

DATE: JANUARY 29, 2024

TO: MAYOR ANDRE DICKENS, City of Atlanta  
ATTN TO: KEYETTA HOLMES, PLANNING AND DEVELOPMENT DIRECTOR, City of Atlanta  
FROM: Anna Roach, Executive Director, Atlanta Regional Commission

ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

**Name of Proposal:** RC-23-06A 3968 Paces Ferry Road NW **Submitting Local Government:** City of Atlanta

**Date Opened:** January 9, 2024

**Date Closed:** January 29, 2024

**FINDING:** ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

**Additional Comments:** The National Park Service submitted comments which are attached. They express concerns that the project could cause detrimental impacts to park resources if proper Best Management Practices (BMPs) are not followed and maintained. With these concerns in mind, the NPS made the following recommendations: (1) wash and clean equipment to remove any mud and debris that may transport unwanted pests before being brought on-site and use only native grass seed or native vegetation for stabilizing the project area following construction; (2) utilize native plants for all plantings; (3) utilize and maintain best practices for erosion control; (4) construct the motor court, walkways, and driveway of pervious materials; and (5) develop a pool maintenance plan that includes a sustainable method to drain the pool as needed that does not direct water to streams or ditches that lead to the Chattahoochee River.

## THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION  
NATIONAL PARK SERVICE  
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE  
GEORGIA CONSERVANCY  
CITY OF SANDY SPRINGS

CHATTAHOOCHEE RIVERKEEPER  
FULTON COUNTY

For questions, contact Donald Shockey at (470) 378-1531 or [dshockey@atlantaregional.org](mailto:dshockey@atlantaregional.org). This finding will be published to the ARC website at <https://atlantaregional.org/plan-reviews>.



## APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: Fulton County, Ga.
2. Owner(s) of Record of Property to be Reviewed:  
Name(s): HCG ATL Properties 3 LLC  
Mailing Address: 881 Ponce De Leon Ave, Ste 4  
City: Atlanta State: GA Zip: 30306  
Contact Phone Numbers (w/Area Code):  
Daytime Phone: 762-221-9555 Fax: \_\_\_\_\_  
Other Numbers: \_\_\_\_\_
3. Applicant(s) or Applicant's Agent(s):  
Name(s): Richard Taylor  
Mailing Address: 1011 Lee Street SW  
City: Atlanta State: GA Zip: 30310  
Contact Phone Numbers (w/Area Code):  
Daytime Phone: 844-222-3326 Fax: \_\_\_\_\_  
Other Numbers: \_\_\_\_\_
4. Proposed Land or Water Use:  
Name of Development: 3968 Paces Ferry Road  
Description of Proposed Use: Residence
5. Property Description (Attach Legal Description and Vicinity Map):  
Land Lot(s), District, Section, County: \_\_\_\_\_  
Land lot 235, 17th District, Section Unit 1, Fulton County  
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:  
Rebel Road Estates Subdivision, Lot 4, Block A, 3968 Paces Ferry Road NW,  
Size of Development (Use as Applicable):  
Acres: Inside Corridor: 87,460.79 SF  
Outside Corridor: 0  
Total: 87,460.79 SF or 2.01 AC  
Lots: Inside Corridor: 1  
Outside Corridor: \_\_\_\_\_  
Total: 1  
Units: Inside Corridor: \_\_\_\_\_  
Outside Corridor: \_\_\_\_\_  
Total: \_\_\_\_\_  
Other Size Descriptor (i.e., Length and Width of Easement):  
Inside Corridor: \_\_\_\_\_  
Outside Corridor: \_\_\_\_\_  
Total: \_\_\_\_\_

MRPA-23-005  
 amended

**6. Related Chattahoochee Corridor Development:**

**A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application?** No

If "yes", describe the additional land and any development plans: \_\_\_\_\_

**B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval?** No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): \_\_\_\_\_

**7. How Will Sewage from this Development be Treated?**

**A. Septic tank** Yes, see site plan for septic permit

**Note:** For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

**B. Public sewer system** \_\_\_\_\_

**8. Summary of Vulnerability Analysis of Proposed Land or Water Use:**

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	17,596.79 SF	755.95 SF	0 SF	(70) 4.3%	(45) 0%
D	25,261 SF	4,013.85 SF	258.14 SF	(50) 15.9%	(30) 1.02 %
E	44,660.09 SF	9,742.40 SF	5,472.45 SF	(30) 21.8%	(15) 12.25 %
F	_____	_____	_____	(10)_____	(2)_____
<b>Total:</b>	87,460.79 SF	14,512.20 SF	5,730.59 SF	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No  
If "yes", indicate the 100-year floodplain elevation: \_\_\_\_\_

**NOTE:** For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

**NOTE:** All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No  
If "yes", indicate the 500-year flood plain elevation: \_\_\_\_\_

**NOTE:** Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

**FOR ALL APPLICATIONS:**

- X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- X Written consent of all owners to this application. (Space provided on this form)
- X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- X Description of proposed use(s). (Space provided on this form)
- X Existing vegetation plan.
- X Proposed grading plan.
- X Certified as-builts of all existing land disturbance and impervious surfaces.
- X Approved erosion control plan.
- X Detailed table of land-disturbing activities. (Both on this form and on the plans)



MRPA-23-05



MRPA-23-05 amended

**\_\_\_\_ Documentation on adjustments, if any.**

    X     **Cashier's check or money order (for application fee).**

**FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):**

  X   **Site plan.**

  X   **Land-disturbance plan.**

**FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:**

**Concept plan.**

**\_\_\_\_ Lot-by-lot and non-lot allocation tables.**




MRPA-23-05

amended




MRPA-23-2023

- 12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)**

	4/27/2023
<b>Signature(s) of Owner(s) of Record</b>	<b>Date</b>

- 13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:**

	4/27/23
<b>Signature(s) of Applicant(s) or Agent(s)</b>	<b>Date</b>

- 14. The governing authority of City of Atlanta requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.**

*Keyetta M. Holmes* amended 12/20/2023  
06/05/2023  
Signature of Chief Elected Official or Official's Designee Date



# United States Department of the Interior

National Park Service  
Chattahoochee River  
National Recreation Area  
1978 Island Ford Parkway  
Sandy Springs, GA 30350



IN REPLY REFER TO:

1.A.2

January 19, 2024

Donald Shockey  
Atlanta Regional Commission  
229 Peachtree Street NE  
Suite 100  
Atlanta, Georgia 30303

Dear Mr. Shockey:

This letter is a notification of receipt of the MRPA Review Notification RC-23-06A 3968 Paces Ferry Road NW in Fulton County, Georgia. This project will involve construction of a new single-family home with a pool, patio, garage and driveway. The analysis estimates that 14,512.2 sqft of land disturbance and 5,730.59 sqft of impervious area meet the criteria for vulnerability categories C, D, and E.

Congress established the Chattahoochee River National Recreation Area (CRNRA), a unit of the National Park Service (NPS), in 1978 to assure the preservation and protection of a 48-mile stretch of the Chattahoochee River from Buford Dam to Peachtree Creek. CRNRA consists of the river and its bed along with the lands, waters, and interests within the park's authorized boundary. Congress expressly provided the Secretary of the Interior, acting through the National Park Service (NPS) and CRNRA, with the authority to protect the "natural, scenic, recreation, historic and other values" of the Chattahoochee River. We are concerned that the project could cause detrimental impacts to park resources if proper Best Management Practices (BMPs) are not followed and maintained. It is with these concerns in mind that NPS offers the following comments and recommendations:

## Introduce/Promote Non-native Species

Construction activities have the potential to transport exotic invasive plant and animal species.

**Recommendation:** We request that all equipment be washed and cleaned of mud and debris that may transport unwanted pests before being brought on-site. The NPS encourages the project applicant to use only native grass seed or native vegetation for stabilizing the project area following construction. Non-native species are easily transported downstream.

## Landscaping with Native Species

Landscaping with native plant species provides a beautiful, hardy, drought resistant yard that benefits the natural environment. It requires less water, fertilizer, and pesticides, therefore costing less in maintenance. Furthermore, native plants promote stewardship of our natural heritage by supporting pollinators, birds, and other wildlife while supporting biological diversity and ecological functions.

**Recommendation:** NPS encourages the use native plant species for landscaping to reduce the spread of exotic species into natural areas.

#### Erosion and Sedimentation

In general, to protect the stream and water quality during construction, Best Management Practices (BMPs) should be designed and implemented to comply with the standards and specifications outlined in the *Manual for Erosion and Sediment Control in Georgia* (Georgia Soil and Water Conservation Commission). An approved erosion and sedimentation control plan should be implemented before soil disturbances occur within the project site to avoid violating the Erosion and Sedimentation Act of 1975.

Currently, the Chattahoochee River near the proposed project site is listed as impaired on the state of Georgia's 303(d) listing for not fully meeting its designated uses. CRNRA is vested in improving the current state of this water body, and any addition of sediment or run-off would further disrupt the current water quality condition. Caution is advised to prevent a flush of sediment deposits during the construction process.

**Recommendation:** After proper installation, continued and unfailing maintenance and repair of the BMP's should be guaranteed in order to ensure their effectiveness and specifically to control, as far as possible, the effects of this project on the river.

#### Installation of Impervious Surface

The addition of impervious surface contributes to the growing problem of uncontrolled storm water runoff and resulting pollutant loads. This leads to adverse effects on hydrology and ecological functions of the Chattahoochee River and its tributaries.

**Recommendation:** We request that the applicant seriously consider constructing the motor court, walkways, and driveway of pervious materials.

#### Pool Maintenance and Management Plan

The proposed project includes the installation of a septic system and a pool. Pool typically requires the use of chemicals such as chloride and bromide as well as algaecides, biocides, water conditioners, and stabilizers which could all be harmful to natural waterways. Additionally, these additives prevent pools from being drained into septic systems.

