



REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: JANUARY 9, 2024

TO: Mayor Andre Dickens, City of Atlanta
ATTN TO: Keyetta Holmes, Zoning and Development Director, City of Atlanta
FROM: Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: 3968 Paces Ferry Road NW
MRPA Code: RC-23-06A

Description: A regional MRPA review of a proposal to construct a new single-family home with a pool, patio, garage and driveway on a 2-acre site wholly within the Chattahoochee River Corridor at 3968 Paces Ferry Road NW in the City of Atlanta. The total proposed disturbed area of 14,512 SF and impervious area of 5,730 SF are within allowed limits.

Preliminary Finding: ARC staff have initiated a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Atlanta
Date Opened: January 9, 2024
Deadline for Comments: January 19, 2024

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF SANDY SPRINGS

CHATTAHOOCHEE RIVERKEEPER
FULTON COUNTY

Please submit comments to dshockey@atlantaregional.org. For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If no comments are received by January 19, 2024, we will assume that your agency has no input on the subject plan. For more information visit the ARC review website at <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.



APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: Fulton County, Ga.
2. Owner(s) of Record of Property to be Reviewed:
Name(s): HCG ATL Properties 3 LLC
Mailing Address: 881 Ponce De Leon Ave, Ste 4
City: Atlanta State: GA Zip: 30306
Contact Phone Numbers (w/Area Code):
Daytime Phone: 762-221-9555 Fax: _____
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): Richard Taylor
Mailing Address: 1011 Lee Street SW
City: Atlanta State: GA Zip: 30310
Contact Phone Numbers (w/Area Code):
Daytime Phone: 844-222-3326 Fax: _____
Other Numbers: _____
4. Proposed Land or Water Use:
Name of Development: 3968 Paces Ferry Road
Description of Proposed Use: Residence
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: _____
Land lot 235, 17th District, Section Unit 1, Fulton County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:
Rebel Road Estates Subdivision, Lot 4, Block A, 3968 Paces Ferry Road NW,
Size of Development (Use as Applicable):
Acres: Inside Corridor: 87,460.79 SF
Outside Corridor: 0
Total: 87,460.79 SF or 2.01 AC
Lots: Inside Corridor: 1
Outside Corridor: _____
Total: 1
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

MRPA-23-005
 amended

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No
 If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No
 If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Yes, see site plan for septic permit
 Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.
B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	17,596.79 SF	755.95 SF	0 SF	(70) 4.3%	(45) 0%
D	25,261 SF	4,013.85 SF	258.14 SF	(50) 15.9%	(30) 1.02 %
E	44,660.09 SF	9,742.40 SF	5,472.45 SF	(30) 21.8%	(15) 12.25 %
F	_____	_____	_____	(10)_____	(2)_____
Total:	87,460.79 SF	14,512.20 SF	5,730.59 SF	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No
If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No
If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

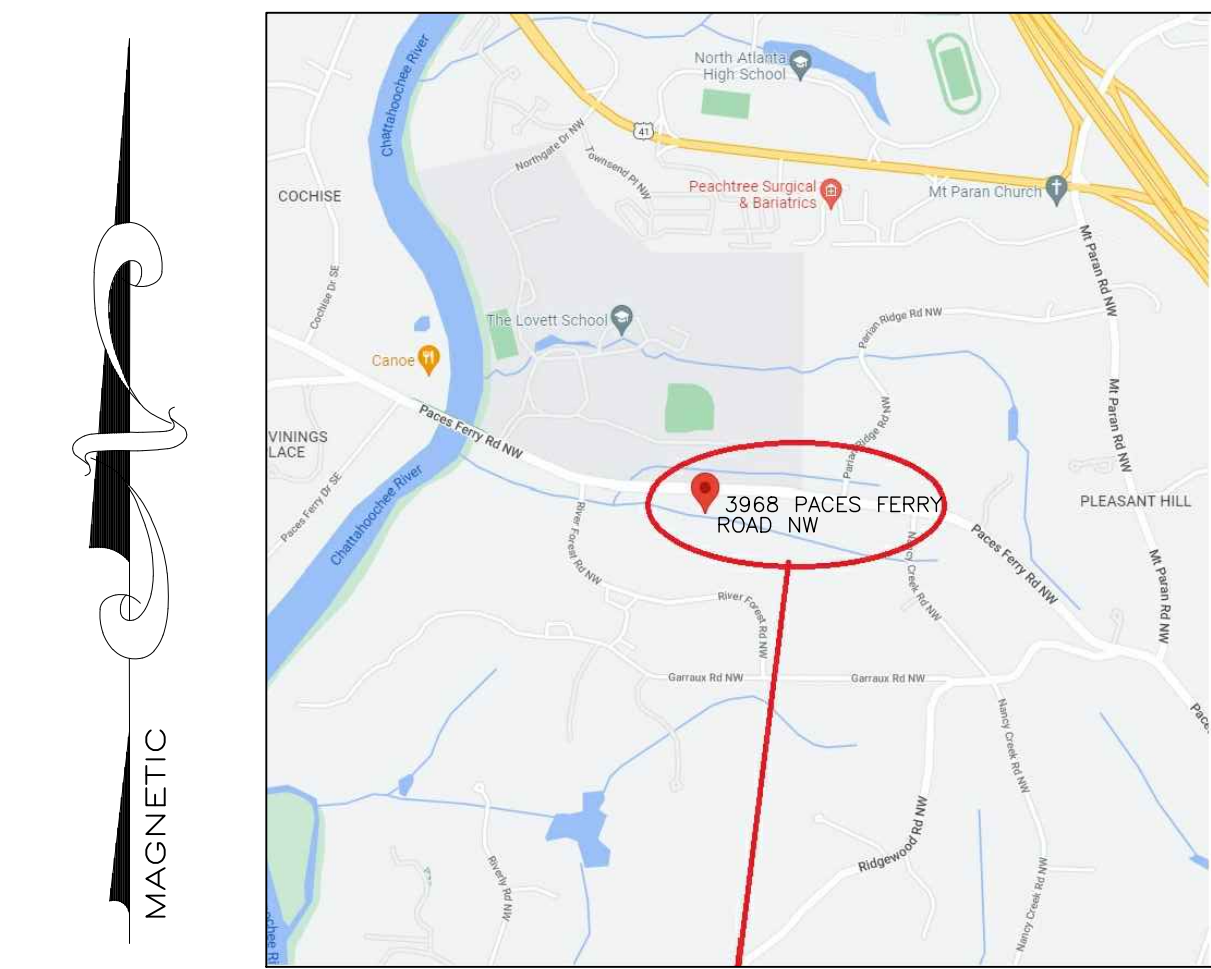
- ☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- ☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- ☒ Written consent of all owners to this application. (Space provided on this form)
- ☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- ☒ Description of proposed use(s). (Space provided on this form)
- ☒ Existing vegetation plan.
- ☒ Proposed grading plan.
- ☒ Certified as-builts of all existing land disturbance and impervious surfaces.
- ☒ Approved erosion control plan.
- ☒ Detailed table of land-disturbing activities. (Both on this form and on the plans)



MRPA-23-05



MRPA-23-05 amended



FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL. MAP ID 13121C0227Z. EFFECTIVE DATE: 09/18/2013. ZONE: X. WATERS OF THE STATE EXIST WITHIN 200 FEET OF THE PROJECT SITE.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIZE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

- LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

GENERAL NOTES:

- THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
- THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
- SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
- IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
- THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.
- STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. CERTIFIED AS-BUILT MAY ALSO BE REQUIRED.

REVISION 12/19/2023
REVISION 11/03/2023
REVISION 06/21/2023
REVISION 04/17/2023

RELEASED FOR CONSTRUCTION

PART OF LOT 4	BLOCK A
REBEL ROAD ESTATES SUBDIVISION	SECTION UNIT I
LAND LOT 235	17TH DISTRICT SECTION
FULTON COUNTY, GEORGIA	DB.35748/PG.354 PB.70/PG.87
FIELD WORK DATE MARCH 30, 2022	PRINTED/SIGNED DECEMBER 06, 2022
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000± FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MOMENT FOUND WITHIN 500' OF THIS PROPERTY.

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

AU
COORD #20220461
DWG #20220461 SP-7

COVER SHEET & DETAILS

SITE PLAN PREPARED FOR:	SHEET 1 OF 5
YOSI ISHAK	
PROPERTY ADDRESS: 3968 PACES FERRY ROAD NW ATLANTA, GA 30327	

24 LENOVI PRINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURLANDEXPRESS.COM

GEORGIA
REGISTERED
LAND SURVEYOR
No. 8187
YOSI ISHAK

PROPERTY IS ZONED R-1
CITY OF ATLANTA

BUILDING SETBACK
FRONT: 60'
SIDE: 25'
REAR: 35'
MAX. LOT COVERAGE 25%
MAX. BUILDING HEIGHT 35'

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY,
DEVELOPER AND ARCHITECT TO CONFIRM ZONING
DISTRICT, PER ZONING DEPARTMENT.

DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 12/29/2023
ANTICIPATED COMPLETION DATE: 12/29/2024
THE INSTALLATION OF EROSION AND
SEDIMENTATION CONTROL MEASURES AND
PRACTICES SHALL OCCUR PRIOR TO OR
CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

DIRT STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT: 651
TOTAL OF GROSS CUBIC YARDS OF FILL: 651
EXCESS OF SOIL TO BE HAULED OFF.

