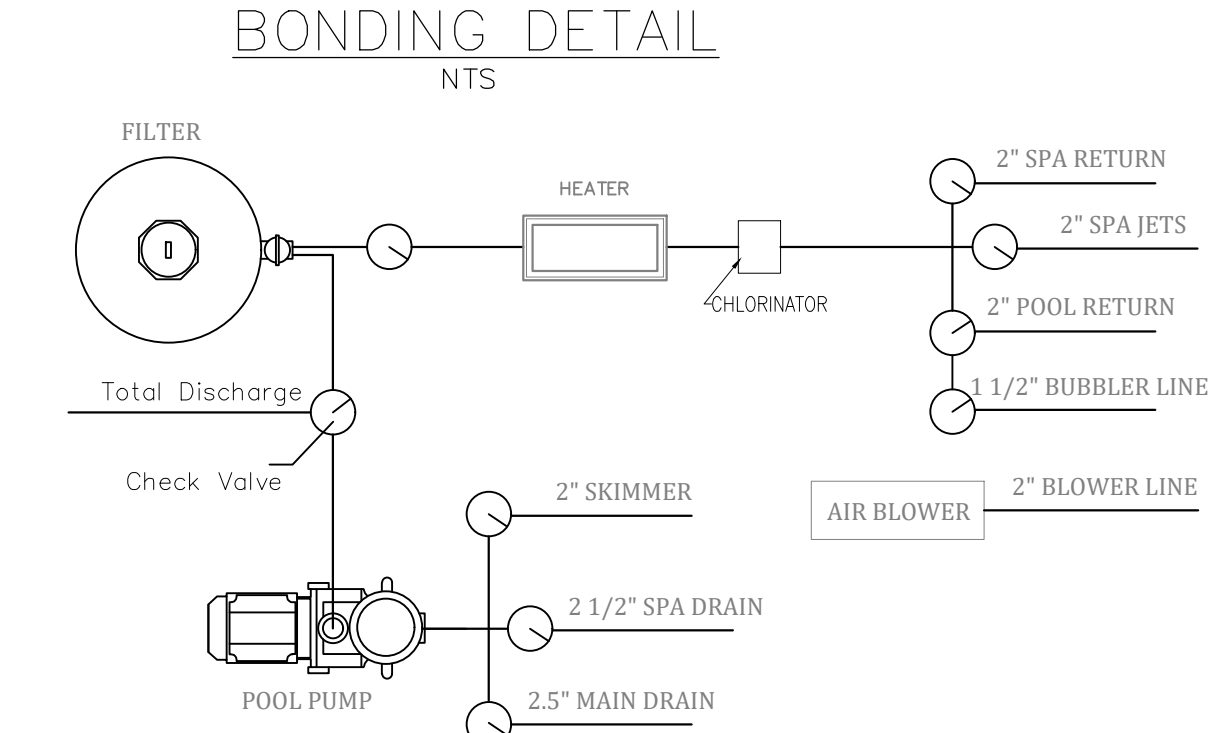
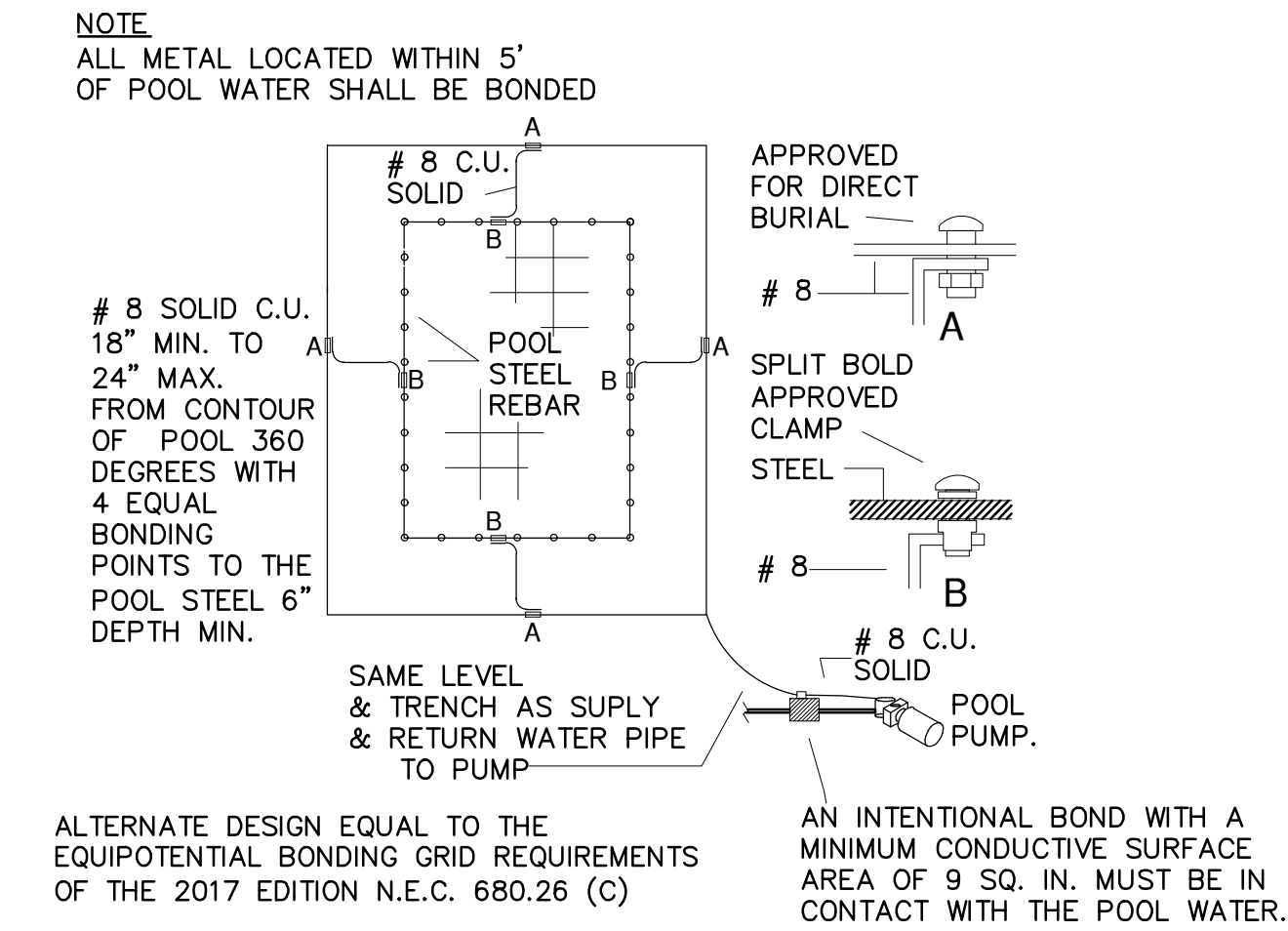
- FILTER: PENTAIR C & C PLUS (SIZE 420)
- MAIN PUMP: PENTAIR WHISPERFLO 2HP
- GAS HEATER: PENTAIR MASTERTEMP 400 (400,000 BTU)
- ADD'L PUMPS: 3/4 H.P. BOOSTER PUMP
- CHLORINATOR: INTELICHLOR IC-40
- CLEANER: POLARIS 280 VAC SWEEP
- POOL LIGHT: 2 PENTAIR LED COLOR
- SPA LIGHT: 1 PENTAIR LED LIGHT
- POOL/SPA CONTROL: EASYTOUCH-8 WIRELESS