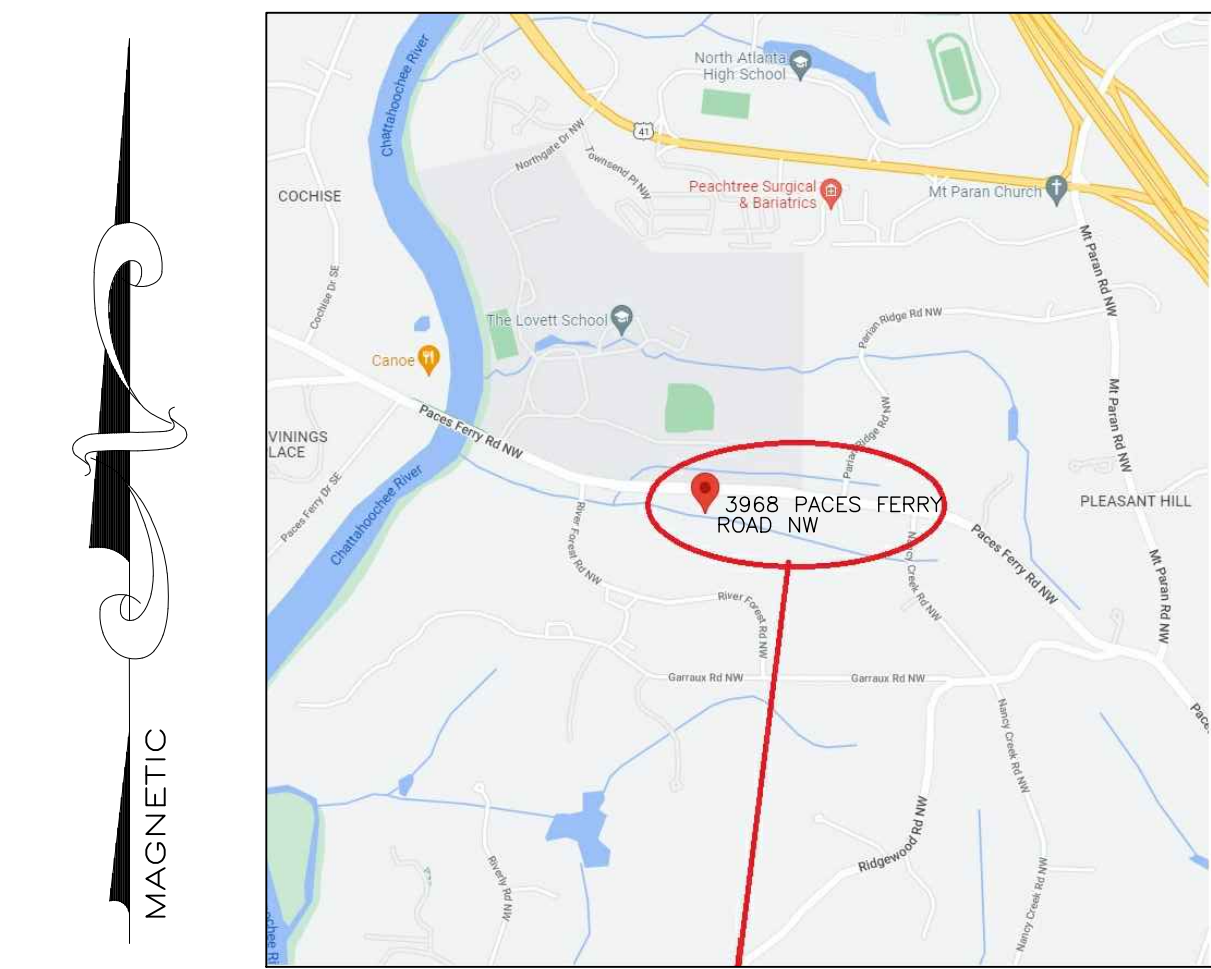
**Recommendations:** The owners should develop a pool maintenance and management plan that includes a sustainable plan to drain the pool. Pool drainage should not be directed to the streams or ditches on-site that lead directly to the Chattahoochee River.

We appreciate your consideration of these comments. Please feel free to me directly if you have any questions or concerns that we could help to address. I can be reached at 678-538-1321 or by email at Beth\_Wheeler@nps.gov.

Sincerely,

(acting for)  
Ann Honious  
Superintendent





### FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL. MAP ID 13121C022Z. EFFECTIVE DATE: 09/18/2013. ZONE: X. WATERS OF THE STATE EXIST WITHIN 200 FEET OF THE PROJECT SITE.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIZE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

- LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

### GENERAL NOTES:

- THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
- THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
- SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
- IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
- THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.
- STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. CERTIFIED AS-BUILT MAY ALSO BE REQUIRED.

REVISION 12/19/2023

REVISION 11/03/2023

REVISION 06/21/2023

REVISION 04/17/2023

### RELEASED FOR CONSTRUCTION

PART OF LOT 4	BLOCK A	SECTION	UNIT I
REBEL ROAD ESTATES SUBDIVISION			
LAND LOT 235	17TH DISTRICT		
FULTON COUNTY, GEORGIA	DB.35748/PG.354	PB.70/PG.87	
FIELD WORK DATE MARCH 30, 2022	PRINTED/SIGNED DECEMBER 06, 2022		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"		

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000± FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MOMENT FOUND WITHIN 500' OF THIS PROPERTY.

**SURVEY LAND EXPRESS, INC.**  
LAND SURVEYING SERVICES  
24 LENOX POINTE  
ATLANTA, GA 30324  
TEL: 404-252-5747  
FAX: 404-601-0941  
INFO@SURVEYLANDEXPRESS.COM

### COVER SHEET & DETAILS

SITE PLAN PREPARED FOR: SHEET 1 OF 5

**YOSI ISHAK**

PROPERTY ADDRESS:  
3968 PACES FERRY ROAD NW  
ATLANTA, GA 30327

REGISTERED  
PROFESSIONAL  
SURVEYOR  
No. 8187  
STATE OF GEORGIA  
YOSI ISHAK

**GSWCC**

GEORGIA SOIL AND WATER  
CONSERVATION COMMISSION

EUGENE A. STEPANOV

LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000065549

ISSUED: 01/27/2021 EXPIRES: 01/27/2024

### PROPERTY IS ZONED R-1 CITY OF ATLANTA

BUILDING SETBACK  
FRONT: 60'  
SIDE: 25'  
REAR: 35'  
MAX. LOT COVERAGE 25%  
MAX. BUILDING HEIGHT 35'

### ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY,  
DEVELOPER AND ARCHITECT TO CONFIRM ZONING  
DISTRICT, PER ZONING DEPARTMENT.

### DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 12/29/2023  
ANTICIPATED COMPLETION DATE: 12/29/2024  
THE INSTALLATION OF EROSION AND  
SEDIMENTATION CONTROL MEASURES AND  
PRACTICES SHALL OCCUR PRIOR TO OR  
CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

### DIRT STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT: 651  
TOTAL OF GROSS CUBIC YARDS OF FILL: 651  
EXCESS OF SOIL TO BE HAULED OFF.

### \* L E G E N D \*

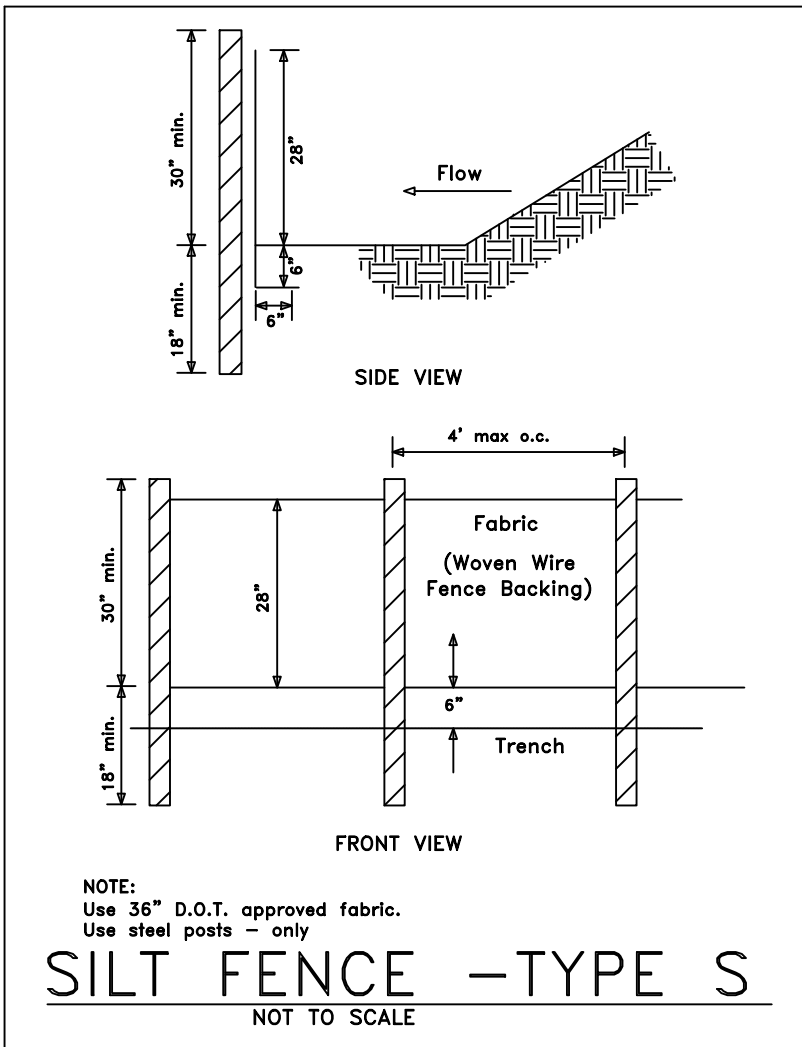
APD	AS PER DEED	IV	IRRIGATION VALVE
AE	ACCESS EASEMENT	JB	JUNCTION BOX
APF	AS PER FIELD	ULL	LAND LOT LINE
AI	ANGLE IRON FOUND	UR	UNDERGROUND READING IP
APP	AS PER PLAT	MGN	MAGNOLIA TREE
APR	AS PER RECORD	MH	MAN HOLE
BC	BACK OF CURB	MTF	METAL FENCE
BLK	BLOCK	NH	NAIL HOLE
BLN	BUILDING LINE SETBACK	OTF	OPEN TOP PIPE FOUND
BRK	BRICK	OW	OWNERSHIP UNCLEAR
CLS	CABLE BOX	P	PORCH
CB	CORROUGATED METAL PIPE	PL	PROPERTY CORNER
CL	CENTER LINE	PN	PINE TREE
CMP	CORROUGATED METAL PIPE	POB	POINT OF BEGINNING
C.O.A.	CITY OF ATLANTA	PP	POWER POLE
CO	CORROUGATED METAL PIPE	PW	POWER LINE
CPT	CARPENTRY	(P)	PLAT
CTP	CORROUGATED METAL PIPE	R	RECORD
CTD	CORROUGATED METAL PIPE	RBF	REINFORCING BAR FOUND
DE	DEED	RBS	REINFORCING BAR SET
DEE	DEED EASEMENT	RC	REINFORCING CONC. PIPE
DI	DRAINAGE INLET	R/W	RIGHT-OF-WAY
ED	ELECTRIC POWER BOX	SN	SANITARY SEWER LINE
EM	ELECTRIC METER	SSE	SANITARY SEWER EASEMENT
EP	EDGE OF PAVEMENT	SP	SHOWN PORCH
F	FIELD	TE	TOP OF BANK
FP	FENCE POST	UE	UTILITY EASEMENT
FC	FENCE CORNER	WD	WOOD
FR	FIRE HYDRANT	WDF	WOOD DECK
GL	GAS LINE	WV	WATER VALVE
GL	GAS VALVE	WWD	WOOD WALK
GV	GAS VALVE	WV	WATER VALVE
GW	GUY WIRE	WVF	WIRE FENCE
HW	HARDWOOD TREE	WW	WATER VALVE
IF	IRON PIN FOUND	WW	WET WEATHER
IPS	IRON PIN SET	Y	YARD INLET
IR	IRON ROD FOUND	Y	YARD INLET

### SPECIAL SITE PLAN NOTES:

- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1993 EDITION AND BE WIRE REINFORCED.
- MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
- STATEMENT: ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF ATLANTA STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- ALL GRADED SLOPES TO BE 3H : 1V OR GREATER. ALL LOTS WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS.
- GRADE TO DRAIN AWAY FROM FOUNDATION.
- WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.
- LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA.
- THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 - IT'S THE LAW.
- HAUL ROUTE PERMIT IS NOT REQUIRED.
- LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED.
- TOPOGRAPHY IS BASED ON FIELD RUN SURVEY MARCH 30, 2022.

### SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREON. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCE INFORMATION. CONSULTATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT RELY TO ANY UNNAMED PERSONS, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.