* L E G E N D *

APD AS PER DEED	IV IRRIGATION VALVE
AE ACCESS EASEMENT	JB JUNCTION BOX
APF AS PER FIELD	LLL LAND LOT LINE
AI ANGLE IRON FOUND	ML MAGNOLIA TREE
APP AS PER PLAT	MGN MAIN HOLE
APR AS PER RECORD	MTF METAL FENCE
BC BACK OF CURB	NH NORTH HOLE
BLK BLOCK	OTF OPEN TOP PIPE FOUND
BRK BRICK	OW OWNERSHIP UNCLEAR
BLS BUILDING LINE SETBACK	P PORCH
BRK BRICK	PP POWER POLE
CB CABLE BOX	PW POWER LINE
CB CORRUGATED METAL PIPE	R RECORD
CL CENTER LINE	RFB REINFORCING BAR FOUND
CLF CHAIN LINK FENCE	RFS REINFORCING BAR SET
CMP CORRUGATED METAL PIPE	RK REINFORCED CONC. PIPE
C.O.A. CITY OF ATLANTA	SN SIGN
CO CONCRETE	SSE SANITARY SEWER LINE
CPT CARPORT	SW SW
CTP CRIMP TOP PIPE FOUND	TE TOP OF BANK
DEE DRAINAGE EASEMENT	UE UTILITY EASEMENT
DI DRAINAGE INLET	WD WOOD
ED ELECTRIC POWER BOX	WDM WOOD DECK
EM ELECTRIC METER	WU WATER METER
EP EDGE OF PAVEMENT	WV WIRE FENCE
F FIELD	WW WATER VALVE
FP FENCE POST	WWF WET WEATHER
FC FENCE CORNER	WY YARD INLET
FR FIRE HYDRANT	Y YARD
GL GAS LINE	
GL GAS VALVE	
GM GAS METER	
GV GAS VALVE	
GW GUY WIRE	
HW HARDWOOD TREE	
IF IRON PIN FOUND	
IPS IRON PIN SET	
IR IRON ROD FOUND	

* SYMBOLS *

■ ELECTRIC PANEL/METER
□ WATER METER
□ AIR CONDITIONER
□ GAS METER
□ JUNCTION BOX
□ SANITARY SEWER MANHOLE
□ STORM MANHOLE
○ TRAFFIC/INFO SIGN
○ GAS MARKER
○ LAMP POST
○ METAL POST
○ WATER VALVE
■ HEADWALL
■ STAIRS
■ DRAINAGE INLET
○ FIRE HYDRANT

* LINE INDICATORS *

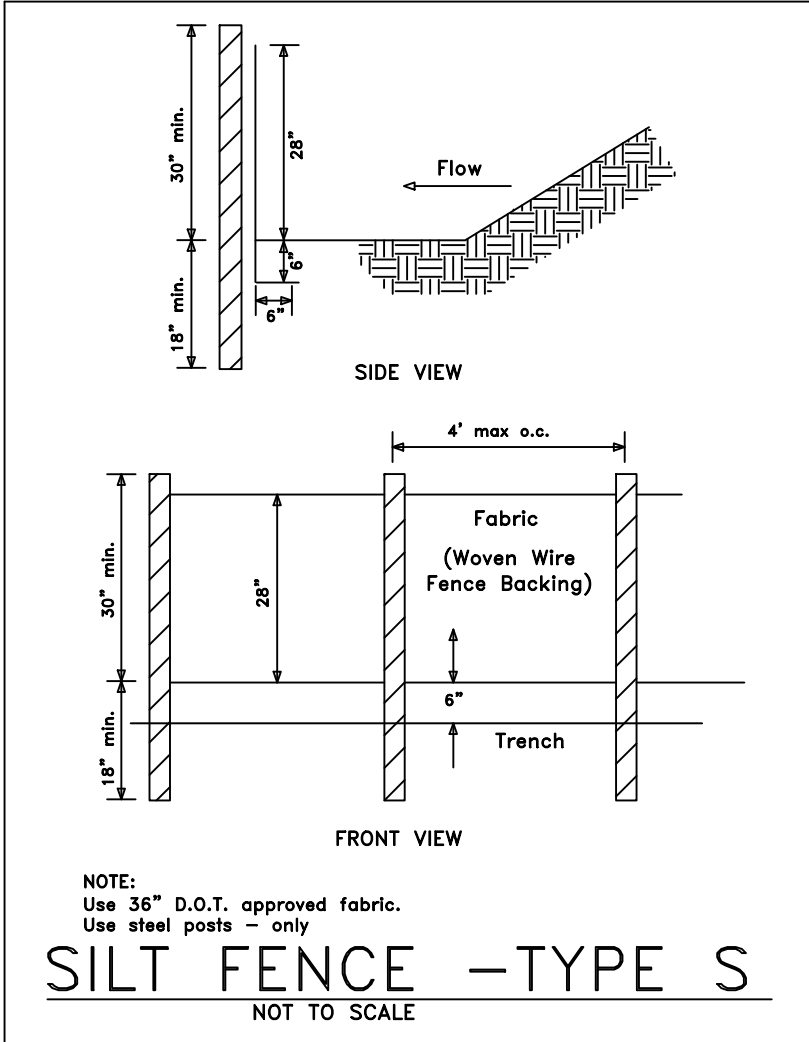
INDICATES SANITARY SEWER LINE
INDICATES POWER LINE
INDICATES WATER LINE
INDICATES GAS LINE
INDICATES FENCE LINE
INDICATES DRAINAGE LINE

SPECIAL SITE PLAN NOTES:

- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1993 EDITION AND BE WIRE REINFORCED.
- MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
- STATEMENT: ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF ATLANTA STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- ALL GRADED SLOPES TO BE 3H : 1V OR GREATER. ALL LOTS WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS.
- GRADE TO DRAIN AWAY FROM FOUNDATION.
- WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.
- LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA.
- THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 - IT'S THE LAW.
- HAUL ROUTE PERMIT IS NOT REQUIRED.
- LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED.
- TOPOGRAPHY IS BASED ON FIELD RUN SURVEY MARCH 30, 2022.

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREON. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCE INFORMATION. CONSULTATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT RELY TO ANY UNNAMED PERSONS, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.



Sd1-S SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

GENERAL NOTES (SITE PLAN):

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS NECESSARY.
- DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER PRESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

GSWCC

GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

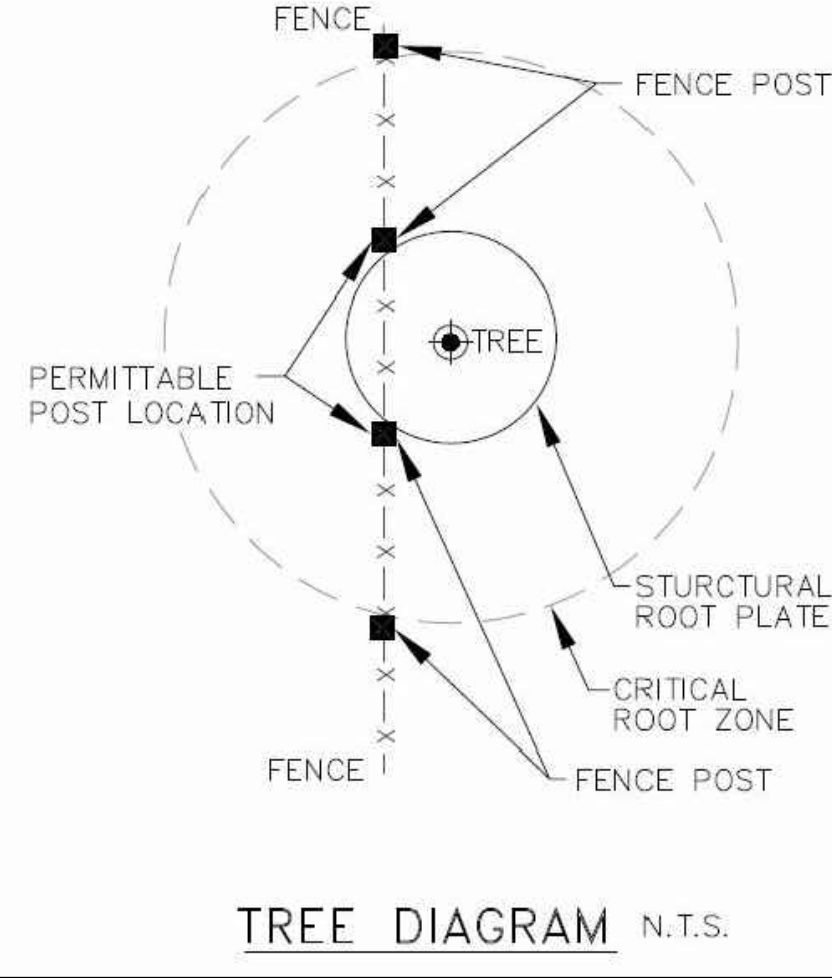
EUGENE A STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000065549
ISSUED:01/27/2021 EXPIRES:01/27/2024

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER:
Yosi Ishak
3968 PACES FERRY ROAD NW
ATLANTA, GA 30327
24-HRS CONTACT: Yosi Ishak
TELEPHONE: (404) 429-0697
yosi.ishak@homecrestgroup.net



TREE NOTES:

NO TREES WILL BE DESTROYED ACCORDING TO CITY OF ATLANTA PROTECTION ORDINANCE 158. ALL CONTINUOUS FENCE FOOTERS/STRINGERS LOCATED IN TREE'S CRITICAL ROOT ZONES WILL BE BUILT AT OR ABOVE EXISTING GRADE. THE ONLY IMPACT TO EARTH WILL BE TO DIG POSTS.



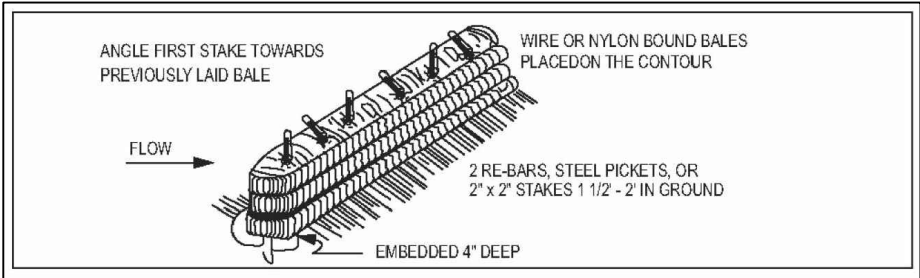
SILT FENCE HAND DUG IN CRZ

TREE PROTECTION: Tr

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

Hay or Straw Bales (Sd1-Hb)

- Place in a single row, lengthwise, on the contour.
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through the bales or by other adequate means.
- Place in areas of low rate sheet flow.
- For use on projects with a duration of three months or less.