PLUMBING NOTES:

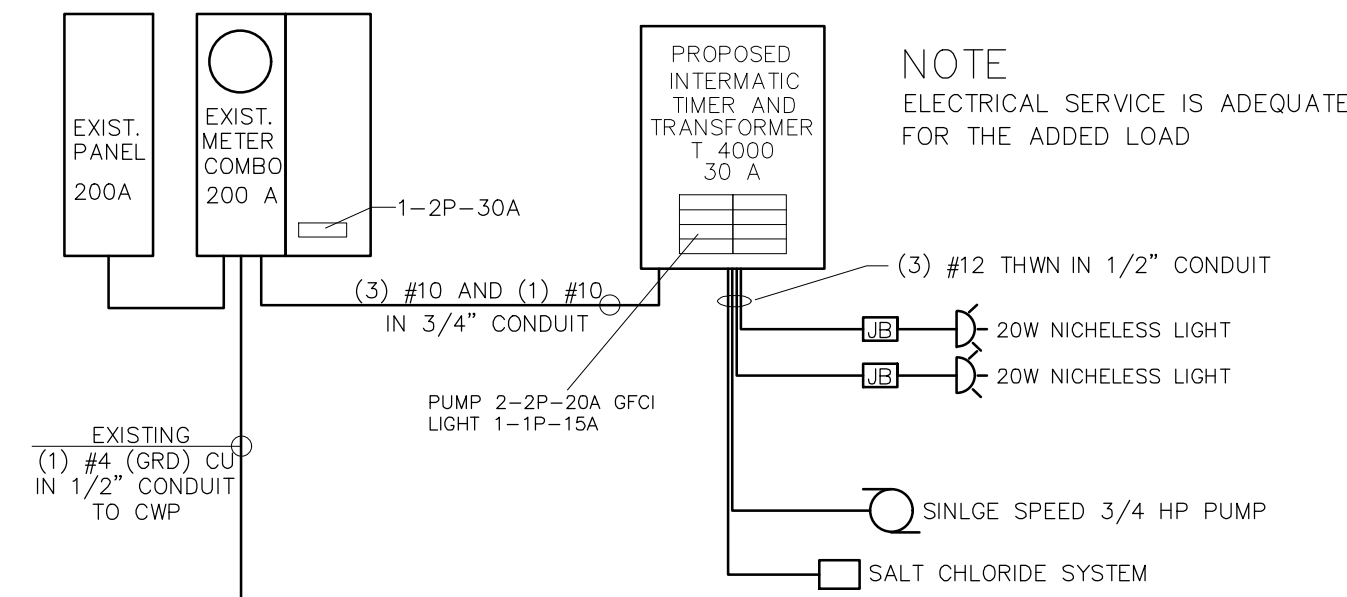
1. ALL POOL EQUIPMENT PIPING SHALL BE SCHEDULE 40, PVC-PW, ON-THREADED, NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HENGERS.
2. ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1-1/2" DIAMETER, UNLESS OTHERWISE NOTED.
3. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS.
4. ANTI VORTEX MAIN DRAINS SHALL HAVE ITS PLATE SECURELY FASTENED WITH TAMPER-PROOF SCREWS.
5. POOL VACUUM SHALL HAVE SPRING LOADED CAP IN ACCORDANCE WITH THE GEORGIA BUILDING CODE
6. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEORGIA BUILDING CODE AS IT PERTAINS TO BUOYANCY.
7. THE WATER VELOCITY THROUGH ALL SUCTION PIPING SHALL BE LESS THAN 8 FEET PER SECOND.
8. THE WATER VELOCITY THROUGH ALL PRESSURE PIPING SHALL BE LESS THAN 10 FEET PER SECOND.
9. ALL PIPING SHALL BE SUITABLE FOR EXPOSURE TO ULTRA VIOLET RADIATION AND NORMAL OPERATING TEMPERATURES

ELECTRICAL NOTES:

1. ALL POOL ELECTRICAL WORK SHALL BE SCHEDULE 40, PVC-PW, ON-THREADED, NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'-0" CENTERS WITH CLEVIS HENGERS.
2. ALL POOL ELECTRICAL WORKS, GROUNDING AND BONDING MUST BE CONFORM WITH THE NEC 2017, ART 680.
3. AT LEAST ONE GFCI PROTECTED, 125-VOLT RECEPTACLE OUTLET IS REQUIRED BETWEEN 6 AND FEET OF THE INSIDE WALL OF THE POOL. NEC 680.22(A)(1)(RESIDENTIAL AND COMMERCIAL.)
4. THE EQUIPMENT GROUNDING CONDUCTOR MUST BE A MINIMUM 12 AWG COPPER. NEC 680.21(A); 680.25(F)(2); 680.25(8)(1)
5. EQUIPOTENTIAL BONDING TO COMPLY WITH 2017 NEC 680.26(8) SHALL BE INSTALLED IN OR UNDER PAVED WALKING SURFACES FOR THREE FEET HORIZONTALLY BEYOND THE WALLS OF THE POOL NEC 680.26(C) L 4 POINTS & DECK BONDING (360 DEGREES)
6. RECEPTACLE OUTLETS ARE NOT PERMITTED WITHIN 6 FEET OF THE INSIDE WALLS OF A POOL NEC 680.22(A)(2)
7. POOL PUMP MOTOR CIRCUITS, MUST BE PROVIDED WITH GFCI PROTECTION. NEC 680.21(C)
8. LIGHTING OUTLETS MUST BE LOCATED A MINIMUM OF 5 FEET FROM THE INSIDE WALL OF A POOL OR MOUNTED A MINIMUM OF 12 FEET ABOVE THE MAXIMUM WATER LEVEL NEC680.22(8)(1.)
9. OVERHEAD CONDUCTORS ARE NOT PERMITTED OVER THE POOL OR THIN 10 FEET HORIZONTALLY FROM THE EDGE OS THE POOL FBC 426.1.4.2.4
10. OVERHEAD CONDUCTORS SHALL NOT BE PERMITTED OVER THE POOL OR WITHIN 10 FEET HORIZONTALLY FROM EDGE OF THE POOL UNLESS PROVIDE WITH CLEARANCE TO COMPLY WITH NEC 680.8.
11. A CONDUCTIVE ELEMENT THAT IS PART OF THE POOL BONDING SYSTEM MUST BE IN DIRECT CONTACT WITH THE POOL WATER. IN THE ABSENCE OF RAILS, LADDERS OR NICHES, A WATER BONDING SHALL MEET THE REQUIREMENT. NEC 680.26(C).
12. ALL METAL PARTS WITHIN 5 FEET OF THE POOL MUST BE BONDED TO A COMMON BONDING GRID. NEC 680.26(8)(5)