### Sd1-S SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

### EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

### GENERAL NOTES (SITE PLAN):

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS NECESSARY.
- DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE  
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

### SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER PRESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER:

Yosi Ishak

3968 PACES FERRY ROAD NW

ATLANTA, GA 30327

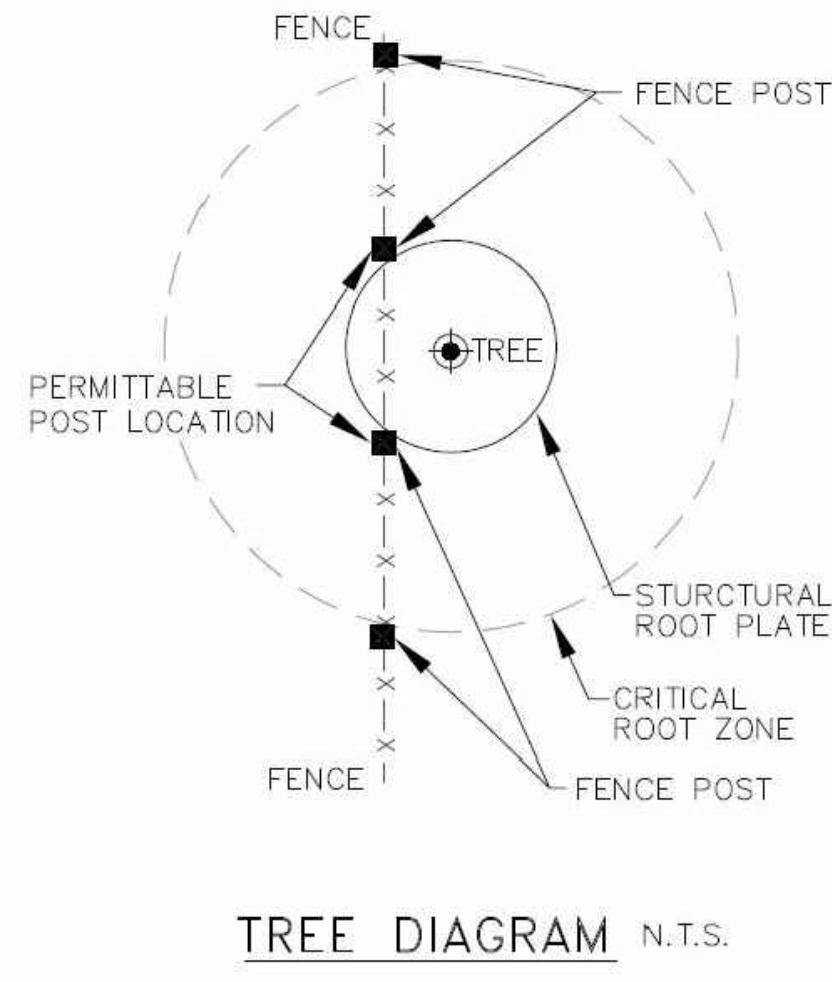
24-HRS CONTACT: Yosi Ishak

TELEPHONE: (404) 429-0697

yosi.ishak@homecrestgroup.net

### TREE NOTES:

NO TREES WILL BE DESTROYED ACCORDING TO CITY OF ATLANTA PROTECTION ORDINANCE 158. ALL CONTINUOUS FENCE FOOTERS/STRINGERS LOCATED IN TREE'S CRITICAL ROOT ZONES WILL BE BUILT AT OR ABOVE EXISTING GRADE. THE ONLY IMPACT TO EARTH WILL BE TO DIG POSTS.



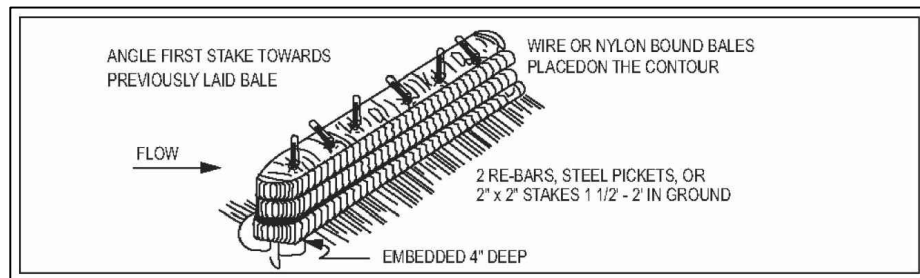
### SILT FENCE HAND DUG IN CRZ

### TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

### Hay or Straw Bales (Sd1-Hb)

- Place in a single row, lengthwise, on the contour.
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through the bales or by other adequate means.
- Place in areas of low rate sheet flow.
- For use on projects with a duration of three months or less.



### (Co) CONSTRUCTION ENTRANCE/EXIT

INDICATES Sd1 TYPE S SILT FENCE

INDICATES Sd1 TYPE Hb (HAYBALES)

### (Tr) INDICATES TREE PROTECTION FENCE

INDICATES Sd1 TYPE S SILT FENCE

INDICATES Sd1 TYPE Hb (HAYBALES)

INDICATES TREE PROTECTION FENCE

INDICATES Sd1 TYPE S SILT FENCE

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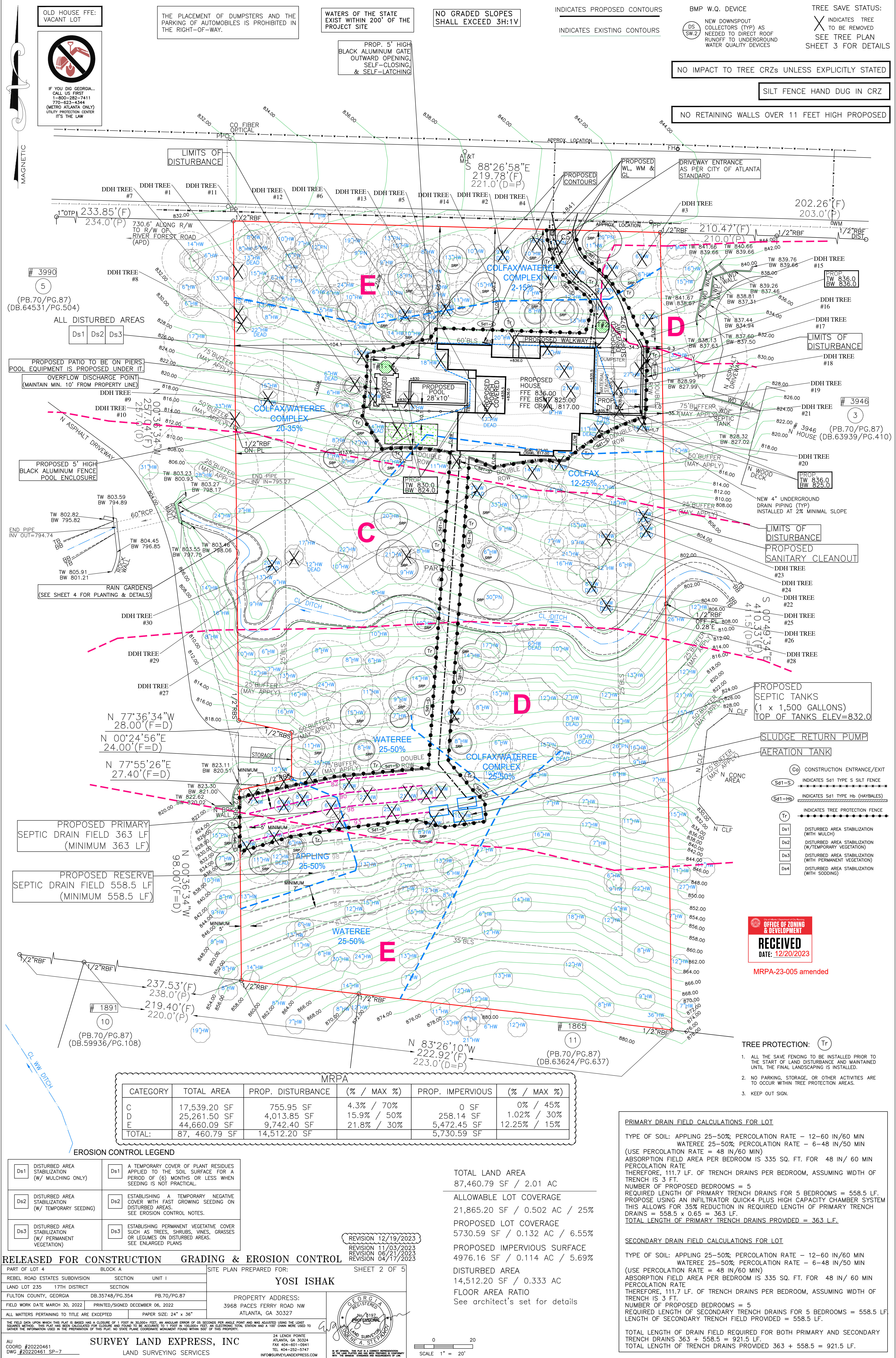
INDICATES TREE PROTECTION FENCE

INDICATES Sd1 TYPE S SILT FENCE

INDICATES Sd1 TYPE Hb (HAYBALES)

INDICATES TREE PROTECTION FENCE





OLD HOUSE FFE:  
VACANT LOT

IF YOU DIG GEORGIA...  
CALL US FIRST!  
1-800-282-7411  
770-623-4344  
(METRO ATLANTA ONLY)  
UTILITY PROTECTION CENTER  
IT'S THE LAW

THE PLACEMENT OF DUMPSTERS AND THE  
PARKING OF AUTOMOBILES IS PROHIBITED IN  
THE RIGHT-OF-WAY.

WATERS OF THE STATE  
EXIST WITHIN 200' OF THE  
PROJECT SITE

NO GRADED SLOPES  
SHALL EXCEED 3H:1V

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

BMP W.Q. DEVICE

NEW DOWNSPOUT  
COLLECTORS (TYP) AS  
NEEDED TO DIRECT ROOF  
RUNOFF TO UNDERGROUND  
WATER QUALITY DEVICES

TREE SAVE STATUS:

X INDICATES TREE  
TO BE REMOVED

SEE TREE PLAN  
SHEET 3 FOR DETAILS

NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

NO RETAINING WALLS OVER 11 FEET HIGH PROPOSED

# 3990

(PB.70/PG.87)  
(DB.64531/PG.504)

ALL DISTURBED AREAS

Ds1 Ds2 Ds3

PROPOSED PATIO TO BE ON PIERS  
POOL EQUIPMENT IS PROPOSED UNDER IT

OVERFLOW DISCHARGE POINT  
(MAINTAIN MIN. 10' FROM PROPERTY LINE)

PROPOSED 5' HIGH  
BLACK ALUMINUM FENCE  
POOL ENCLOSURE

RAIN GARDENS  
(SEE SHEET 4 FOR PLANTING & DETAILS)

PROPOSED PRIMARY  
SEPTIC DRAIN FIELD 363 LF  
(MINIMUM 363 LF)

PROPOSED RESERVE  
SEPTIC DRAIN FIELD 558.5 LF  
(MINIMUM 558.5 LF)

# 1891

(PB.70/PG.87)  
(DB.59936/PG.108)

MRPA					
CATEGORY	TOTAL AREA	PROP. DISTURBANCE	(% / MAX %)	PROP. IMPERVIOUS	(% / MAX %)
C	17,539.20 SF	755.95 SF	4.3% / 70%	0 SF	0% / 45%
D	25,261.50 SF	4,013.85 SF	15.9% / 50%	258.14 SF	1.02% / 30%
E	44,660.09 SF	9,742.40 SF	21.8% / 30%	5,472.45 SF	12.25% / 15%
TOTAL:	87, 460.79 SF	14,512.20 SF		5,730.59 SF	

EROSION CONTROL LEGEND	
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)
Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS.