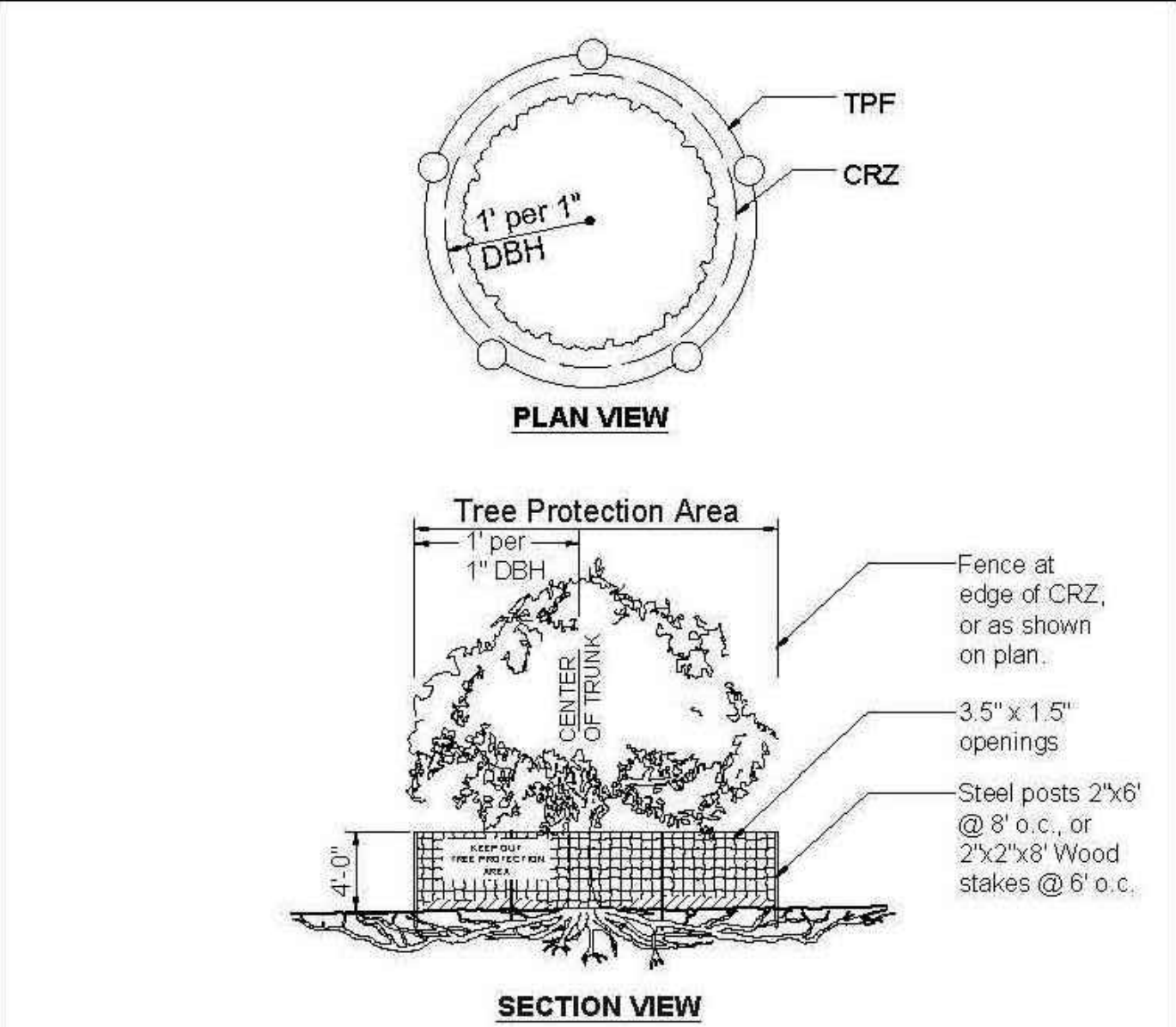
Co CONSTRUCTION ENTRANCE/EXIT

INDICATES Sd1 TYPE S SILT FENCE

INDICATES Sd1 TYPE Hb (HAYBALES)

INDICATES TREE PROTECTION FENCE

Ds1	DISTURBED AREA STABILIZATION (WITH MULCH)
Ds2	DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)



Notes:

- No construction activity w/in CRZ, including no storing or stacking materials. Under no circumstances should the fence be trenched in.
- Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

City of Atlanta	STANDARD DETAILS	REV. DATE: JUNE 2017
	TREE PROTECTION-ORANGE PLASTIC FENCE	SCALE: N.T.S.
		DETAIL NO. A-3

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

DEFINITION

APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, PRODUCED ON THE SITE IF POSSIBLE, TO THE SOIL SURFACE.

CONDITIONS

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS SOIL COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND SOIL COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

SPECIFICATIONS

MULCHING WITHOUT SEEDING

SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:
1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS.
3. CUTBACK ASPHALT (SLOW CURING) SHALL BE APPLIED AT 1,200 GALLONS PER ACRE (OR 1/4 GALLON PER SQUARE YARD).
4. POLYETHYLENE FILM SHALL BE SECURED OVER BARRIERS OR STOCKPILES OF SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED AND REUSED.

APPLYING MULCH

WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.
1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERMANENT VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES.
3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO PROBLEMS OF "TRACKING IN" OR DAMAGE TO SHOES, CLOTHING, ETC.
4. APPLY POLYETHYLENE FILM TO EXPOSED AREAS.

ANCHORING MULCH

STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACER DISK". DISKS MAY BE SMOOTH OR SERIATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MULCH 1/2 IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION 76 - TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN 1 INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
3. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SEEDING RATES FOR TEMPORARY SEEDING

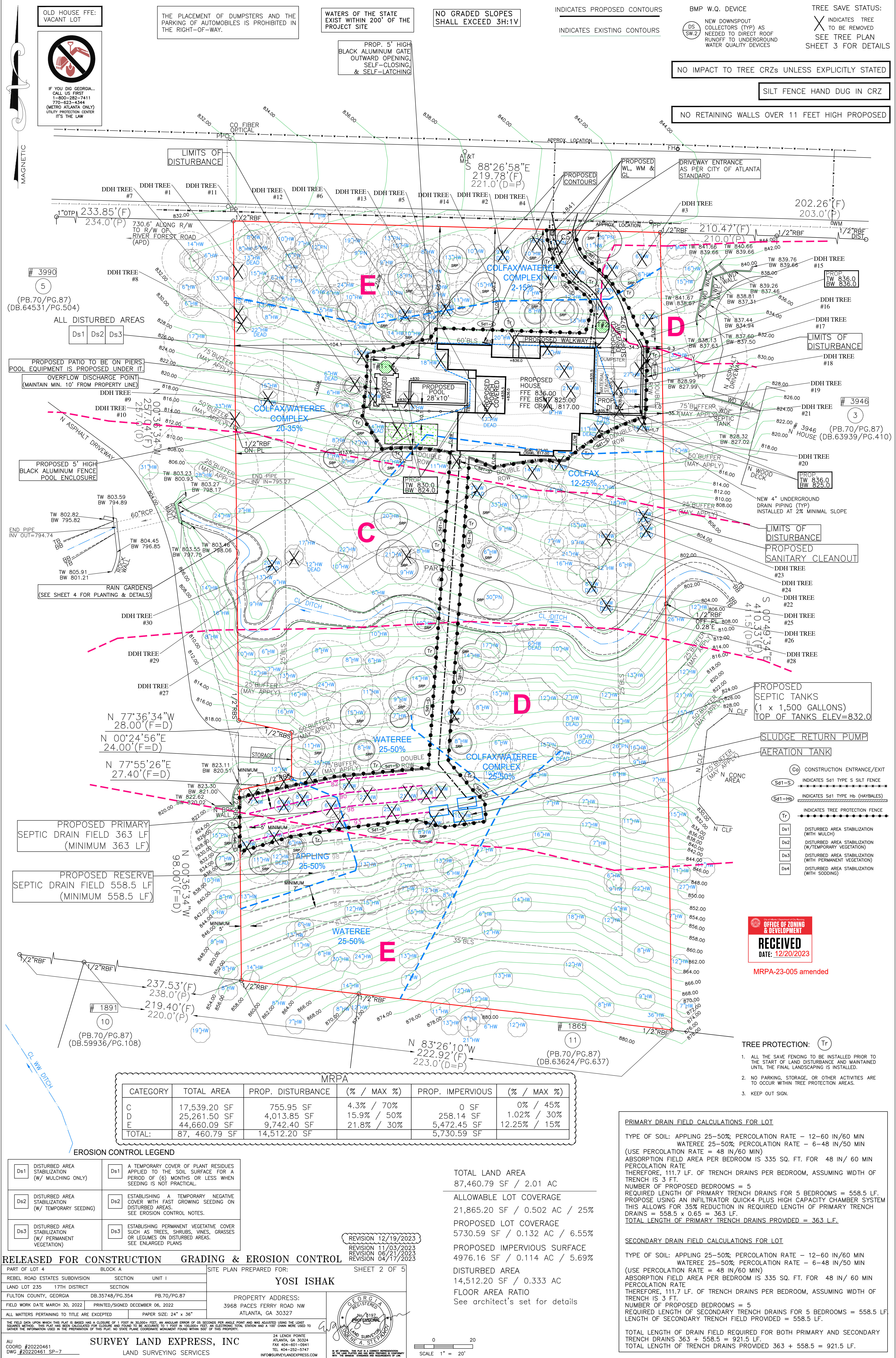
SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
RYE	3.9 POUNDS	3 bu.	9/1-3/1
BERMUDA	0.2 POUND	40 lbs.	8/15-4/1
CENTPEDE	BLOCK SOD	BLOCK SOD	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31
WEEDING LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15
SUDAGRASS	1.4 POUNDS	60 lbs.	3/1-8/1
BROWNTOP MILLET	0.9 POUND	40 lbs.	4/1-7/15
WHEAT	4.1 POUNDS	3 bu.	9/15-2/1

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1
CENTPEDE	BLOCK SOD	BLOCK SOD	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31
WEEDING LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15
SWITCHGRASS	0.9 POUND	40 lbs.	3/15-6/1

*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.
**SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.