PUMP CONNECTION DIAGRAM
NTS



- NOTES
- A. POOL PUMP TO COMPLY WITH FBC E 403.
- B. POOL MOTORS REQUIRE OVERLOAD PROTECTION TO COMPLY WITH NEC 430.32.

ELECTRIC DIAGRAM

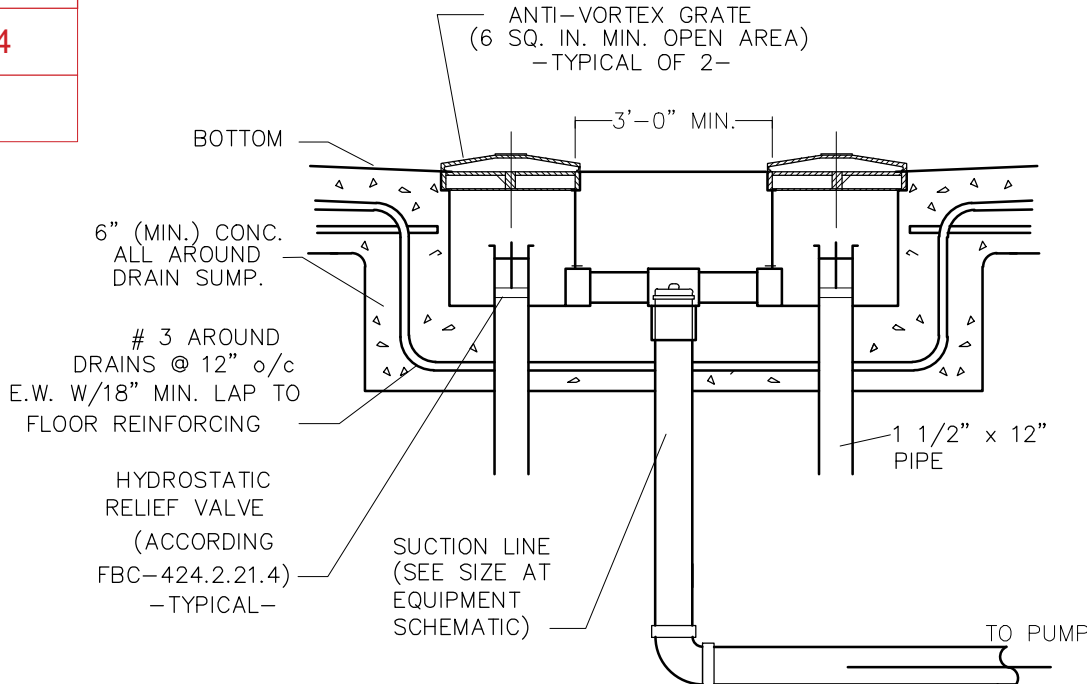
DATA	POOL	SPA	DECK
MAX. LENGTH (FEET)	38	8	59
MAX. WIDTH (FEET.)	18	8	30
DEPTH (FEET)	3.5 - 7	4	-
SURFACE AREA (SQ. FT.)	684	64	1,645
PERIMETER (FEET.)	112	32	224
VOLUME (GALLONS)	26,861	1,676	-

NOTE:

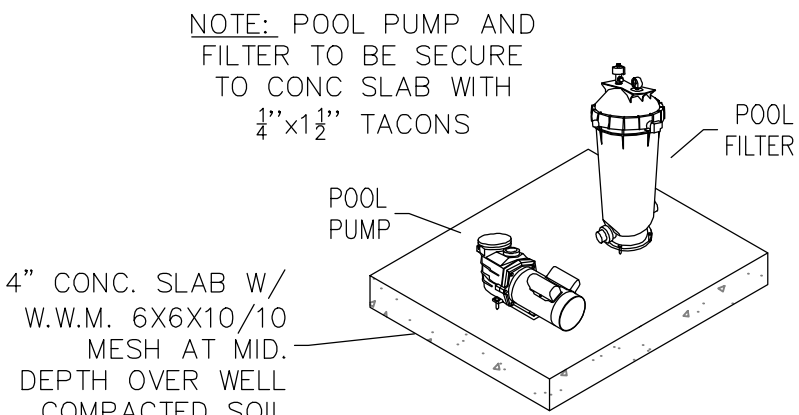
REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS:

>> CONCRETE POURED AGAINST EARTH 3"

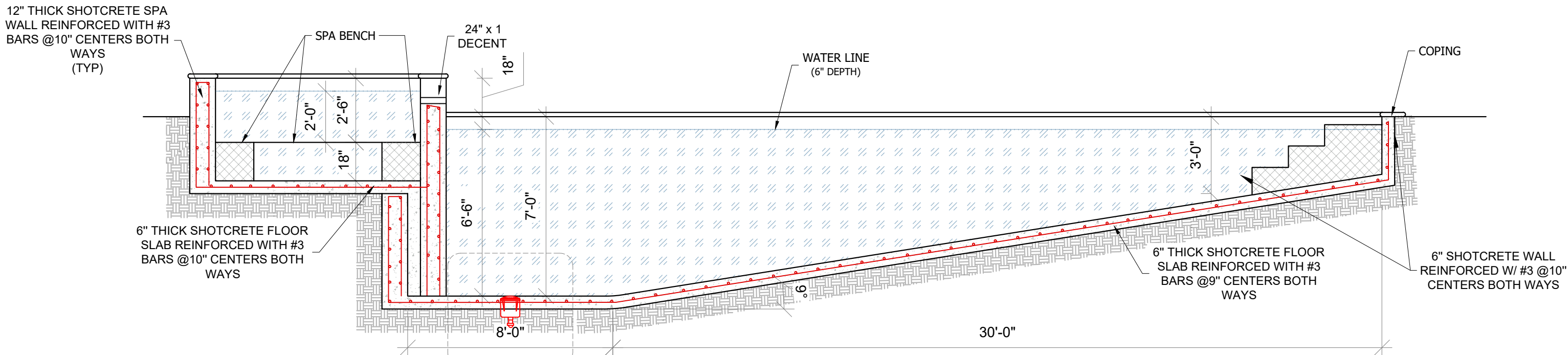
>> CONCRETE EXPOSED TO EARTH OR WEATHER:
5' OR SMALLER 1-1/2"
6' OR LARGER 2"