RELEASED FOR CONSTRUCTION GRADING & EROSION CONTROL

PART OF LOT 4 BLOCK A

REBEL ROAD ESTATES SUBDIVISION SECTION UNIT I

LAND LOT 235 17TH DISTRICT SECTION

FULTON COUNTY, GEORGIA DB.35748/PG.354 PB.70/PG.87

FIELD WORK DATE MARCH 30, 2022 PRINTED/SIGNED DECEMBER 06, 2022

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"

SITE PLAN PREPARED FOR:

YOSI ISHAK

PROPERTY ADDRESS:

3968 PACES FERRY ROAD NW ATLANTA, GA 30327

24 LENOX POINT ATLANTA, GA 30324 TEL 404-601-0941 FAX 404-252-5747 INFO@SURVEYLANDPRESS.COM

REGISTERED LAND SURVEYOR

NO. 1197

RODNEY A. STEPHENS

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET, AN ANGULAR ERROR OF ONE SECOND PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 10,000 FEET. ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

AU

COORD #20220461

DWG #20220461 SP-7

SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES

REVISION 12/19/2023

REVISION 11/03/2023

REVISION 06/21/2023

REVISION 04/17/2023

PRIMARY DRAIN FIELD CALCULATIONS FOR LOT

TYPE OF SOIL: APPLING 25-50%; PERCOLATION RATE - 12-60 IN/60 MIN  
WATEREE 25-50%; PERCOLATION RATE - 6-48 IN/50 MIN  
(USE PERCOLATION RATE = 48 IN/60 MIN)  
ABSORPTION FIELD AREA PER BEDROOM IS 335 SQ. FT. FOR 48 IN/ 60 MIN PERCOLATION RATE  
THEREFORE, 111.7 LF. OF TRENCH DRAINS PER BEDROOM, ASSUMING WIDTH OF TRENCH IS 3 FT.  
NUMBER OF PROPOSED BEDROOMS = 5  
REQUIRED LENGTH OF PRIMARY TRENCH DRAINS FOR 5 BEDROOMS = 558.5 LF.  
PROPOSE USING AN INFILTRATOR QUICK4 PLUS HIGH CAPACITY CHAMBER SYSTEM THIS ALLOWS FOR 35% REDUCTION IN REQUIRED LENGTH OF PRIMARY TRENCH DRAINS = 558.5 x 0.65 = 363 LF.  
TOTAL LENGTH OF PRIMARY TRENCH DRAINS PROVIDED = 363 LF.

SECONDARY DRAIN FIELD CALCULATIONS FOR LOT

TYPE OF SOIL: APPLING 25-50%; PERCOLATION RATE - 12-60 IN/60 MIN  
WATEREE 25-50%; PERCOLATION RATE - 6-48 IN/50 MIN  
(USE PERCOLATION RATE = 48 IN/60 MIN)  
ABSORPTION FIELD AREA PER BEDROOM IS 335 SQ. FT. FOR 48 IN/ 60 MIN PERCOLATION RATE  
THEREFORE, 111.7 LF. OF TRENCH DRAINS PER BEDROOM, ASSUMING WIDTH OF TRENCH IS 3 FT.  
NUMBER OF PROPOSED BEDROOMS = 5  
REQUIRED LENGTH OF SECONDARY TRENCH DRAINS FOR 5 BEDROOMS = 558.5 LF.  
LENGTH OF SECONDARY TRENCH FIELD PROVIDED = 558.5 LF.

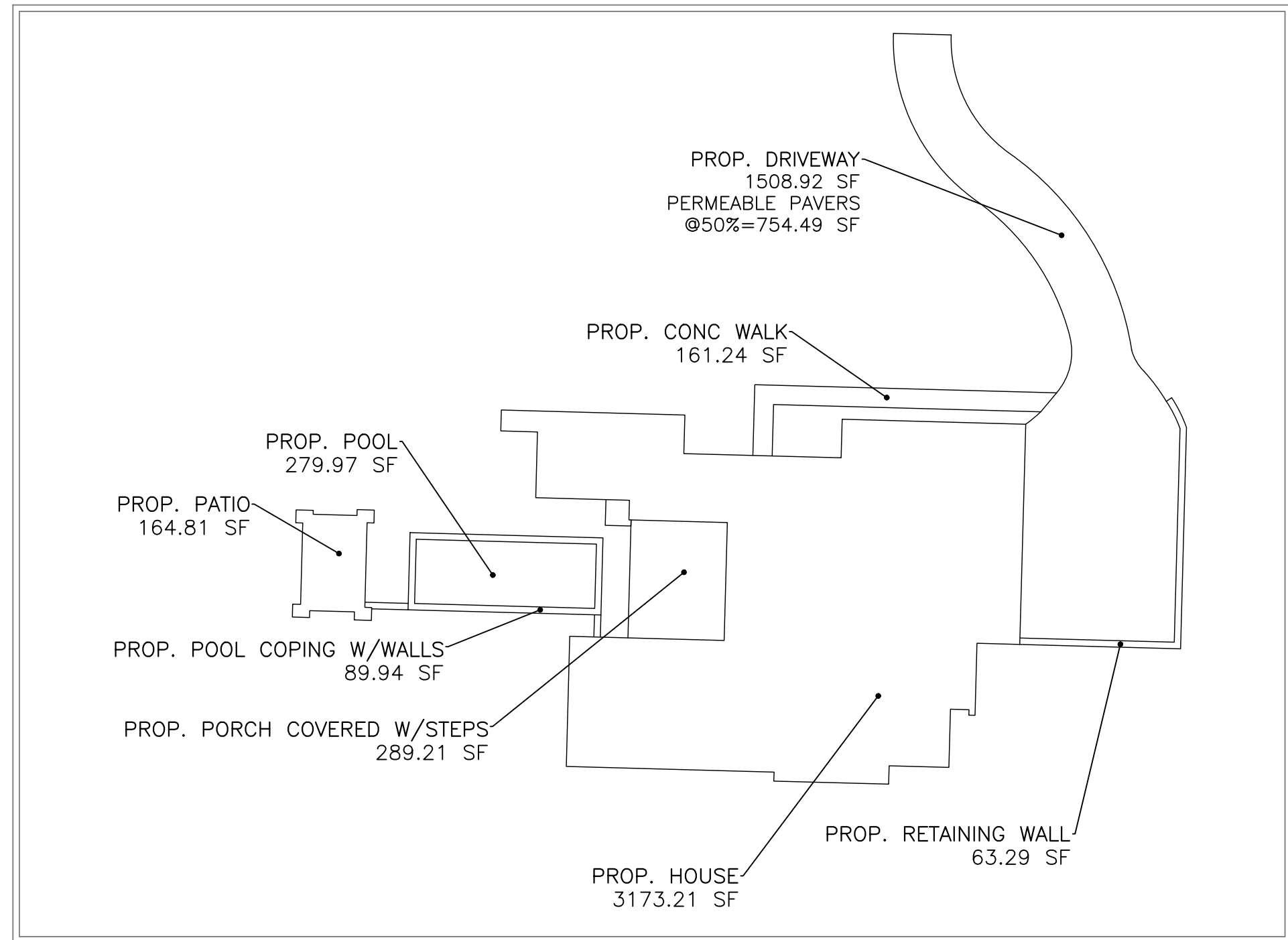
TOTAL LENGTH OF DRAIN FIELD REQUIRED FOR BOTH PRIMARY AND SECONDARY TRENCH DRAINS 363 + 558.5 = 921.5 LF.  
TOTAL LENGTH OF TRENCH DRAINS PROVIDED 363 + 558.5 = 921.5 LF.







## LOT COVERAGE AREA DETAILS



**LOT COVERAGE CALCULATION**

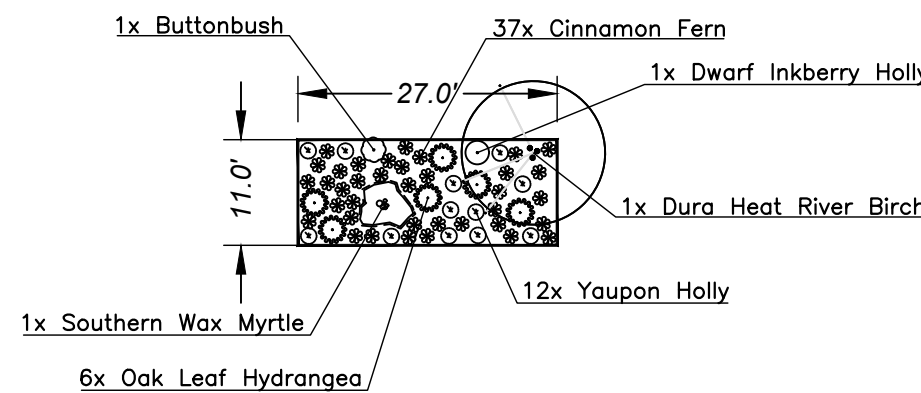
PROP. HOUSE:	3173.21 SF
PROP. CONC WALK:	161.24 SF
PROP. PORCH COVERED W/STEPS:	289.21 SF
PROP. POOL:	279.97 SF
PROP. POOL COPING W/WALLS:	89.94 SF
PROP. PATIO:	164.81 SF
PROP. DRIVEWAY (PERMEABLE PAVERS):	1508.92 SF
PROP. RETAINING WALL:	63.29 SF
<b>TOTAL:</b>	<b>5730.59 SF</b>

**PROPOSED IMPERVIOUS SURFACE**

PROP. HOUSE:	3173.21 SF
PROP. CONC WALK:	161.24 SF
PROP. PORCH COVERED W/STEPS:	289.21 SF
PROP. POOL:	279.97 SF
PROP. POOL COPING W/WALLS:	89.94 SF
PROP. PATIO:	164.81 SF
PROP. DRIVEWAY (PERMEABLE PAVERS):	754.49 SF
PROP. RETAINING WALL:	63.29 SF
<b>TOTAL:</b>	<b>4976.16 SF</b>