OLD HOUSE FFE:
VACANT LOT

IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

THE PLACEMENT OF DUMPSTERS AND THE
PARKING OF AUTOMOBILES IS PROHIBITED IN
THE RIGHT-OF-WAY.

WATERS OF THE STATE
EXIST WITHIN 200' OF THE
PROJECT SITE

NO GRADED SLOPES
SHALL EXCEED 3H:1V

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

BMP W.Q. DEVICE

NEW DOWNSPOUT
COLLECTORS (TYP) AS
NEEDED TO DIRECT ROOF
RUNOFF TO UNDERGROUND
WATER QUALITY DEVICES

TREE SAVE STATUS:

X INDICATES TREE
TO BE REMOVED
SEE TREE PLAN
SHEET 3 FOR DETAILS

NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

NO RETAINING WALLS OVER 11 FEET HIGH PROPOSED

3990
5
(PB.70/PG.87)
(DB.64531/PG.504)

ALL DISTURBED AREAS
Ds1 Ds2 Ds3

PROPOSED PATIO TO BE ON PIERS
POOL EQUIPMENT IS PROPOSED UNDER IT
OVERFLOW DISCHARGE POINT
(MAINTAIN MIN. 10' FROM PROPERTY LINE)

PROPOSED 5' HIGH
BLACK ALUMINUM FENCE
POOL ENCLOSURE

RAIN GARDENS
(SEE SHEET 4 FOR PLANTING & DETAILS)

PROPOSED PRIMARY
SEPTIC DRAIN FIELD 363 LF
(MINIMUM 363 LF)

PROPOSED RESERVE
SEPTIC DRAIN FIELD 558.5 LF
(MINIMUM 558.5 LF)

1891
10
(PB.70/PG.87)
(DB.59936/PG.108)

MRPA					
CATEGORY	TOTAL AREA	PROP. DISTURBANCE	(% / MAX %)	PROP. IMPERVIOUS	(% / MAX %)
C	17,539.20 SF	755.95 SF	4.3% / 70%	0 SF	0% / 45%
D	25,261.50 SF	4,013.85 SF	15.9% / 50%	258.14 SF	1.02% / 30%
E	44,660.09 SF	9,742.40 SF	21.8% / 30%	5,472.45 SF	12.25% / 15%
TOTAL:	87, 460.79 SF	14,512.20 SF		5,730.59 SF	

EROSION CONTROL LEGEND	
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)
Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS.

RELEASED FOR CONSTRUCTION GRADING & EROSION CONTROL

PART OF LOT 4 BLOCK A

REBEL ROAD ESTATES SUBDIVISION SECTION UNIT I

LAND LOT 235 17TH DISTRICT SECTION

FULTON COUNTY, GEORGIA DB.35748/PG.354 PB.70/PG.87

FIELD WORK DATE MARCH 30, 2022 PRINTED/SIGNED DECEMBER 06, 2022

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"

SITE PLAN PREPARED FOR:

YOSI ISHAK

PROPERTY ADDRESS:

3968 PACES FERRY ROAD NW ATLANTA, GA 30327

24 LENOX POINT ATLANTA, GA 30324 TEL 404-252-5747 FAX 404-601-0941

24 LENOX POINT ATLANTA, GA 30324 TEL 404-252-5747 FAX 404-601-0941

24 LENOX POINT ATLANTA, GA 30324 TEL 404-252-5747 FAX 404-601-0941

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 10,000 FEET. ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

24 LENOX POINT ATLANTA, GA 30324 TEL 404-252-5747 FAX 404-601-0941

24 LENOX POINT ATLANTA, GA 30324 TEL 404-252-5747 FAX 404-601-0941

SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES

REVISION 12/19/2023

REVISION 11/03/2023

REVISION 06/21/2023

REVISION 04/17/2023

GEORGIA REGISTERED LAND SURVEYOR

NO. 1197

YOSI ISHAK

0 20

SCALE 1" = 20'

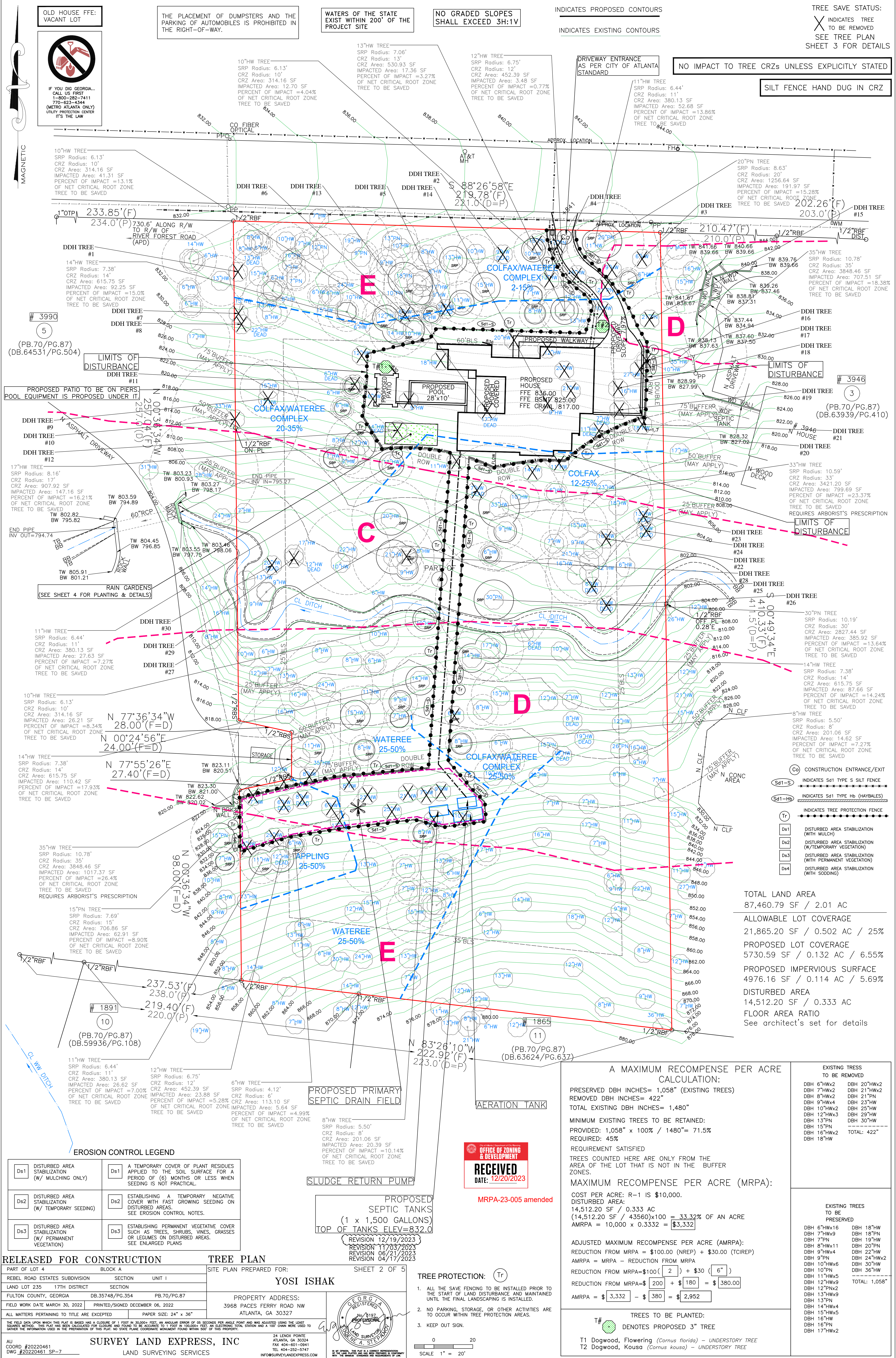
PRIMARY DRAIN FIELD CALCULATIONS FOR LOT

TYPE OF SOIL: APPLING 25-50%; PERCOLATION RATE - 12-60 IN/60 MIN
WATEREE 25-50%; PERCOLATION RATE - 6-48 IN/50 MIN
(USE PERCOLATION RATE = 48 IN/60 MIN)
ABSORPTION FIELD AREA PER BEDROOM IS 335 SQ. FT. FOR 48 IN/ 60 MIN PERCOLATION RATE
THEREFORE, 111.7 LF. OF TRENCH DRAINS PER BEDROOM, ASSUMING WIDTH OF TRENCH IS 3 FT.
NUMBER OF PROPOSED BEDROOMS = 5
REQUIRED LENGTH OF PRIMARY TRENCH DRAINS FOR 5 BEDROOMS = 558.5 LF.
PROPOSE USING AN INFILTRATOR QUICK4 PLUS HIGH CAPACITY CHAMBER SYSTEM
THIS ALLOWS FOR 35% REDUCTION IN REQUIRED LENGTH OF PRIMARY TRENCH DRAINS = 558.5 x 0.65 = 363 LF.
TOTAL LENGTH OF PRIMARY TRENCH DRAINS PROVIDED = 363 LF.

SECONDARY DRAIN FIELD CALCULATIONS FOR LOT

TYPE OF SOIL: APPLING 25-50%; PERCOLATION RATE - 12-60 IN/60 MIN
WATEREE 25-50%; PERCOLATION RATE - 6-48 IN/50 MIN
(USE PERCOLATION RATE = 48 IN/60 MIN)
ABSORPTION FIELD AREA PER BEDROOM IS 335 SQ. FT. FOR 48 IN/ 60 MIN PERCOLATION RATE
THEREFORE, 111.7 LF. OF TRENCH DRAINS PER BEDROOM, ASSUMING WIDTH OF TRENCH IS 3 FT.
NUMBER OF PROPOSED BEDROOMS = 5
REQUIRED LENGTH OF SECONDARY TRENCH DRAINS FOR 5 BEDROOMS = 558.5 LF.
LENGTH OF SECONDARY TRENCH FIELD PROVIDED = 558.5 LF.