DOUBLE MAIN DRAIN DETAIL
NTS

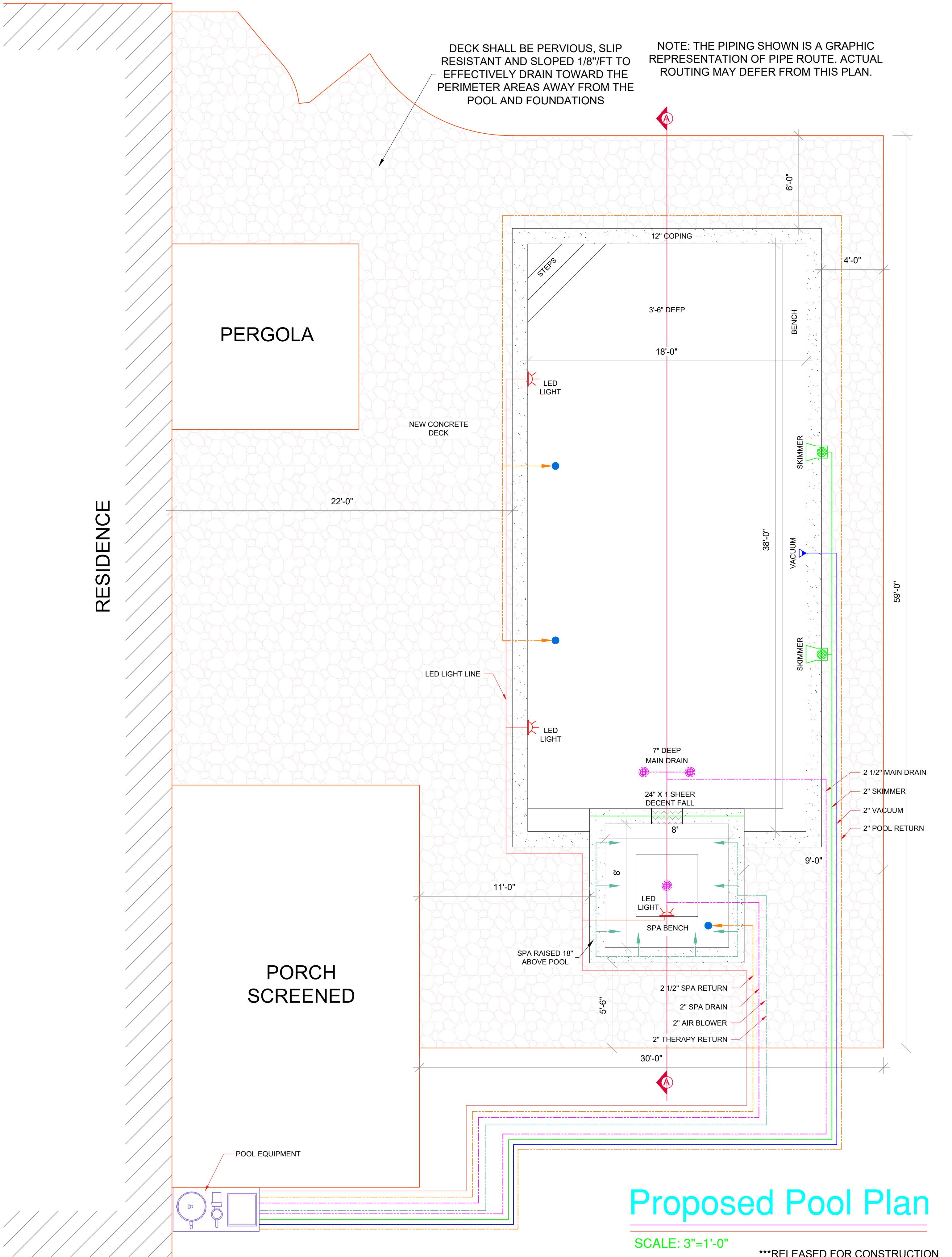


EQUIPMENT HOLD DOWN
NTS



Section A - A

SCALE: 3"=1'-0"



Proposed Pool Plan

SCALE: 3"=1'-0"

***RELEASED FOR CONSTRUCTION

ALL DRAWINGS, DESIGNS, SPECIFICATIONS REPRESENTED HEREIN ARE THE ORIGINAL AND UNPUBLISHED PROPERTY OF CLOUD 9 DEVELOPMENT AND SHALL NOT BE REPRODUCED, DISCLOSED OR USED BY OTHERS WITHOUT PRIOR WRITTEN CONSENT OF GROUP 9 DEVELOPMENT. VIEWING THESE DOCUMENTS CONSTITUTES ACCEPTANCE OF THESE CONDITIONS. ALL RIGHTS RESERVED.

A-3

SHEET NO.

DATE

SEPTEMBER 2023

CHECKED

TODD

DRAWN

NADERA

JOB NO.

22-09

PROPOSED SWIMMING POOL FOR;

MADDOX

460 Huntcliff Green, Sandy Springs, GA 30350

REVISIONS

09/12/2023

09/13/2023

09/14/2023

12/03/2023

12/21/2023

01/10/2024

BY

O.E.A

O.E.A

O.E.A

O.E.A

O.E.A

O.E.A

24 HR CONTACT

TIM THOMPSON

OCEAN BLUE

POOLS

+1(404) 895-9710

Ocean Blue

POOLS / RENOVATIONS

404.944.8823

www.oceanbluepools.com



Georgia Department of Public Health On-Site Sewage Management System Performance Evaluation Report Form

APPLICANT NAME: Todd Shoemaker	PROPERTY/SYSTEM ADDRESS: 460 HUNTCLIFF GREEN ATLANTA, GA 30350	EVALUATION ID: 009680
APPLICANT PHONE: (678) 485-2922		COUNTY: Fulton
APPLICANT EMAIL ADDRESS:	SUBDIVISION/LOT/BLOCK: /Property Renovation/	REASON FOR EVALUATION: Property Renovation

Inspection Records

Yes	1. Inspection records exist for this septic system.
Yes	2. Inspection records indicate that all components of the septic system were properly constructed and approved at the time of original inspection. A copy of the original inspection report is attached.