## GREEN INFRASTRUCTURE PLAN

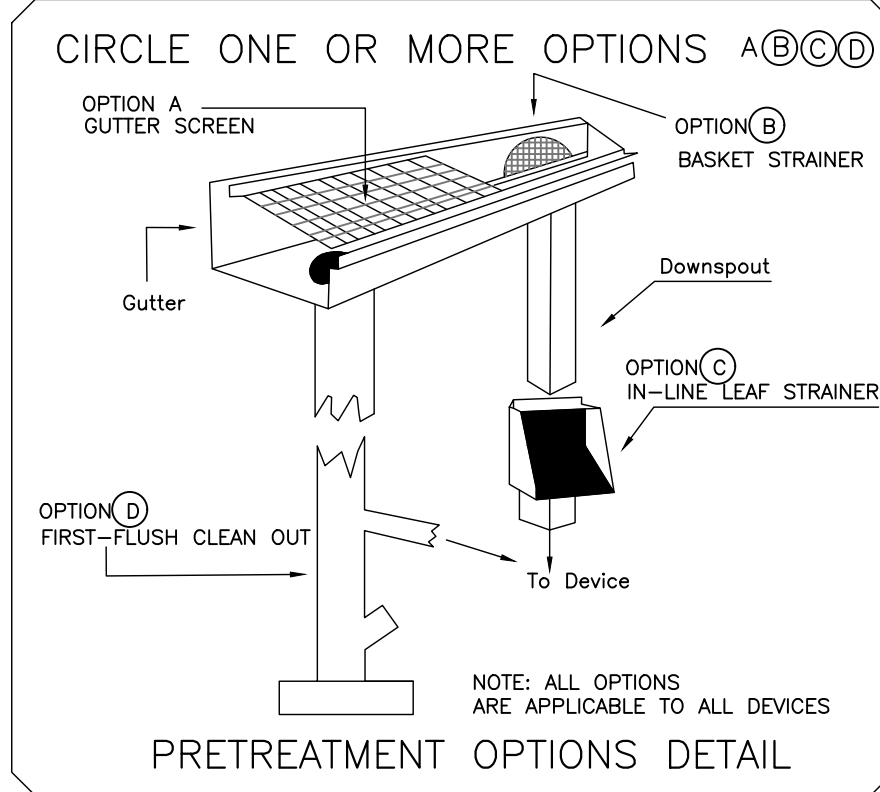
(289 SF TOTAL REQUIRED)  
220 SF PROPOSED



## PLANTS FOR RAIN GARDEN:

- 1 – Dura Heat River
- 1 – Southern Wax Myrtle
- 1 – Buttonbush
- 1 – Dwarf Inkberry Holly
- 12 – Yaupon Holly
- 6 – Oak Leaf Hydrangea
- 37 – Cinnamon Fern

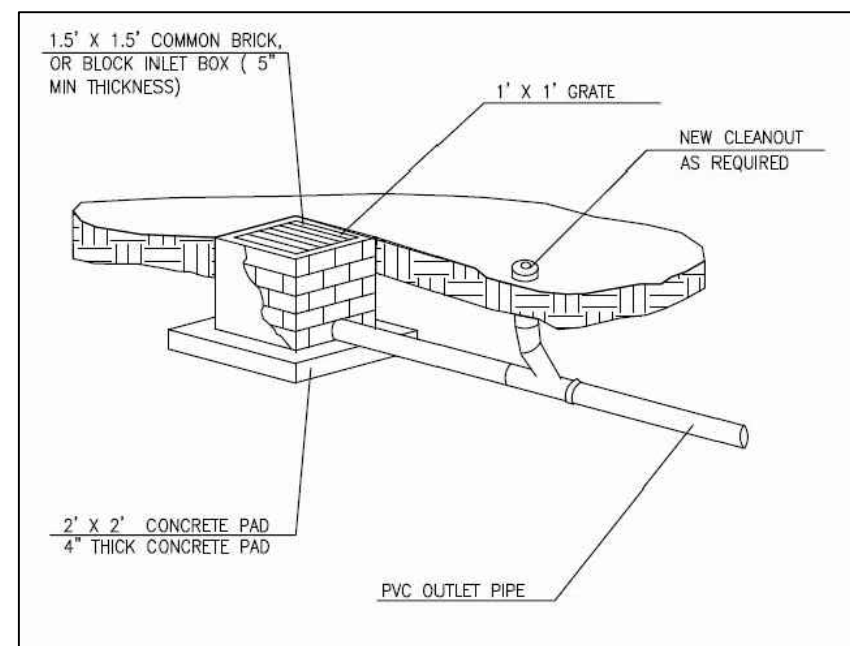
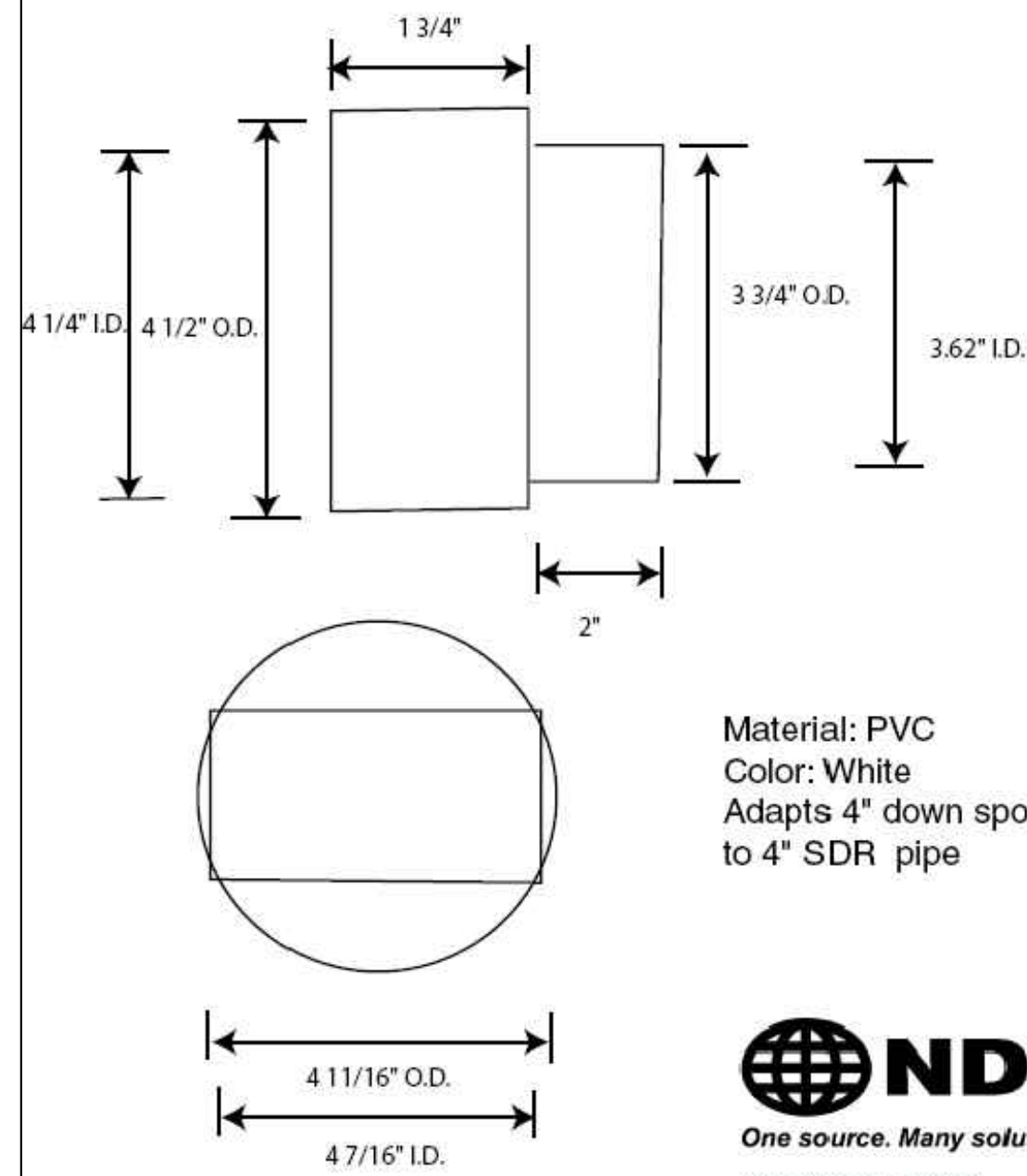
## CIRCLED ITEMS ARE REQUIRED



## BMP W.Q. DEVICE

NEW DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND WATER QUALITY DEVICES

## 9P06 Downspout Adapter



## WATER QUALITY DEVICE CONTRIBUTION DETAIL

TOTAL: 4,976.16 SF\*  
(\*AREAS CONTRIBUTING TO WQDs)

## SIZING CALCULATION:

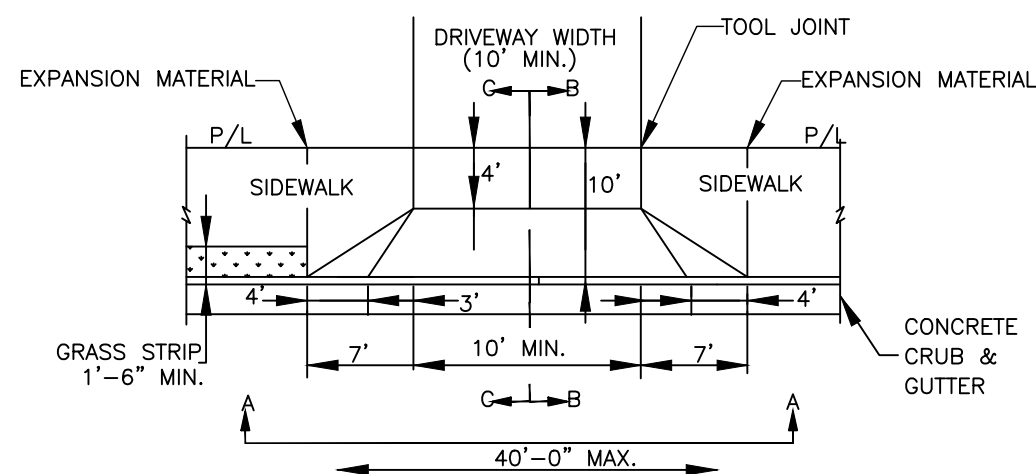
Contributing Drainage Area (square feet)	Depth of Amended Soil (inches)			
	18	24	30	36
	Area of Rain Garden (square feet)			
100	6.6	5.7	5.1	4.6
500	35	30	25	23
1000	65	60	50	45
2000	135	115	100	90
3000	200	170	150	140
4000	260	230	200	185
5000	330	290	255	230