TOTAL LENGTH OF DRAIN FIELD REQUIRED FOR BOTH PRIMARY AND SECONDARY TRENCH DRAINS 363 + 558.5 = 921.5 LF.
TOTAL LENGTH OF TRENCH DRAINS PROVIDED 363 + 558.5 = 921.5 LF.



OLD HOUSE FFE:
VACANT LOT

IF YOU DIG GEORGIA...
CALL US FIRST!
800-282-7411
770-823-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

THE PLACEMENT OF DUMPSTERS AND THE
PARKING OF AUTOMOBILES IS PROHIBITED IN
THE RIGHT-OF-WAY.

WATERS OF THE STATE
EXIST WITHIN 200' OF THE
PROJECT SITE

NO GRADED SLOPES
SHALL EXCEED 3H:1V

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

TREE SAVE STATUS:
X INDICATES TREE
TO BE REMOVED
SEE TREE PLAN
SHEET 3 FOR DETAILS

NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

TOTAL LAND AREA
87,460.79 SF / 2.01 AC

ALLOWABLE LOT COVERAGE
21,865.20 SF / 0.502 AC / 25%

PROPOSED LOT COVERAGE
5730.59 SF / 0.132 AC / 6.55%

PROPOSED IMPERVIOUS SURFACE
4976.16 SF / 0.114 AC / 5.69%

DISTURBED AREA
14,512.20 SF / 0.333 AC

FLOOR AREA RATIO
See architect's set for details

A MAXIMUM RECOMPENSE PER ACRE
CALCULATION:

PRESERVED DBH INCHES= 1,058" (EXISTING TREES)
REMOVED DBH INCHES= 422"
TOTAL EXISTING DBH INCHES= 1,480"

MINIMUM EXISTING TREES TO BE RETAINED:
PROVIDED: 1,058" x 100% / 1480"= 71.5%
REQUIRED: 45%

REQUIREMENT SATISFIED
TREES COUNTED HERE ARE ONLY FROM THE
AREA OF THE LOT THAT IS NOT IN THE BUFFER
ZONES.

MAXIMUM RECOMPENSE PER ACRE (MRPA):
COST PER ACRE: R-1 IS \$10,000.
DISTURBED AREA:
14,512.20 SF / 0.333 AC
(14,512.20 SF / 43560)x100 = 33.32% OF AN ACRE
AMRPA = 10,000 x 0.3332 = \$3,332

ADJUSTED MAXIMUM RECOMPENSE PER ACRE (AMRPA):
REDUCTION FROM MRPA = \$100.00 (NREP) + \$30.00 (TOIREP)
AMRPA = MRPA - REDUCTION FROM MRPA
REDUCTION FROM MRPA=\$100 (2) + \$30 (6")
REDUCTION FROM MRPA=\$ 200 + \$ 180 = \$ 380.00
AMRPA = \$ 3,332 - \$ 380 = \$ 2,952

EXISTING TREES
TO BE REMOVED

DBH 6"HWx2	DBH 20"HWx2
DBH 7"HWx2	DBH 21"HWx2
DBH 8"HWx2	DBH 21"PN
DBH 9"HWx4	DBH 23"HW
DBH 10"HWx2	DBH 25"HW
DBH 12"HWx3	DBH 29"HW
DBH 13"PN	DBH 30"HW
DBH 15"PN	
DBH 16"HWx2	TOTAL: 422"
DBH 18"HW	

EXISTING TREES
TO BE
PRESERVED

DBH 6"HWx16	DBH 18"HW
DBH 7"HWx9	DBH 18"PN
DBH 7"PN	DBH 19"HW
DBH 8"HWx11	DBH 20"PN
DBH 9"PN	DBH 22"HW
DBH 10"HWx6	DBH 24"HWx2
DBH 10"PN	DBH 30"HW
DBH 11"HWx5	DBH 36"HW
DBH 12"HWx9	
DBH 12"PNx2	TOTAL: 1,058"
DBH 13"HWx9	
DBH 13"PN	
DBH 14"HWx4	
DBH 15"HWx5	
DBH 16"HW	
DBH 16"PN	
DBH 17"HWx2	

TREES TO BE PLANTED:
T# DENOTES PROPOSED 3" TREE

T1 Dogwood, Flowering (Cornus florida) - UNDERSTORY TREE
T2 Dogwood, Kousa (Cornus kousa) - UNDERSTORY TREE

EROSION CONTROL LEGEND			
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

RELEASED FOR CONSTRUCTION

PART OF LOT 4	BLOCK A	SECTION	UNIT I
REBEL ROAD ESTATES SUBDIVISION			
LAND LOT 235	17TH DISTRICT	SECTION	
FULTON COUNTY, GEORGIA	DB.35748/PG.354	PB.70/PG.87	
FIELD WORK DATE MARCH 30, 2022	PRINTED/SIGNED DECEMBER 06, 2022		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"			

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET; AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT; AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 10,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

24 LENOX POINT
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-9747
INFO@SURVEYLANDEXPRESS.COM

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

CU
COORD #20220461
DWG #20220461 SP-7

TREE PLAN

SITE PLAN PREPARED FOR: SHEET 2 OF 5

YOSI ISHAK

PROPERTY ADDRESS:
3968 PACES FERRY ROAD NW
ATLANTA, GA 30327

PROPOSED PRIMARY
SEPTIC DRAIN FIELD

PROPOSED
SEPTIC TANKS
(1 x 1,500 GALLONS)
TOP OF TANKS ELEV=832.0

REVISION 12/19/2023
REVISION 01/03/2023
REVISION 06/21/2023
REVISION 04/17/2023

24 LENOX POINT
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-9747
INFO@SURVEYLANDEXPRESS.COM

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

CU
COORD #20220461
DWG #20220461 SP-7

TREE PROTECTION: Tr

1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.

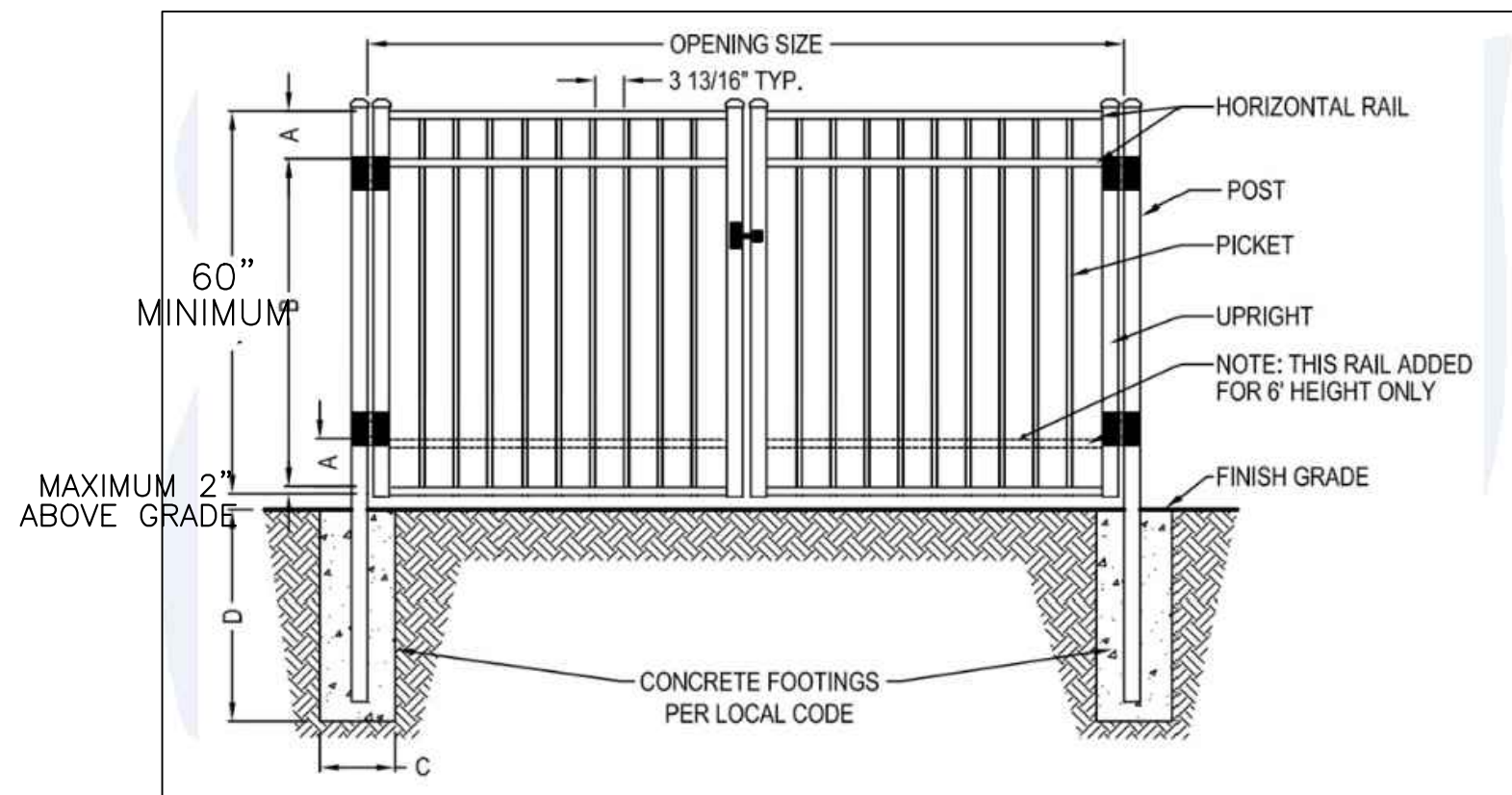
2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