Maintenance Records (applicable copies are attached)

No	3. Maintenance or installation records indicate that the tank has been pumped out or installed within the past 5 years. Note: it is recommended that septic tanks be pumped at least once every 5 years.
N/A	4. Systems with aerobic treatment unit(s) (ATU): Records indicate the ATU has been serviced in accordance with the manufacturer's recommended maintenance schedule OR an authorized representative of the manufacturer has provided documentation that the ATU is operating sufficiently.
N/A	5. Systems with grease trap(s): Maintenance records indicate the grease trap(s) has been pumped out within the last 6 months OR documentation has been provided by a qualified individual confirming that the grease trap contains less than 75% of the designed grease holding capacity and is operating sufficiently.

System Assessment and Existing Site Conditions (applicable copies are attached)

Yes	6. The septic tank was uncovered at the time of this County Board of Health Evaluation OR maintenance records exist and the tank appears to meet the required design, construction, and installation criteria. The appropriateness of the sizing and installation criteria of the absorption field cannot be verified since no initial inspection records exist.
Yes	7. A Georgia certified septic tank installer has provided written documentation of the system design, location, and components.
Yes	8. This site evaluation by the County Board of Health revealed no evidence of system failure.
Yes	9. This site evaluation by the County Board of Health revealed no evidence of adverse conditions which would affect the functioning of the system.

Addition to Property

Yes	10. This site evaluation as well as the provided information indicate that the proposed construction to the home or property should not adversely affect the functioning of the existing system.
-----	--

Relocation of Home or Change of Use

No	11. This site evaluation as well as the provided information indicate that the system appears to meet the required design, construction, and installation criteria to accommodate the proposed relocation of the home or change of use for the facility should not adversely affect the functioning of the existing system.
----	---

See 2nd page for evaluation notes, disclaimer, and signature.

Performance Evaluation Report Form (continued)

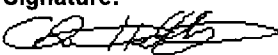
PROPERTY/SYSTEM ADDRESS: 460 HUNTCLIFF GREEN ATLANTA, GA 30350	EVALUATION ID: 009680
	SUBDIVISION/LOT/BLOCK: /Property Renovation/

Adverse Conditions (i.e. malfunctioning or damaged system or clear evidence of a condition, or conditions, that would likely contribute to system malfunction or unacceptable risk to public health):

Additional Notes/Comments:

Recommend no heavy machinery on septic system. Recommend roping off septic system during construction. Maintain necessary setbacks.

APPROVED FOR POOL CONSTRUCTION. APPROVED FOR DECK CONSTRUCTION.

Inspector: Christian Hollingsworth	Signature: 	Date: 10/12/2023
--	--	----------------------------

I verify the above information to be correct at the date and time of this evaluation only. **Disclaimer:** This verification shall not be construed as a guarantee of the proper functioning of this system for any given period of time. No liability is assumed for future damages that may be caused by system malfunction.



Environmental Health Services

North Fulton
3155 Royal Drive, Suite 150
Alpharetta, GA 30022
404-612-1801

Central Fulton
10 Park Place South, SE, 4th Floor
Atlanta, Georgia 30303
404-613-1303

South Fulton
1920 John Wesley Ave, Suite 212, 2nd floor
College Park, GA 30337
404-613-5579

Property Renovation Property Owner's Agreement

I, (print) Rachel Maddox, am applying for a Property Renovation Approval to add hardscape to my property located at 460 Hunt Cliff Green, Atlanta, GA 30350
(Check all that apply) ☒ Pool, ☒ Deck, ☐ Patio, ☐ Shed, ☐ Garage, Other: _____

I understand that an approval by the Fulton County Health Department does not mean that the exact location of the Septic System was determined and that the renovation location or heavy equipment used during construction may still disturb the Septic System. If the Septic System is compromised or damaged during the construction all work will stop until repairs are approved by the County Board of Health. I acknowledge the responsibility, as the property owner or the agent of, to make any repairs necessary in accordance to the DPH Manual for Onsite Sewage Management Systems.

Rachel Maddox
★Property Owner's Signature _____ Date: 2023-09-12
[Signature]
Agent of Property Owner's Signature _____ Date: 9/11/23

Signature Certificate

Reference number: QMZMT-3ACWM-KKAM3-VD2WL

Signer

Rachel Maddox

Email: rachel.l.maddox@gmail.com

Sent:

12 Sep 2023 16:55:17 UTC

Viewed:

12 Sep 2023 19:24:33 UTC

Signed:

12 Sep 2023 19:25:58 UTC

Timestamp

Signature

Rachel Maddox

Recipient Verification:

✓Email verified

12 Sep 2023 19:24:33 UTC

IP address: 24.99.192.28

Location: Atlanta, United States

Document completed by all parties on:

12 Sep 2023 19:25:58 UTC

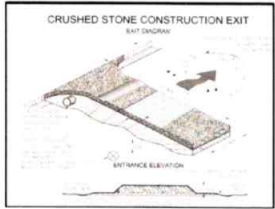
Page 1 of 1



Signed with PandaDoc

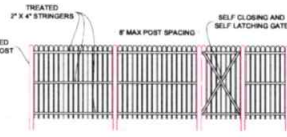
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34 HR CONTACT
TIM THOMPSON
OCEAN BLUE
POOLS
+1(404) 895-8710

SITE DATA	
TOTAL AREA OF LOT	50,888.14 S.F. or 1.168 AC
EXISTING IMPERVIOUS	8,614.80 S.F.
NEW IMPERVIOUS	2,121.10 S.F.
REPLACED IMPERVIOUS	277.82 S.F.
TOTAL IMPERVIOUS AREA	10,913.62 S.F.
IMPERVIOUS AREA / LOT AREA	0.236 = 23.61%
TOTAL DISTURBED AREA	5,963.18 S.F.