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

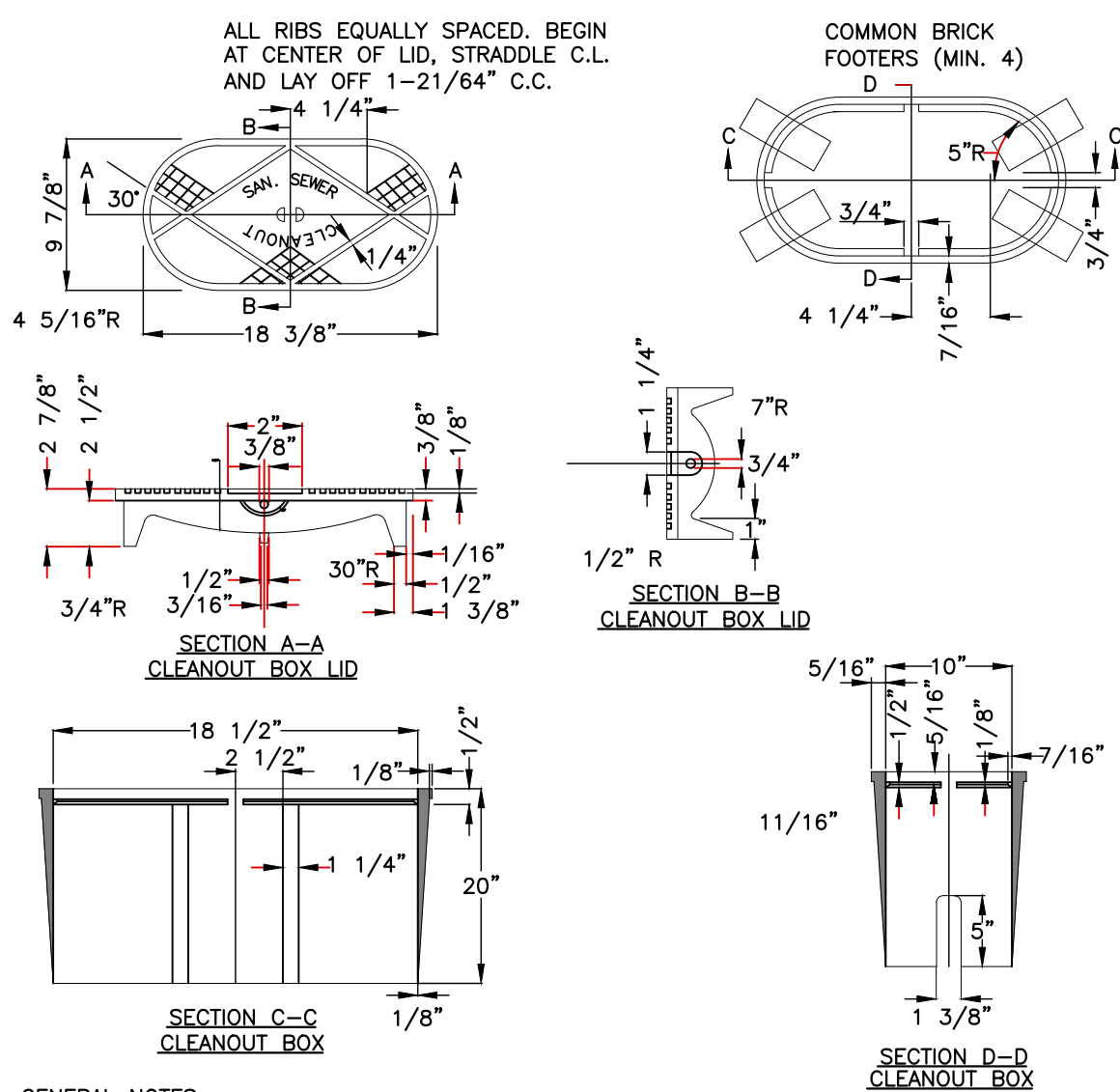
CONTRIBUTING DRAINAGE AREA= **4,976.16** SQ FT  
DEPTH OF SOIL MEDIA= **24** INCHES  
AREA OF RAIN GARDEN= **290** SQ FT TOTAL

[(4,976.16/5,000)x290=289] REQUIRED RATIO

## STANDARD DRIVEWAY WITH CURB AND GUTTER STANDARD DRIVEWAY DETAILS (NOT TO SCALE)



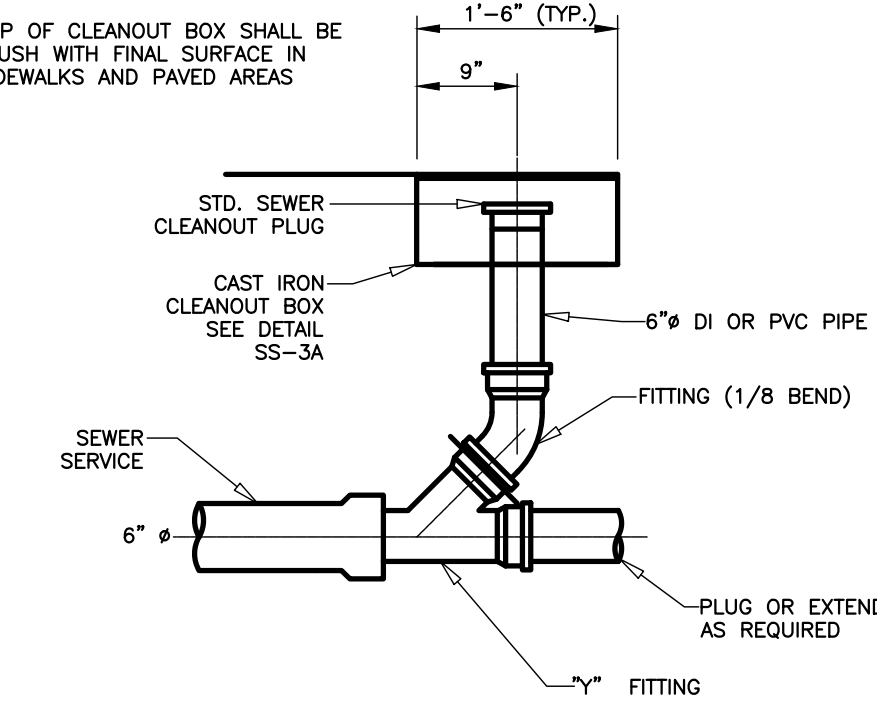
## SANITARY CLEANOUT BOX (NOT TO SCALE)



## GENERAL NOTES:

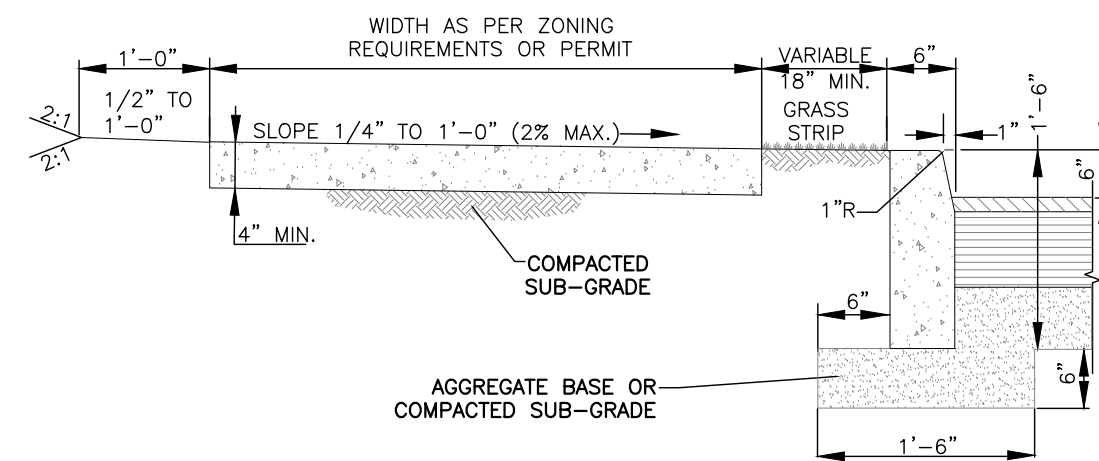
- UNLESS NOTED OTHERWISE, CAST IRON SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A48 LATEST REVISION FOR CLASS 20 GREY IRON CASTINGS.
- CASTINGS SHALL BE TRUE AND FREE OF HOLES. THEY SHALL BE CLEANED ACCORDING TO GOOD FOUNDRY PRACTICE, CHIPPED AND GROUND AS NEEDED TO REMOVE FINIS AND ROUGH PLACES.
- FINISHED CASTINGS SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR PITCH VARNISH AS INDICATED IN A.W.W.A. SPECIFICATIONS C110, LATEST REVISION. COATING MAY BE APPLIED COLD AND SHALL BE SMOOTH, GLOSSY, NOT BRITTLE WHEN COLD, NOT STICKY WHEN EXPOSED TO THE SUN, AND SHALL ADHERE TO THE METAL AT ALL TEMPERATURES.
- WHEN COATING IS COMPLETE, LID SHALL FIT SNUGLY WITHOUT ROCKING.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.



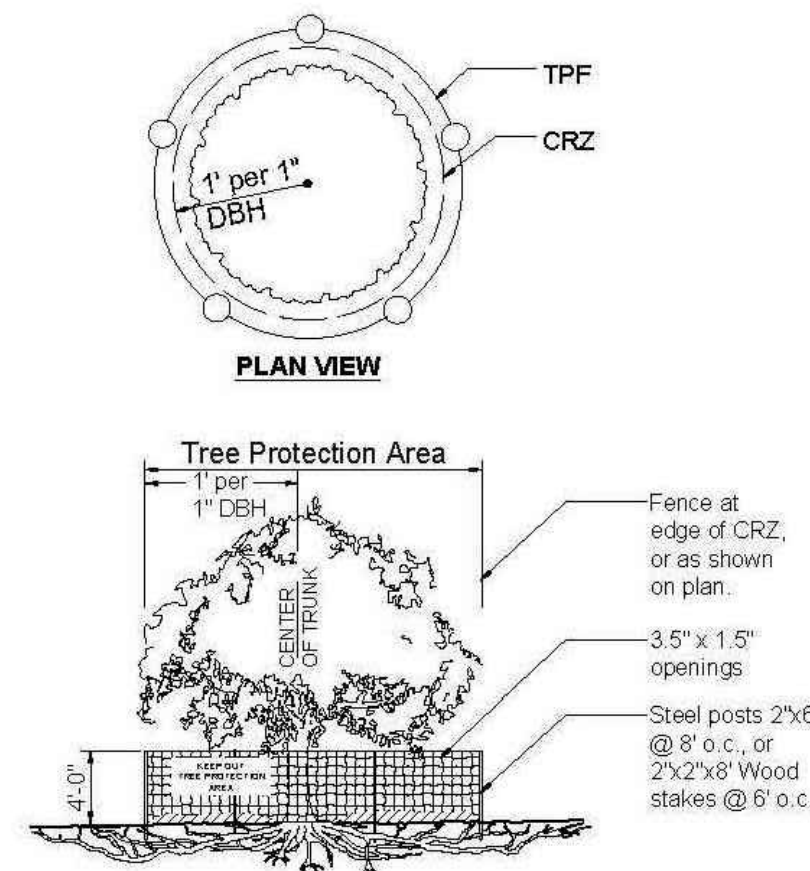
## STANDARD SANITARY CLEANOUT DETAIL (NOT TO SCALE)

## CONCRETE SIDEWALK AND CONCRETE HEADER CURB (NOT TO SCALE)



## NOTES:

- SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET.
- CONCRETE SHALL BE TYPE "A" 3,000 P.S.I. MIN. STRENGTH.
- EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDEWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A DRIVEWAY APRON AND NOT MORE THAN 100 FEET APART.
- PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK.
- ALL CONCRETE WORK SHALL BE PER CITY OF ATLANTA STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- NEITHER WIRE MESH NOR REBAR CAN BE USED IN THE R/W



## Notes:

- No construction activity w/in CRZ, including no storing or stacking materials. Under no circumstances should the fence be trampled in.
- Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.