3. KEEP OUT SIGN.

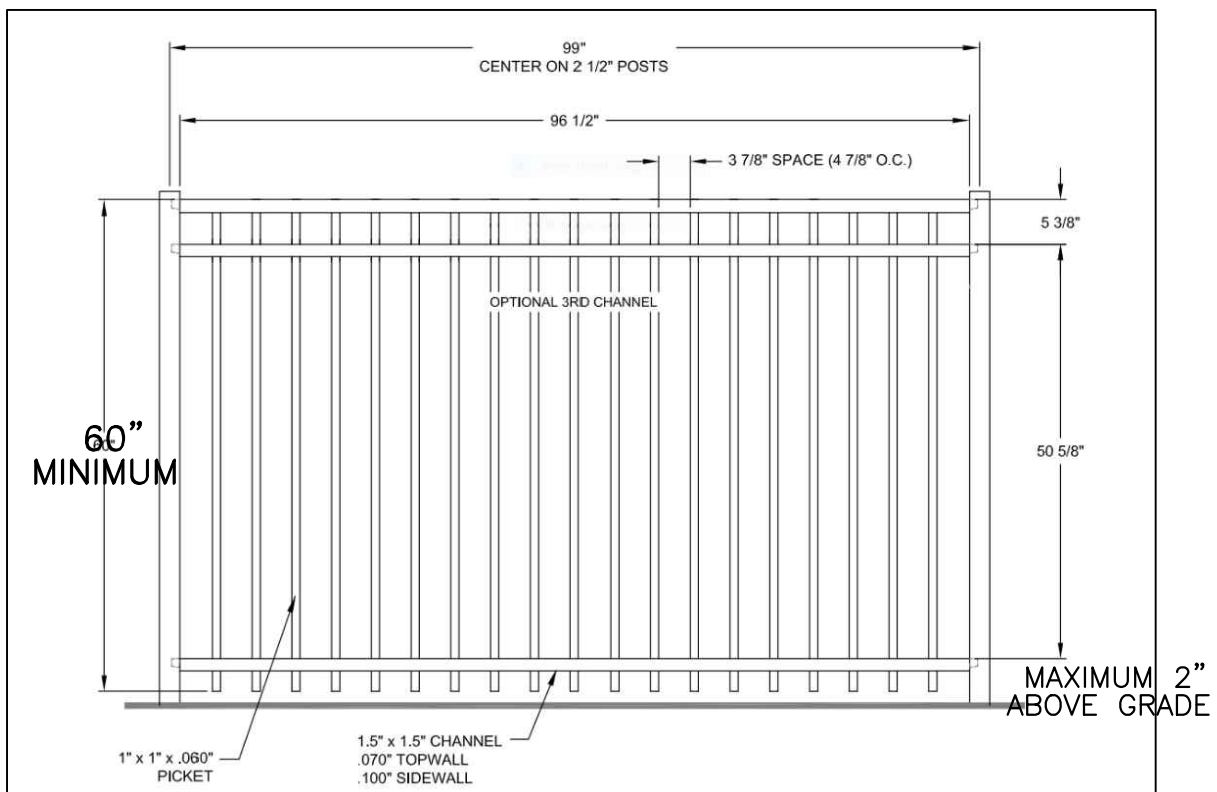
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
DATE: 12/20/2023

MRPA-23-005 amended

SCALE 1" = 20'



PROPOSED BLACK ALUMINUM GATE DETAIL



PROPOSED BLACK ALUMINUM FENCE DETAIL

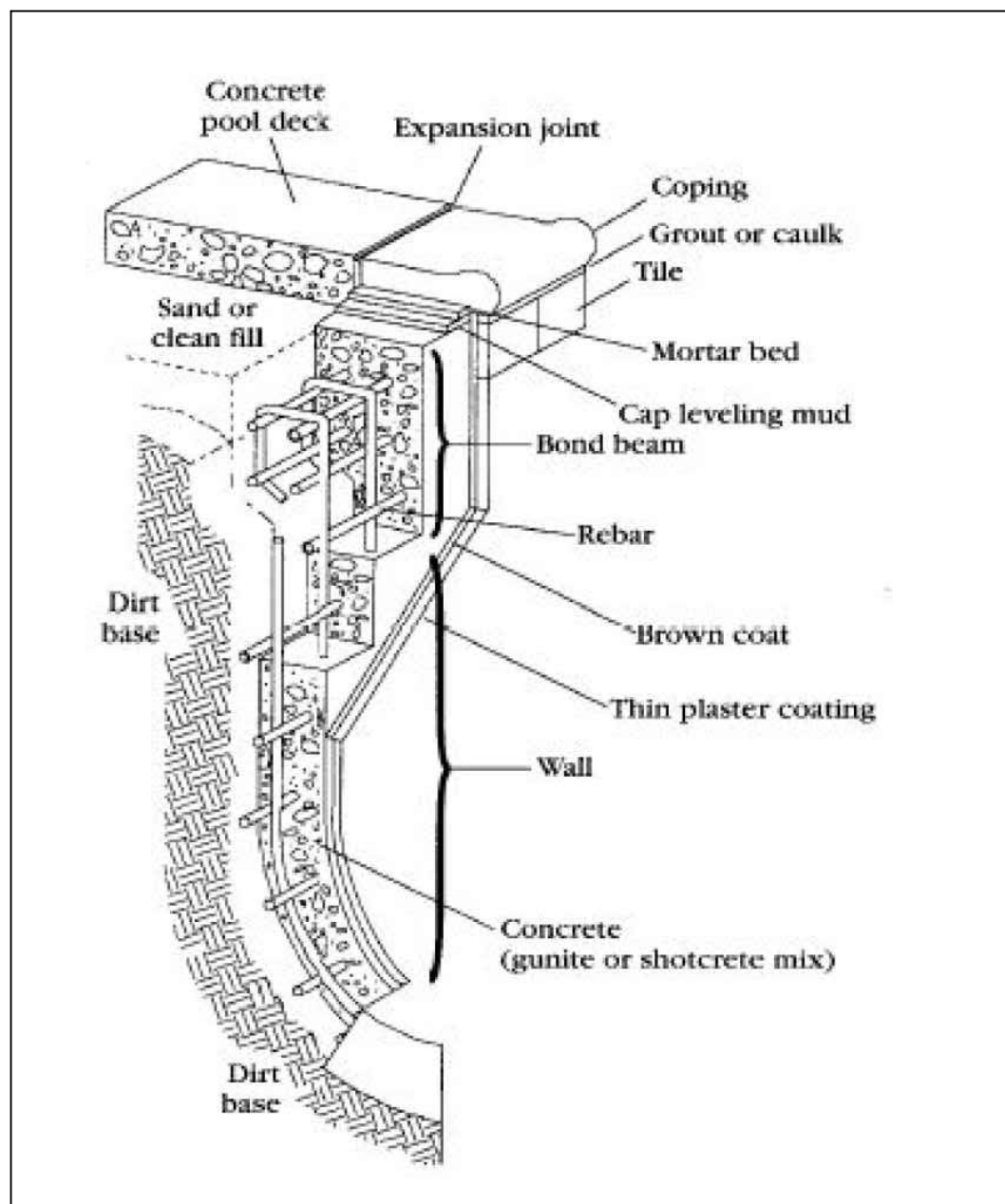
POOL NOTES:

1. FENCE AND WALL FOOTINGS MUST BE ENTIRELY CONTAINED WITHIN THE PROPERTY AND CANNOT ENCROACH ONTO A PROPERTY LINE.
2. POOL FENCE WILL NOT HAVE A "LADDER" EFFECT THAT COULD AID IN UNAUTHORIZED CLIMBING.
3. POOL FENCES MUST INCLUDE AT LEAST ONE GATED EXIT WITH A MINIMUM WIDTH OF 36" WIDE. THIS EXIT MUST OPEN OUTWARD (AWAY FROM POOL) AND BE SELF-CLOSING AND SELF-LATCHING.
4. THE MINIMUM HEIGHT OF THE FENCE MUST BE FIVE (5) FEET.
5. THE POOL ENCLOSURE ENTRANCE (GATE) SHALL BE LOCKED WHEN POOL IS NOT IN USE.
6. FOR ALL CASES WHERE A BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERIMETER, ALL DOORS ON THE BUILDING(S) WHICH HAVE DIRECT ACCESS TO THE POOL AREA MUST BE EQUIPPED WITH AN AUDIBLE ALARM ACTIVATED BY OPENING THE DOOR(S).
7. THE POOL IS NOT CONNECTED TO THE MAIN WATER LINE AND IS TO BE FILLED BY HOSE. A BACKFLOW PREVENTOR IS TO BE PROVIDED ON THE HOSE BIB.