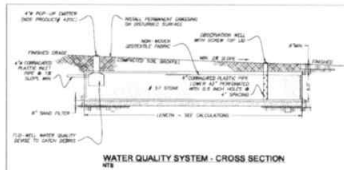


I approved site plan

Rachel Maddox

2023-09-14

RUNOFF REDUCTION / WATER QUALITY VOLUME - DRY WELL	
Swimming Pool, Area, Pool, Decking, Pool, Decking	3,383.57 sq. ft.
Compensation: 100%	15.80 cu. ft.
TOTAL IMPERVIOUS FOR WQ DESIGN	2,389.55 sq. ft.
Required to be treated =	1.2 in.
Volume Required =	238.9 Cu. ft.
Length of Gravel Pit =	7.0 ft.
Width of Gravel Pit =	7.0 ft.
Depth of Gravel Pit =	12.5 ft.
Volume of Gravel Pit =	245.0 Cu. ft.
Number of 42" Dia. Voids =	3.8 Cu. ft.
Volume provided =	248.8 Cu. ft. > 238.9 Cu. ft. Required



STRUCTURAL PRACTICES	
CODE	DESCRIPTION
1	Foundation
2	Walls
3	Floors
4	Roofs
5	Windows
6	Doors
7	Stairs
8	Elevators
9	Structural Steel
10	Concrete
11	Masonry
12	Timber
13	Aluminum
14	Steel Decking
15	Reinforcing Steel
16	Formwork
17	Shoring
18	Bracing
19	Joint
20	Sealing
21	Painting
22	Finishing
23	Insulation
24	Vapor Barrier
25	Acoustic Treatment
26	Fire Protection
27	Life Safety
28	Accessibility
29	Energy Efficiency
30	Green Building
31	Water Conservation
32	Air Quality
33	Lighting
34	Sound
35	Security
36	Health and Safety
37	Environmental
38	Historic Preservation
39	Archaeology
40	Geology
41	Seismicity
42	Soils
43	Vegetation
44	Wildlife
45	Cultural Resources
46	Historic Landmarks
47	Archaeological Resources
48	Geological Resources
49	Seismic Resources
50	Soil Resources
51	Vegetation Resources
52	Wildlife Resources
53	Cultural Resources
54	Historic Landmarks
55	Archaeological Resources
56	Geological Resources
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92	Wildlife Resources
93	Cultural Resources
94	Historic Landmarks
95	Archaeological Resources
96	Geological Resources
97	Seismic Resources
98	Soil Resources
99	Vegetation Resources
100	Wildlife Resources

APPROVED
FULTON COUNTY BOARD OF HEALTH
ENVIRONMENTAL HEALTH SERVICES DIVISION
COMMENTS:
10/12/23
EHS STAFF

- CONTACT BUILDING INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY DISTURBANCE.
- THE PLACEMENT OF CONSTRUCTION AND THE PLACING OF VEHICLES IS PROHIBITED IN THE RIGHT-OF-WAY.
- THE SCALPS OF SEEDLING FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO ANY DISTURBANCE ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EROSION CONTROL MEASURES, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF FOURTEEN (14) DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. MULCH MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 401 PERMIT.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEEMED NECESSARY BY THE PERMITTING CITY INSPECTOR.
- WORK SCHEDULE AND CONSTRUCTION SCHEDULE SHALL BE MONDAY THROUGH FRIDAY 7:00 A.M. - 5:00 P.M. SATURDAY 8:00 A.M. - 5:00 P.M. SUNDAY NO WORK ALLOWED.

- PERMANENT FENCING AND GATED ENCLOSURES SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF JOHNS CREEK ORDINANCE ARTICLE 13.1.02B.
- IF A BACKFLOW PREVENTER DOES NOT EXIST WITHIN THE POOL, WATER SUPPLY AND THE PUBLIC WATER SYSTEM, THEN ONE MUST BE INSTALLED AS PART OF THE POOL INSTALLATION. IF THE POOL IS NOT CONNECTED TO THE SAME WATER LINE AND IS TO BE FILLED BY HOLE, A BACKFLOW PREVENTER IS TO BE PROVIDED ON THE HOLE SIDE.
- FOR ALL CASES WHERE A BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERMANENTLY, ALL DOORS AND OPERABLE WINDOWS WITH A SILL HEIGHT LOWER THAN SIX INCHES ON THE BUILDING, WHICH HAVE DIRECT ACCESS TO THE POOL AREA, MUST BE EQUIPPED WITH AN ALARM WHICH PROVIDES AN AUDIBLE WARNING WHEN THE DOOR OR ITS BORDER ON WINDOW IS OPENED.

EROSION CONTROL, SEDIMENT CONTROL, AND MULCH SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF JOHNS CREEK ORDINANCE ARTICLE 13.1.02B.

SOIL PREPARATION: ADD 2 TONS OF LIME PER ACRE FOR PERMANENT GRASS. ADD MULCH FOR TEMPORARY COVER AT 500 LBS. PER ACRE.

TOP DRESSING: APPLY 1/2 INCH PLANTS ARE 24 INCHES TALL. FERTILIZER: JAVANORM NITRATE 32% (30 LBS PER ACRE).

SEEDING: 1/2 INCH PLANTS ARE 24 INCHES TALL. FERTILIZER: JAVANORM NITRATE 32% (30 LBS PER ACRE).

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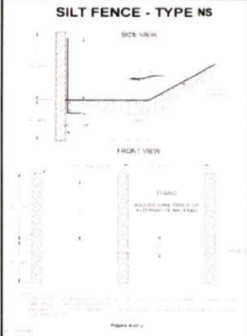
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WHERE A WALL OF A DWELLING OR STRUCTURE SERVES AS PART OF THE BARRIER, DOORS AND OPERABLE WINDOWS WITH A SILL HEIGHT OF LESS THAN SIX INCHES THAT PROVIDE DIRECT ACCESS TO THE AQUATIC VESSEL THROUGH THE WALL SHALL BE EQUIPPED WITH ONE OR MORE OF THE FOLLOWING:

- AN ALARM THAT PROVIDES AN AUDIBLE WARNING WHEN THE DOOR OR ITS BORDER ON WINDOW IS OPENED. THE ALARM SHALL BE LISTED AND LABELED AS A WATER ALARM. ENTRANCE ALARM IN ACCORDANCE WITH 40.307. IN DWELLINGS OR STRUCTURES NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DETECTION SWITCH SHALL BE LOCATED AT LEAST SIX INCHES ABOVE THE THRESHOLD OF THE DOOR, IN DWELLINGS OR STRUCTURES REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE DETECTION SWITCH SHALL BE LOCATED NOT GREATER THAN SIX INCHES AND NOT LESS THAN SIX INCHES ABOVE THE THRESHOLD OF THE DOOR.