**STANDARD DETAILS**  
**TREE PROTECTION-ORANGE PLASTIC FENCE**

REV. DATE: JUNE 2017  
SCALE: N.T.S.  
DETAIL NO. A-3

## RELEASED FOR CONSTRUCTION

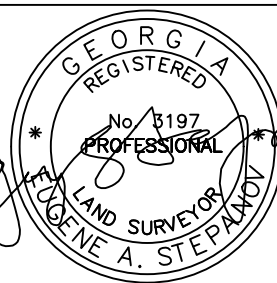
PART OF LOT 4	BLOCK A	SECTION	UNIT I
REBEL ROAD ESTATES SUBDIVISION	SECTION	UNIT I	
LAND LOT 235	17TH DISTRICT	SECTION	
FULTON COUNTY, GEORGIA	DB.35748/PG.354	PB.70/PG.87	
FIELD WORK DATE MARCH 30, 2022	PRINTED/SIGNED DECEMBER 06, 2022		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"		

## STORMWATER MANAGEMENT

SITE PLAN PREPARED FOR: SHEET 4 OF 5

**YOSI ISHAK**

PROPERTY ADDRESS:  
3968 PACES FERRY ROAD NW  
ATLANTA, GA 30327

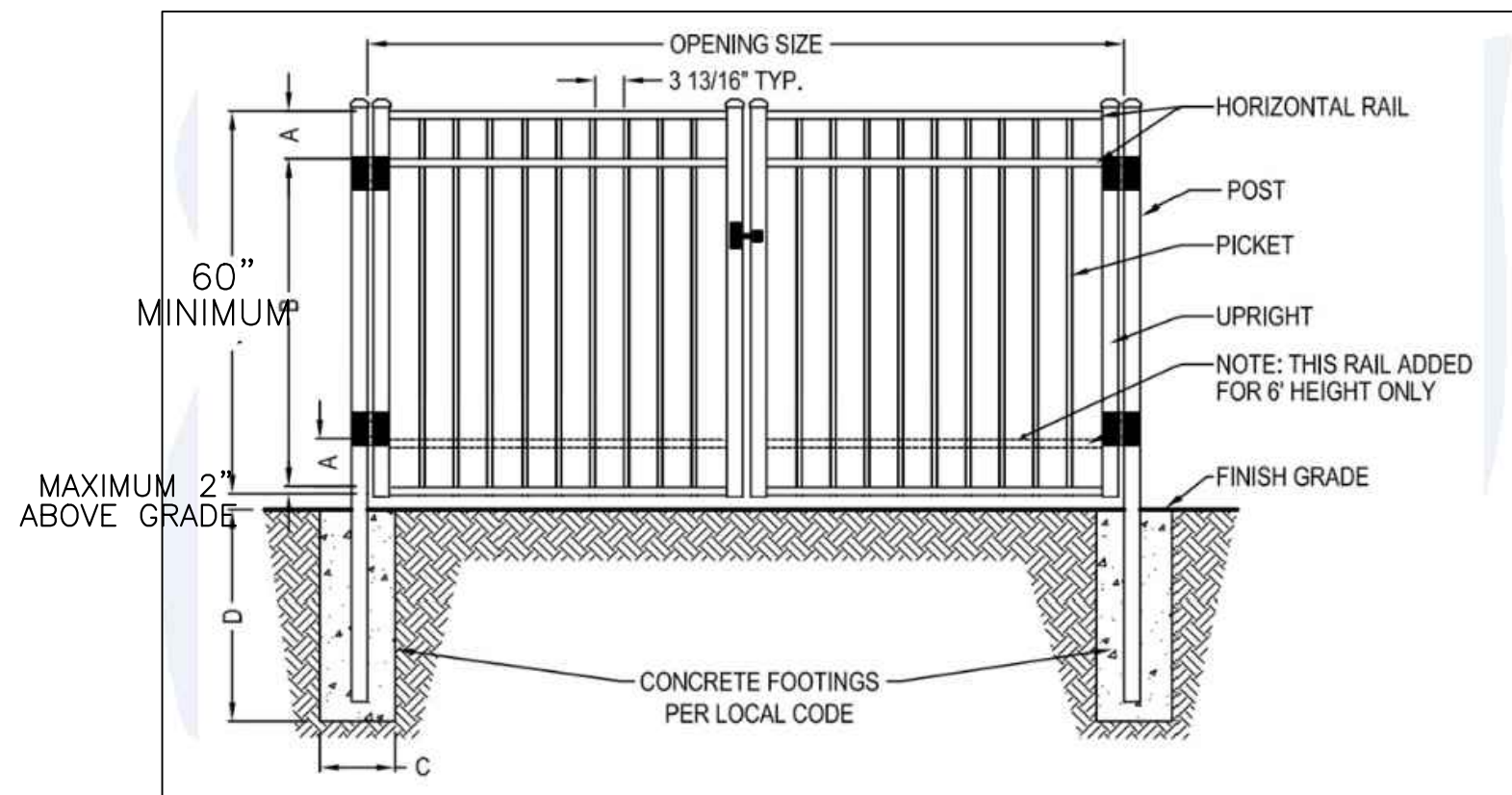


THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100 CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

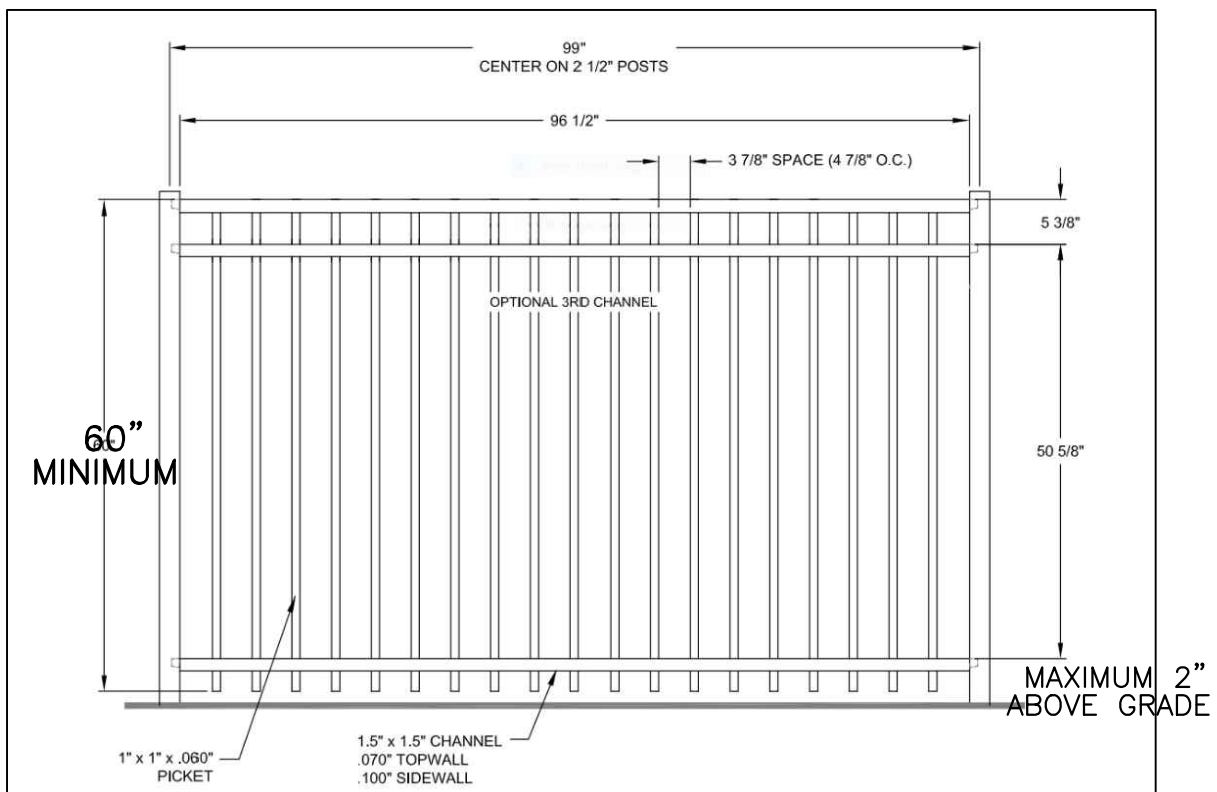
24 LENOX POINTE  
ATLANTA, GA 30324  
FAX 404-601-0941  
TEL 404-252-5747  
INFO@SURVEYLANDEXPRESS.COM

**SURVEY LAND EXPRESS, INC**  
LAND SURVEYING SERVICES





PROPOSED BLACK ALUMINUM GATE DETAIL



PROPOSED BLACK ALUMINUM FENCE DETAIL

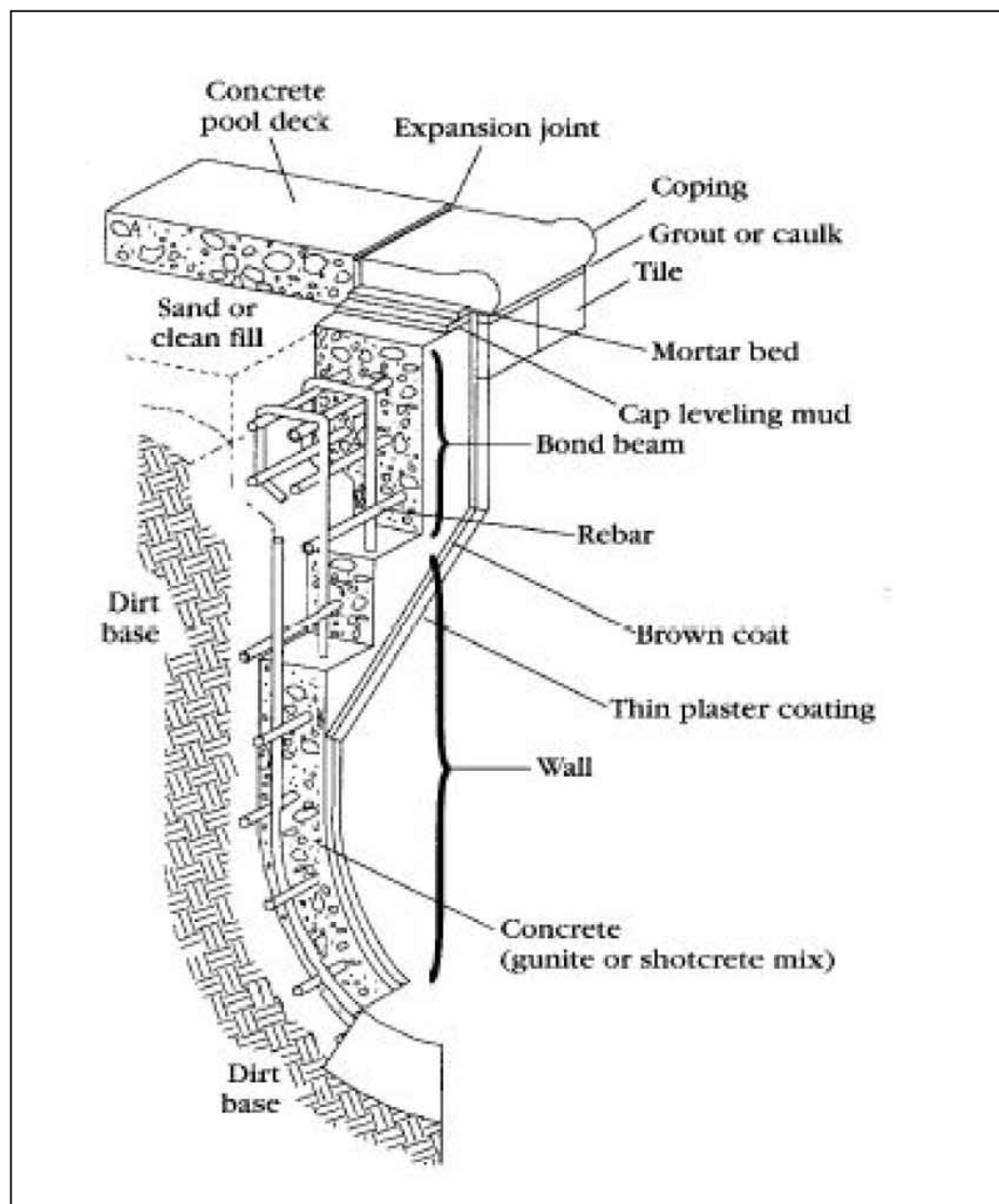
#### POOL NOTES:

1. FENCE AND WALL FOOTINGS MUST BE ENTIRELY CONTAINED WITHIN THE PROPERTY AND CANNOT ENCROACH ONTO A PROPERTY LINE.
2. POOL FENCE WILL NOT HAVE A "LADDER" EFFECT THAT COULD AID IN UNAUTHORIZED CLIMBING.
3. POOL FENCES MUST INCLUDE AT LEAST ONE GATED EXIT WITH A MINIMUM WIDTH OF 36" WIDE. THIS EXIT MUST OPEN OUTWARD (AWAY FROM POOL) AND BE SELF-CLOSING AND SELF-LATCHING.
4. THE MINIMUM HEIGHT OF THE FENCE MUST BE FIVE (5) FEET.
5. THE POOL ENCLOSURE ENTRANCE (GATE) SHALL BE LOCKED WHEN POOL IS NOT IN USE.
6. FOR ALL CASES WHERE A BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERIMETER, ALL DOORS ON THE BUILDING(S) WHICH HAVE DIRECT ACCESS TO THE POOL AREA MUST BE EQUIPPED WITH AN AUDIBLE ALARM ACTIVATED BY OPENING THE DOOR(S).
7. THE POOL IS NOT CONNECTED TO THE MAIN WATER LINE AND IS TO BE FILLED BY HOSE. A BACKFLOW PREVENTOR IS TO BE PROVIDED ON THE HOSE BIB.