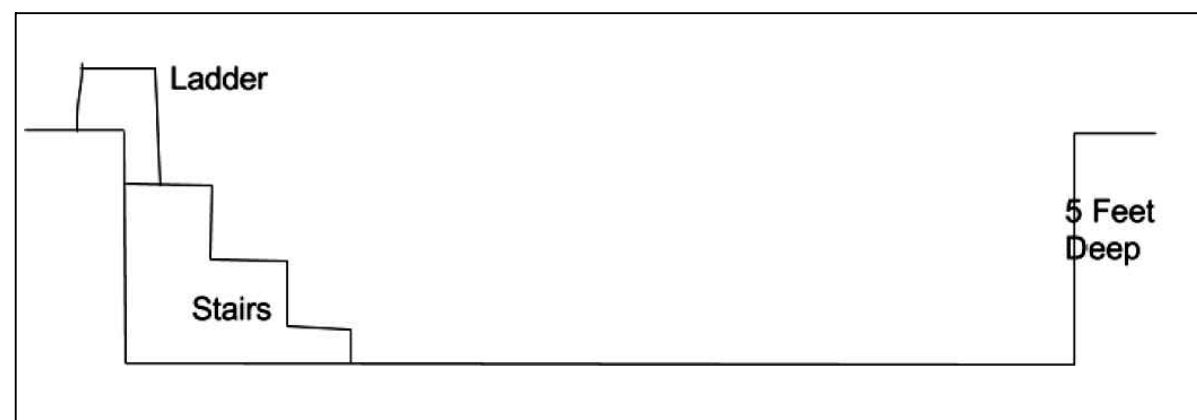


PROPOSED POOL MANUFACTURING SPECS

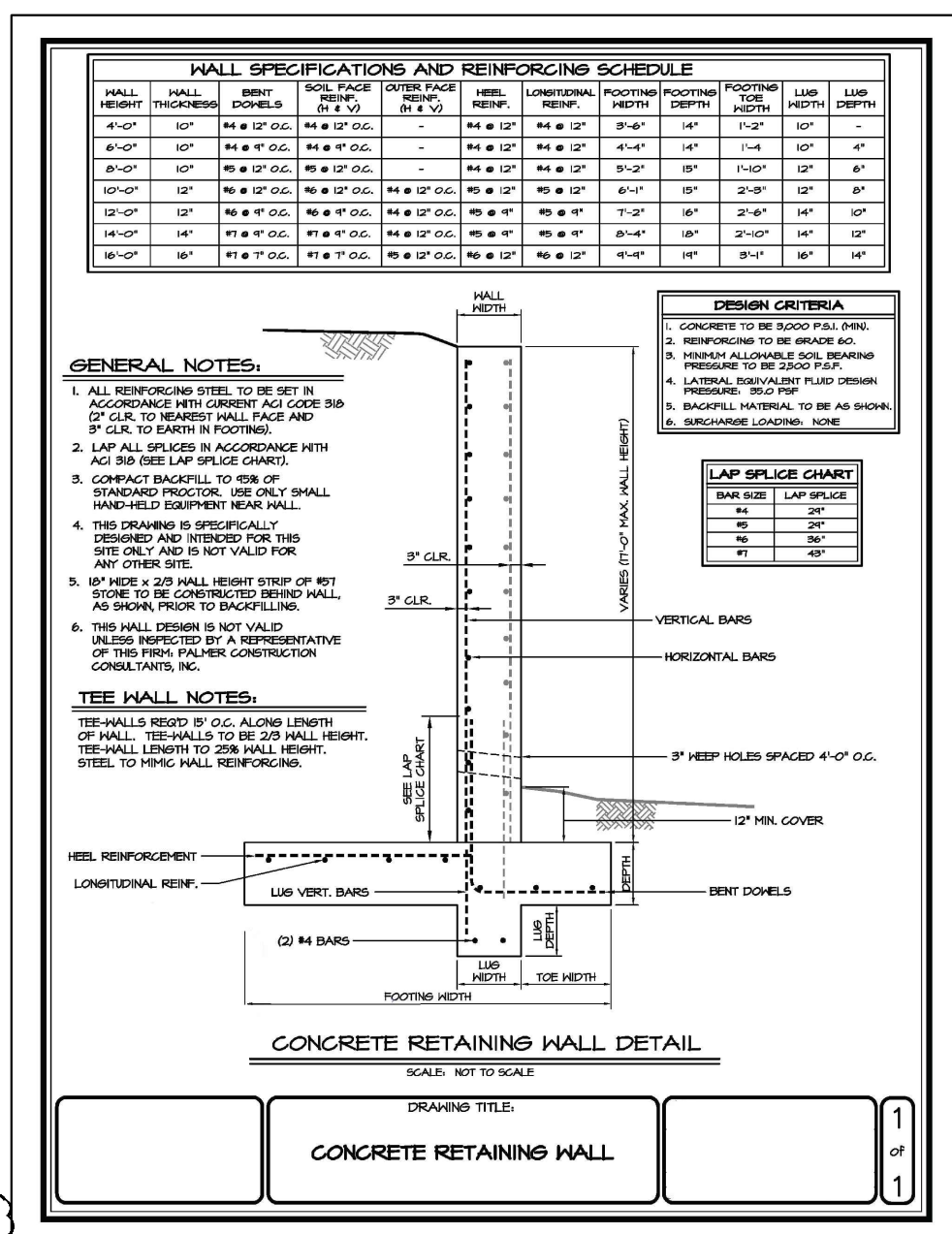
- A SUPER PUMP WITH A FAN FILTER
- PENTAIR EQUIPMENT
- 1 HORSEPOWER SUPERFLOW FOR THE PUMP AND AN SD60
- T104 TIMER
- 2 SKIMMERS
- 2 RETURNS
- 2 MAIN DRAINS.



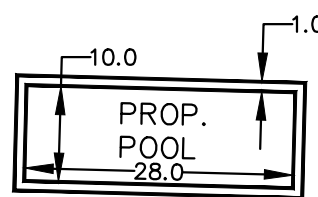
POOL WALL SECTION



POOL CROSS SECTION



SWIMMING POOL PLAN



APPLICABLE SWIMMING POOL CONSTRUCTION CODES:

IRC appendix G and ISPSC 2012; COA

- MINIMUM THICKNESS OF WALL 3 1/2", WITH #3 BARS @ 12" O.C. EW. MORE THAN 8 FEET DEEP POOL REQUIRE TO DESIGN BY ENGINEER.

International Swimming Pool & Spa Code - Section 306 DECKS 306.2 Slip resistant

- DECKS, RAMPS, COPING, AND SIMILAR STEP SURFACES SHALL BE SLIP-RESISTANT AND CLEANABLE. SPECIAL FEATURES IN OR ON DECKS SUCH AS MARKERS, BRAND INSIGNIAS, AND SIMILAR MATERIALS SHALL BE SLIP-RESISTANT.

International Swimming Pool & Spa Code - Section 811 SAFETY FEATURES 811.1 Rope & Float

- IN POOLS WHERE THE POINT OF FIRST SLOPE BREAK OCCURS, A ROPE AND FLOAT ASSEMBLY SHALL BE INSTALLED ACROSS THE WIDTH OF THE POOL. THE ROPE ASSEMBLY SHALL BE LOCATED NOT LESS THAN 1 FOOT AND NOT GREATER THAN 2 FEET TOWARDS THE SHALLOW SIDE OF THE SLOPE BREAK. ROPE ANCHORING DEVICES SHALL BE PERMANENTLY ATTACHED TO THE POOL WALL, COPING OR DECK. ROPE ENDS SHALL ATTACH TO THE ROPE ANCHOR DEVICES SO THAT THE ROPE ENDS CAN BE DISCONNECTED FROM THE ROPE ANCHOR DEVICE.

International Swimming Pool & Spa Code - Section 810 CIRCULATION SYSTEMS 810.3 Strainer Required

- PRESSURE FILTER SYSTEMS SHALL BE PROVIDED WITH A STRAINER LOCATED BETWEEN THE POOL AND THE CIRCULATION PUMP.

International Swimming Pool & Spa Code - Section 303 ENERGY 303.3 Time Switches

- TIME SWITCHES OR OTHER CONTROL METHODS THAT CAN AUTOMATICALLY TURN OFF AND ON HEATERS AND PUMPS ACCORDING TO A PRESET SCHEDULE SHALL BE INSTALLED ON ALL HEATERS AND PUMPS.

International Swimming Pool & Spa Code - Section 303 ENERGY 303.4 Covers

- HEATED POOLS AND INGROUND PERMANENTLY INSTALLED SPA SHALL BE PROVIDED WITH A VAPOR RETARDANT COVER. EXCEPTION: WHERE MORE THAN 70 PERCENT OF THE ENERGY FOR HEATING, COMPUTED OVER AN OPERATING SEASON, IS FROM SITE-RECOVERED ENERGY SUCH AS FROM A HEAT PUMP OR SOLAR ENERGY SOURCE.

IRC appendix G and ISPSC

- Physical barrier between the occupants and the aquatic vessel shall per following:
 - (a) Barrier shall be at least 4"-0" height. Opening of barrier shall not allow 4" sphere.
 - (b) Doors or operable windows with a sill height 48" or less shall have means of protection; such as: self-closing doors with self-latching devices.
 - (c) Doors or operable windows with a sill height 48" or less shall have an alarm.
 - (d) Maximum mesh size for chain link fences shall be a 2 1/4" square.

ISPSC 310

303.1 General

- SUCTION ENTRAPMENT AVOIDANCE FOR AQUATIC VESSELS SHALL BE PROVIDED IN ACCORDANCE WITH APSP 7.