AN ARBORIST'S NOTES:

A SPECIMEN TREE IS ANY HARDWOOD 3" DBH OR LARGER, ANY PINE TREE OR OTHER SOFTWOOD AND RESISTANCE 2" DBH OR LARGER, ANY CONIFEROUS TREE (DOUGLASS, REDWOOD, OR SOUTHWESTERN WHITE PINE) 2" DBH OR LARGER.

REMOVAL OF OR ENCROACHMENT INTO THE CANOY OF A SPECIMEN TREE REQUIRES PRIOR APPROVAL. THE CANOY IS ONE FOOT INCHES FOR EACH INCH DBH AS MEASURED FROM THE TRUNK OF THE TREE. ENCROACHMENT INTO THE CANOY OR REMOVAL OF A SPECIMEN TREE WITHOUT PRIOR APPROVAL WILL RESULT IN AUTOMATIC ESCROW MONITORING AND SEIZURE OF A CITATION.

CONTACT THE CITY OF JOHNS CREEK ARBORIST TO DETERMINE IF A TREE CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBANCE IS REQUIRED. ALL REQUIRED TREE FENCE MUST BE INSTALLED PRIOR TO THE MEETING.

Proposed Site Plan

SCALE: 1"=20'

***RELEASED FOR CONSTRUCTION

ALL DRAWINGS, DESIGNS, SPECIFICATIONS REPRESENTED HEREIN ARE THE ORIGINAL AND UNPUBLISHED PROPERTY OF CLOUD 9 DEVELOPMENT AND SHALL NOT BE REPRODUCED, DISCLOSED OR USED BY OTHERS WITHOUT PRIOR WRITTEN CONSENT OF GROUP 9 DEVELOPMENT. VIEWING THESE DOCUMENTS CONSTITUTES ACCEPTANCE OF THESE CONDITIONS. ALL RIGHTS RESERVED.

PROPOSED SWIMMING POOL FOR: MADDOX	
460 Huntcliff Green, Sandy Springs, GA 30350	
DATE: 9/14/2023	SCALE: 1"=20'
DESIGNED BY: J. MADDOX	NOTED BY: J. MADDOX
CHECKED BY: J. MADDOX	APPROVED BY: J. MADDOX
DATE: 9/14/2023	SCALE: 1"=20'
DESIGNED BY: J. MADDOX	NOTED BY: J. MADDOX
CHECKED BY: J. MADDOX	APPROVED BY: J. MADDOX
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CHECKED BY: J. MADDOX	APPROVED BY: J. MADDOX

Document Ref: HZ5EE-QX7U8-SOPRI-V4YHN

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCEMENT STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 2500 PSI. REINFORCED STEEL WALL SHALL NOT BE BENT INTO A HOOK OR FUTURE CONCRETE DECK CONCRETE DECK SHALL BE FREE TO FLOAT BEYOND POOL WALL. EXCEPTION: REINFORCERS SHALL COMPLY WITH THE DESIGN FOR SUPPORT SHOWN ON THESE PLANS.
4. ALL REINFORCING SPLICES SHALL BE 18" IN LENGTH UNLESS OTHERWISE INDICATED ON THESE PLANS.
5. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPALS.
6. POOL WALL REINFORCEMENT IS ADEQUATE TO WITHSTAND THE HORIZONTAL WATER LOADS PLACED ON THE POOL WALL FOR UP TO 18" OF EXPOSED POOL WALL.

NOTE:

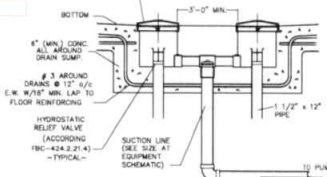
REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS, U.O.N. IN DRAWINGS:

>> CONCRETE POURED AGAINST EARTH 3"

>> CONCRETE EXPOSED TO EARTH OR WEATHER:

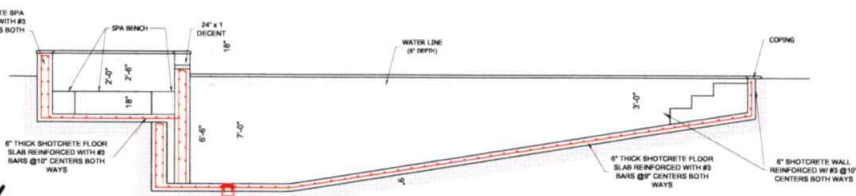
5" OR SMALLER 1-1/2"
6" OR LARGER 2"

ANT-MORTAR GRATE



- * FILTER: PENTAIR C & C PLUS (SIZE 420)
- * MAIN PUMP: PENTAIR WHISPERFLO 2HP
- * GAS HEATER: PENTAIR MASTERTEC 400 (400,000 BTU)
- * ADDL PUMPS: $\frac{3}{4}$ H.P. BOOSTER PUMP
- * CHLORINATOR: INTELLICHLOR IC-40
- * CLEANER: POLARIS 280 VAC SWEEP
- * POOL LIGHT: 2 PENTAIR LED COLOR
- * SPA LIGHT: 1 PENTAIR LED LIGHT
- * POOL/SPA CONTROL: EASYTOUCH-8 WIRELESS

1. ALL POOL EQUIPMENT SHALL BE SCHEDULE 40 PVC/CPVC ON
THREADED, NSF APPROVED SUPPORT CONTINUOUSLY ON GROUND
OR ON MAXIMUM 12" CENTERS SUPPORTED BY CLEVER HANGERS.
2. ALL SECTION PIPING SHALL BE 1/2" AND ALL PRESSURE PIPING SHALL BE 1/2" DIAMETER WITH CLEVER HANGERS.
3. ALL SUCTION PIPING, UNLESS OTHERWISE NOTED
4. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH LOCAL
BUILDING DEPARTMENT REQUIREMENTS.
5. ANTI VORTEX MAIN DRAIN SHALL HAVE ITS PLATE SECURELY
FASTENED WITH TAMPER-PROOF SCREWS.
6. POOL VACUUM SHALL HAVE SPRING LOADED CAP IN ACCORDANCE
WITH THE GEORGIA BUILDING CODE.
7. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE
GEORGIA BUILDING CODE AS IT PERTAINS TO BUOYANCY
8. THE WATER VELOCITY THROUGH ALL PIPING SHALL BE
LESS THAN 8 FEET PER SECOND.
9. THE WATER VELOCITY THROUGH ALL PRESSURE PIPING SHALL
BE LESS THAN 10 FEET PER SECOND.
10. RADIATION AND NEAR BE SUITABLE FOR EXPOSURE TO ULTRA VIOLET
RADIATION AND NORMAL OPERATING TEMPERATURES.