IRC Section E4204 Bonding

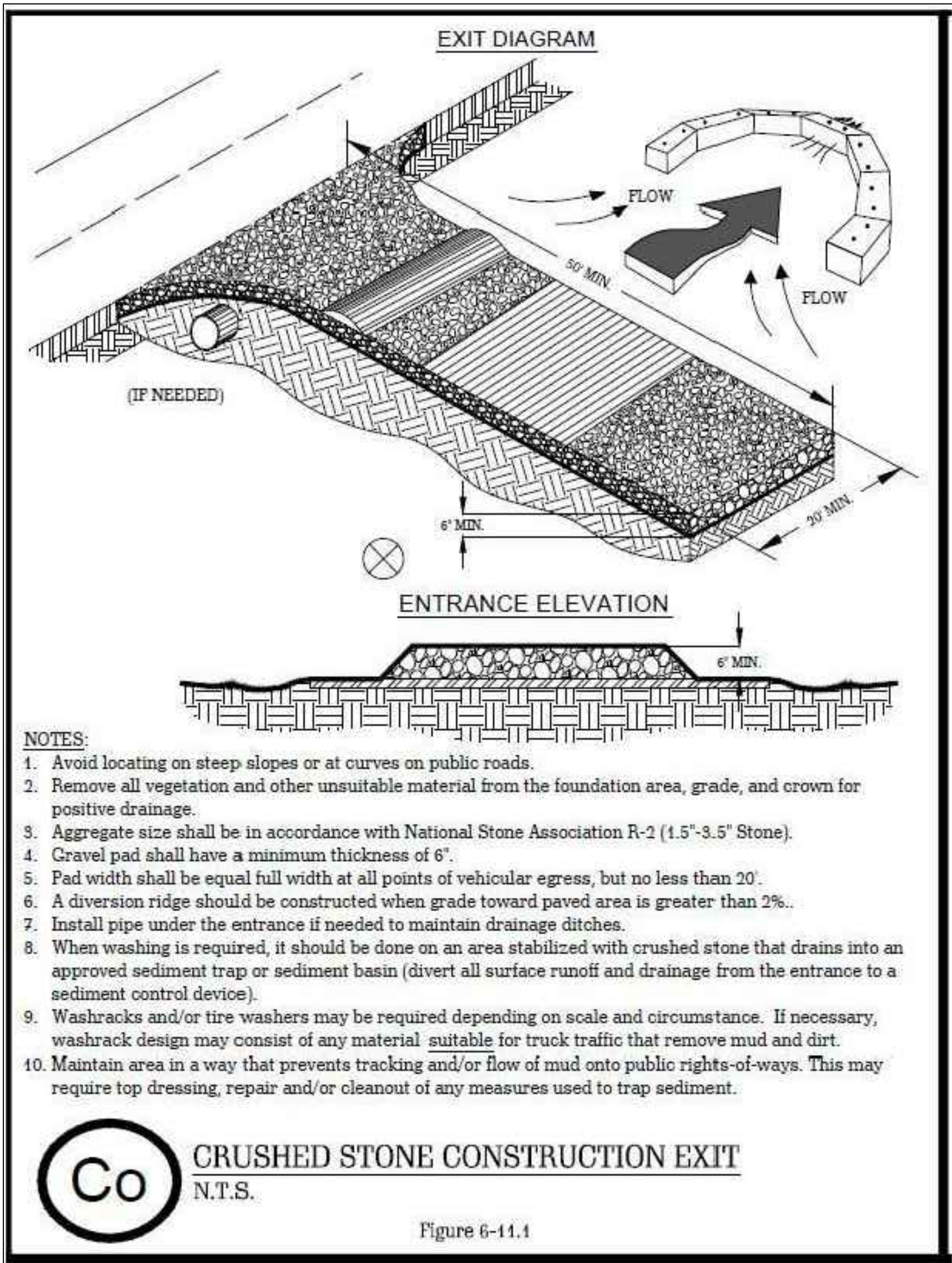
- THE EQUIPOTENTIAL BONDING REQUIRED BY THIS SECTION SHALL BE INSTALLED TO REDUCE VOLTAGE GRADIENTS IN THE POOL AREA AS PRESCRIBED.

809.3 Secondary entries and exits.

- WHERE WATER DEPTH IN THE DEEP AREA OF A POOL EXCEEDS 5 FEET (1524 MM), A MEANS OF ENTRY AND EXIT AS INDICATED IN SECTION 809.2 SHALL BE PROVIDED IN THE DEEP AREA OF THE POOL.
- EXCEPTION: WHERE THE REQUIRED PLACEMENT OF A MEANS OF EXIT FROM THE DEEP END OF A POOL WOULD PRESENT A POTENTIAL HAZARD, HANDHOLDS SHALL BE PROVIDED AS AN ALTERNATIVE FOR THE MEANS OF EXIT.

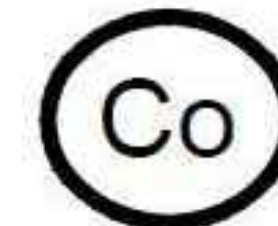
THE FOLLOWING ITEMS REQUIRED FOR POOL:

1. SLIP-RESISTANT DECK AROUND POOL AND SPA.
2. WALL-ANCHORED FLOATING ROPE ACROSS SLOPE BREAK.
3. STRAINER(S) WITH SUCTION ENTRAPMENT PROTECTION DEVICES IN ACCORD WITH APSP 7.
4. PUMP(S) TO BE ON AUTOMATIC TIMERS (SEE MANUFACTURER'S SPECS).
5. VAPOR-RETARDANT COVER FOR POOL SURFACE.
6. MINIMUM THICKNESS OF WALL SHALL BE 3 1/2", WITH #3 BARS @ 12" O.C.



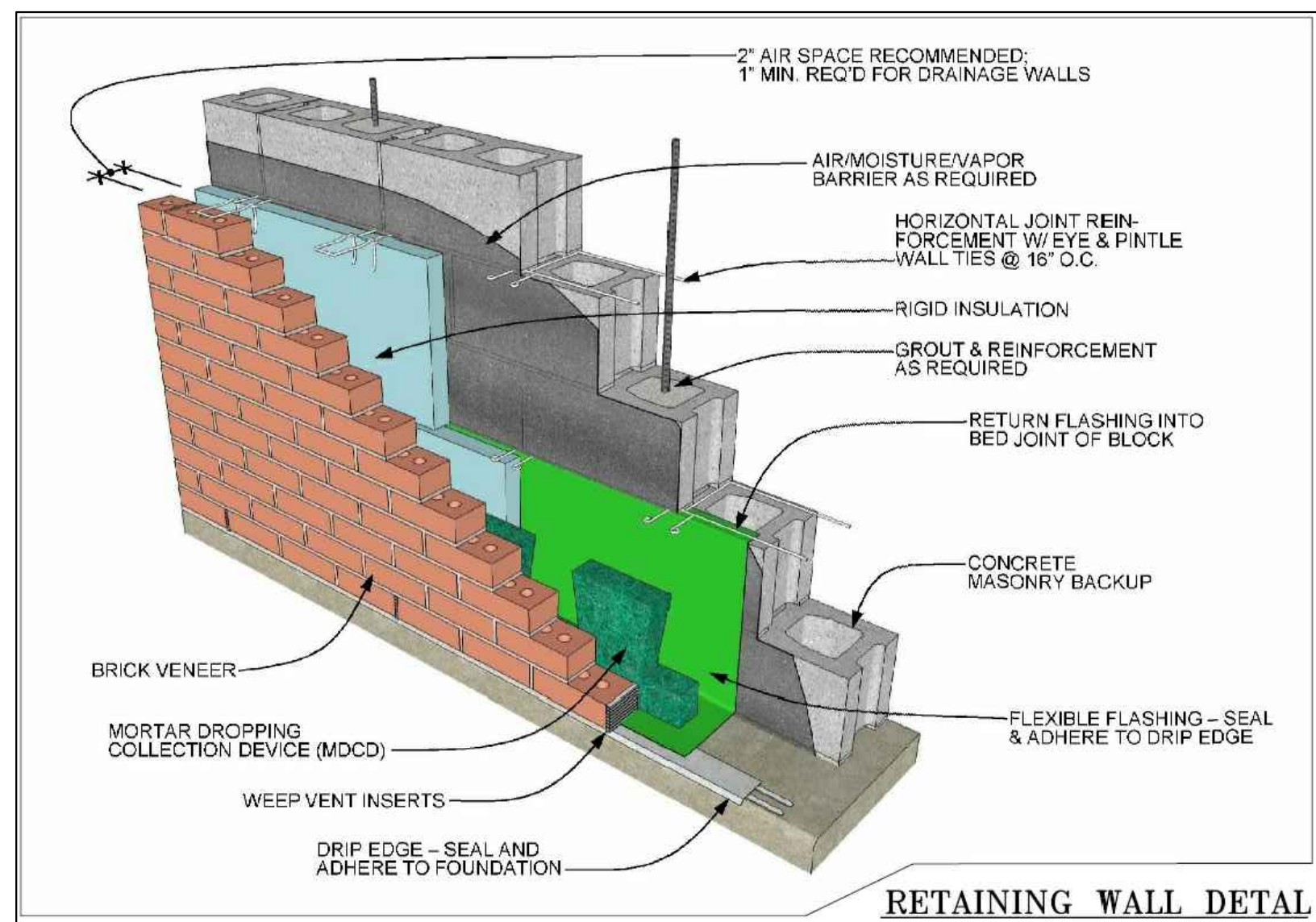
NOTES:

1. Avoid locating on steep slopes or at curves on public roads.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
4. Gravel pad shall have a minimum thickness of 6".
5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
6. A diversion ridge should be constructed when grade toward paved area is greater than 2%.
7. Install pipe under the entrance if needed to maintain drainage ditches.
8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
9. Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanup of any measures used to trap sediment.



CRUSHED STONE CONSTRUCTION EXIT
N.T.S.

Figure 6-11.1

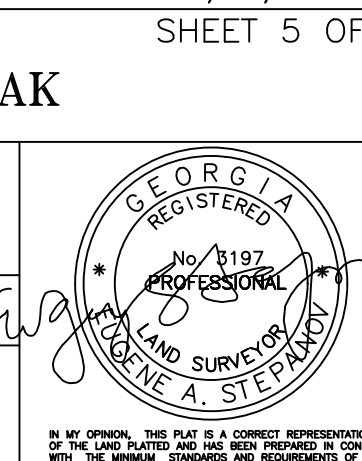


RELEASED FOR CONSTRUCTION

DETAILS

PART OF LOT 4 BLOCK A		SHEET 5 OF 5	
REBEL ROAD ESTATES SUBDIVISION SECTION UNIT I		YOSI ISHAK	
LAND LOT 235 17TH DISTRICT SECTION		PROPERTY ADDRESS: 3968 PACES FERRY ROAD NW ATLANTA, GA 30327	
FULTON COUNTY, GEORGIA DB.35748/PG.354 PB.70/PG.87		24 LENOX POINT ATLANTA, GA 30324 FAX 404-601-0941 TEL. 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	
FIELD WORK DATE MARCH 30, 2022 PRINTED/SIGNED DECEMBER 06, 2022		PAPER SIZE: 24" x 36"	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES	

REVISION 12/19/2023
REVISION 11/03/2023
REVISION 06/21/2023
REVISION 04/17/2023



IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF OFFICE AT ATLANTA, GEORGIA, THIS 19TH DAY OF DECEMBER, 2022.