ALL POOL ELECTRICAL WORK SHALL BE ACCOMPLISHED IN COMPLIANCE WITH IFBC 2020, ELECTRICAL, CHAPTER 42

REBAR SHALL BE EARTHED TO THE GROUNDING SYSTEM AND SHALL BE IN CONFORM WITH THE NEC 2017, ART. 685

3. AT LEAST ONE GFCI PROTECTED, 150-VOLT RECEPTACLE OUTLET IS REQUIRED FOR EACH SWIMMING POOL. THE OUTLET SHALL BE INSTALLED ON THE EXTERIOR WALL OF THE POOL, NEC 680.21(A) (RESIDENTIAL AND COMMERCIAL)

4. THE EQUIPMENT GROUNDING CONDUCTOR SHALL BE A MINIMUM 12 AWG COPPER CONDUCTOR, NEC 680.21(B)

5. EQUIPOTENTIAL BONDING TO COMPLY WITH SURFACES PER NEC 680.26(B) SHALL BE INSTALLED IN OR UNDER PAVED WALKING SURFACES FOR THREE FEET FROM THE POOL EDGE, NEC 680.26(C) FOR THE POOL, NEC 680.26(C), 1. HONTS & DECK BONDING (300 DEGREES)

6. THE POOL SHALL BE BONDING TO THE PERIMETER WITH THE POOL, INSIDE WALLS & DECK BONDING (300 DEGREES)

7. POOL PUMP MOTOR CIRCUITS, SHALL BE PROVIDED WITH GFCI PROTECTION

8. LIGHTING OUTLETS SHALL BE LOCATED A MINIMUM OF 5 FEET FROM THE MAXIMUM DEPTH OF A POOL, OR MOUNTED A MINIMUM OF 12 FEET ABOVE THE MAXIMUM WATER LEVEL

9. OVERHEAD CONDUCTORS ARE NOT PERMITTED OVER THE POOL, OR THIN OR WEAK SURFACES, NEC 680.43

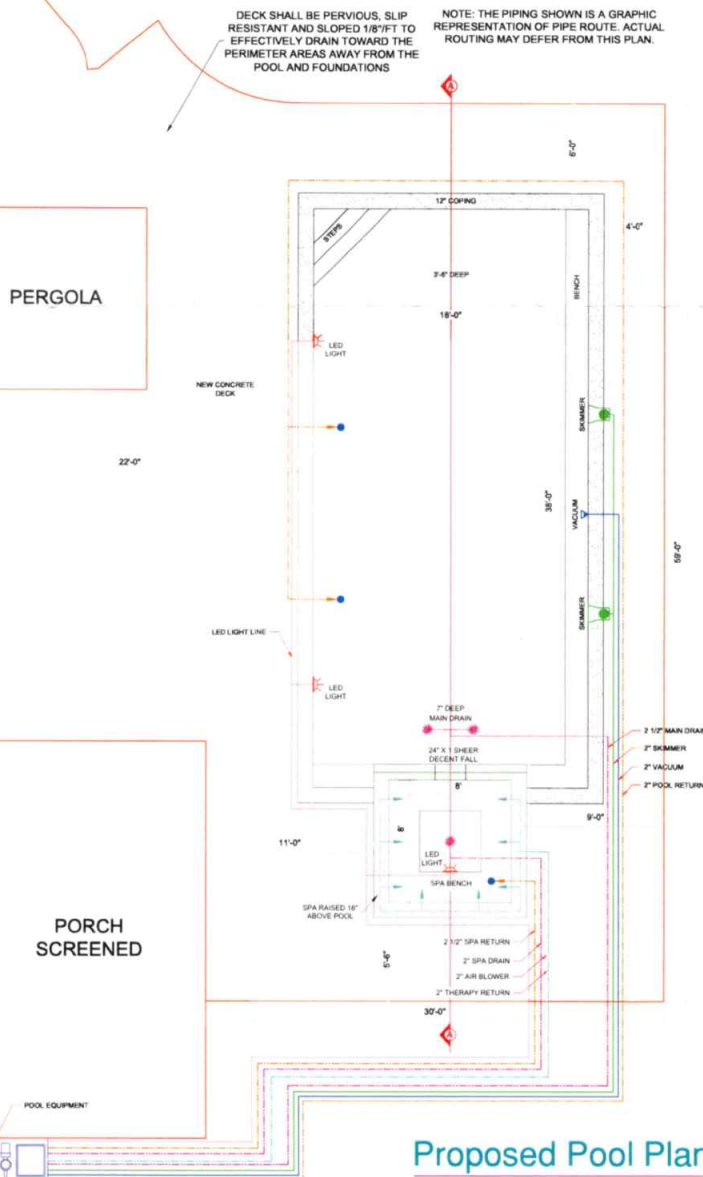
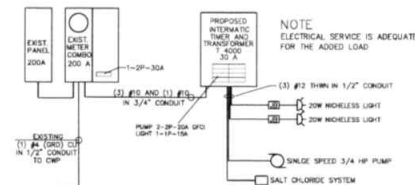
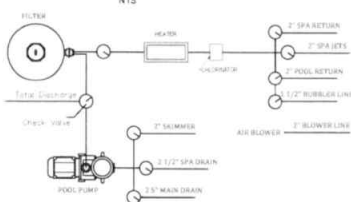
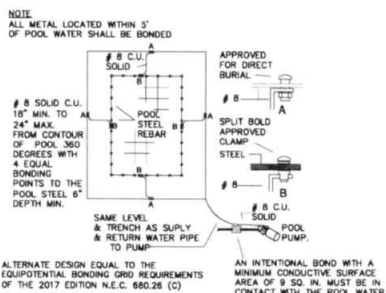
10. OVERHEAD CONDUCTORS SHALL BE EDGE OF THE POOL, IFCE 424 1.2.4

11. OVERHEAD CONDUCTORS SHALL BE INSTALLED OVER THE POOL, OR THIN OR WEAK SURFACES, NEC 680.43

12. OVERHEAD CONDUCTORS SHALL BE INSTALLED OVER THE POOL, OR THIN OR WEAK SURFACES, NEC 680.43

13. A CONDUCTIVE ELEMENT THAT IS PART OF THE POOL BONDING SYSTEM MUST BE IN DIRECT CONTACT WITH THE POOL WATER, IN THE ABSENCE OF RAIN OR SNOW, OR IN THE ABSENCE OF A WINDING SHALL MEET THE REQUIREMENT, NEC 680.26(C)

14. THE POOL SHALL BE BONDING TO THE PERIMETER WITH THE POOL, INSIDE WALLS & DECK BONDING (300 DEGREES)



SCALE: 3"=1'-0"