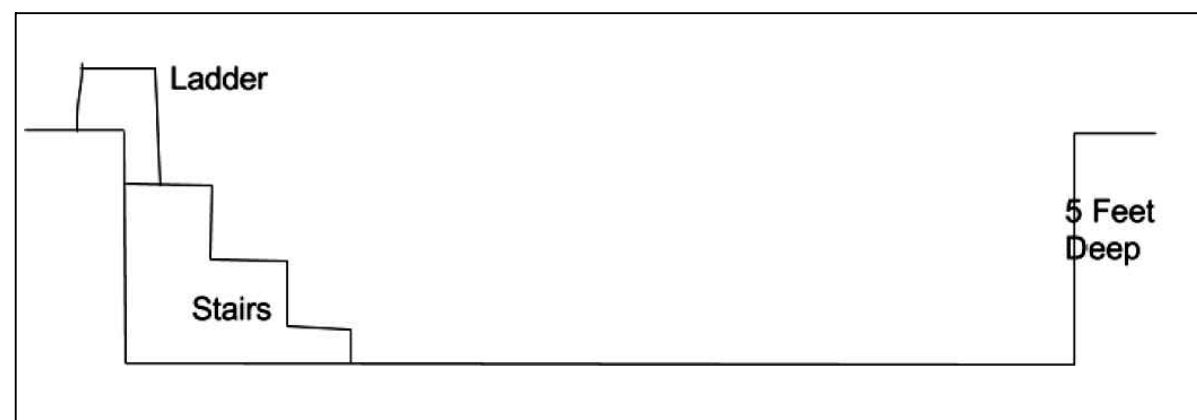


#### PROPOSED POOL MANUFACTURING SPECS

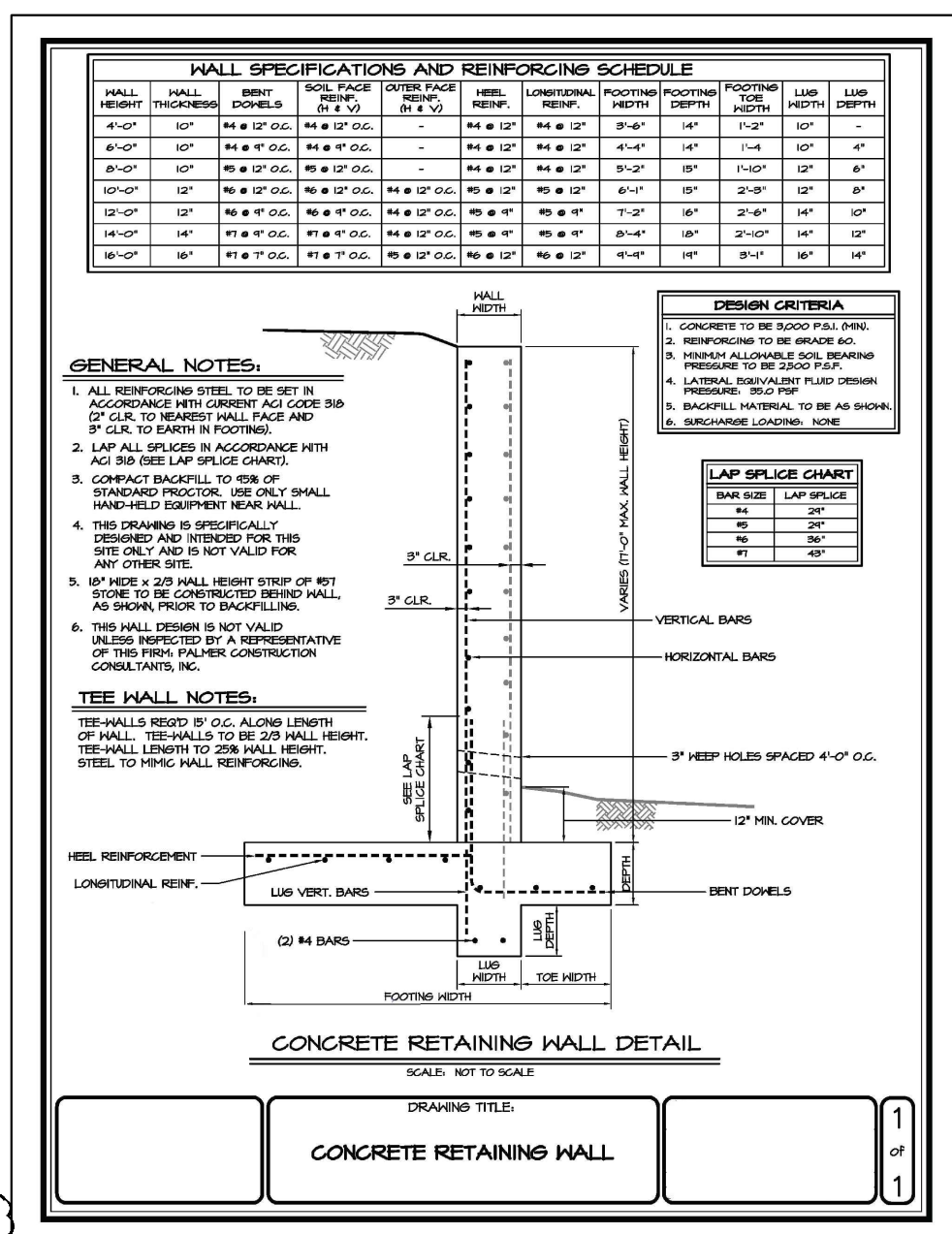
- A SUPER PUMP WITH A FAN FILTER
- PENTAIR EQUIPMENT
- 1 HORSEPOWER SUPERFLOW FOR THE PUMP AND AN SD60
- T104 TIMER
- 2 SKIMMERS
- 2 RETURNS
- 2 MAIN DRAINS.



POOL WALL SECTION



POOL CROSS SECTION



#### APPLICABLE SWIMMING POOL CONSTRUCTION CODES:

##### IRC appendix G and ISPSC 2012; COA

- MINIMUM THICKNESS OF WALL 3 1/2", WITH #3 BARS @ 12" O.C. EW. MORE THAN 8 FEET DEEP POOL REQUIRE TO DESIGN BY ENGINEER.

##### International Swimming Pool & Spa Code - Section 306 DECKS 306.2 Slip resistant

- DECKS, RAMPS, COPING, AND SIMILAR STEP SURFACES SHALL BE SLIP-RESISTANT AND CLEANABLE. SPECIAL FEATURES IN OR ON DECKS SUCH AS MARKERS, BRAND INSIGNIAS, AND SIMILAR MATERIALS SHALL BE SLIP-RESISTANT.

##### International Swimming Pool & Spa Code - Section 811 SAFETY FEATURES

###### 811.1 Rope & Float

- IN POOLS WHERE THE POINT OF FIRST SLOPE BREAK OCCURS, A ROPE AND FLOAT ASSEMBLY SHALL BE INSTALLED ACROSS THE WIDTH OF THE POOL. THE ROPE ASSEMBLY SHALL BE LOCATED NOT LESS THAN 1 FOOT AND NOT GREATER THAN 2 FEET TOWARDS THE SHALLOW SIDE OF THE SLOPE BREAK. ROPE ANCHORING DEVICES SHALL BE PERMANENTLY ATTACHED TO THE POOL WALL, COPING OR DECK. ROPE ENDS SHALL ATTACH TO THE ROPE ANCHOR DEVICES SO THAT THE ROPE ENDS CAN BE DISCONNECTED FROM THE ROPE ANCHOR DEVICE.

##### International Swimming Pool & Spa Code - Section 810 CIRCULATION SYSTEMS

###### 810.3 Strainer Required

- PRESSURE FILTER SYSTEMS SHALL BE PROVIDED WITH A STRAINER LOCATED BETWEEN THE POOL AND THE CIRCULATION PUMP.

##### International Swimming Pool & Spa Code - Section 303 ENERGY

###### 303.3 Time Switches

- TIME SWITCHES OR OTHER CONTROL METHODS THAT CAN AUTOMATICALLY TURN OFF AND ON HEATERS AND PUMPS ACCORDING TO A PRESET SCHEDULE SHALL BE INSTALLED ON ALL HEATERS AND PUMPS.

##### International Swimming Pool & Spa Code - Section 303 ENERGY

###### 303.4 Covers

- HEATED POOLS AND INGROUND PERMANENTLY INSTALLED SPA SHALL BE PROVIDED WITH A VAPOR RETARDANT COVER. EXCEPTION: WHERE MORE THAN 70 PERCENT OF THE ENERGY FOR HEATING, COMPUTED OVER AN OPERATING SEASON, IS FROM SITE-RECOVERED ENERGY SUCH AS FROM A HEAT PUMP OR SOLAR ENERGY SOURCE.

#### IRC appendix G and ISPSC

- Physical barrier between the occupants and the aquatic vessel shall per following:
  - (a) Barrier shall be at least 4"-0" height. Opening of barrier shall not allow 4" sphere.
  - (b) Doors or operable windows with a sill height 48" or less shall have means of protection; such as: self-closing doors with self-latching devices.
  - (c) Doors or operable windows with a sill height 48" or less shall have an alarm.
  - (d) Maximum mesh size for chain link fences shall be a 2 1/4" square.

#### ISPSC 310

##### 303.1 General

- SUCTION ENTRAPMENT AVOIDANCE FOR AQUATIC VESSELS SHALL BE PROVIDED IN ACCORDANCE WITH APSP 7.

##### IRC Section E4204 Bonding

- THE EQUIPOTENTIAL BONDING REQUIRED BY THIS SECTION SHALL BE INSTALLED TO REDUCE VOLTAGE GRADIENTS IN THE POOL AREA AS PRESCRIBED.

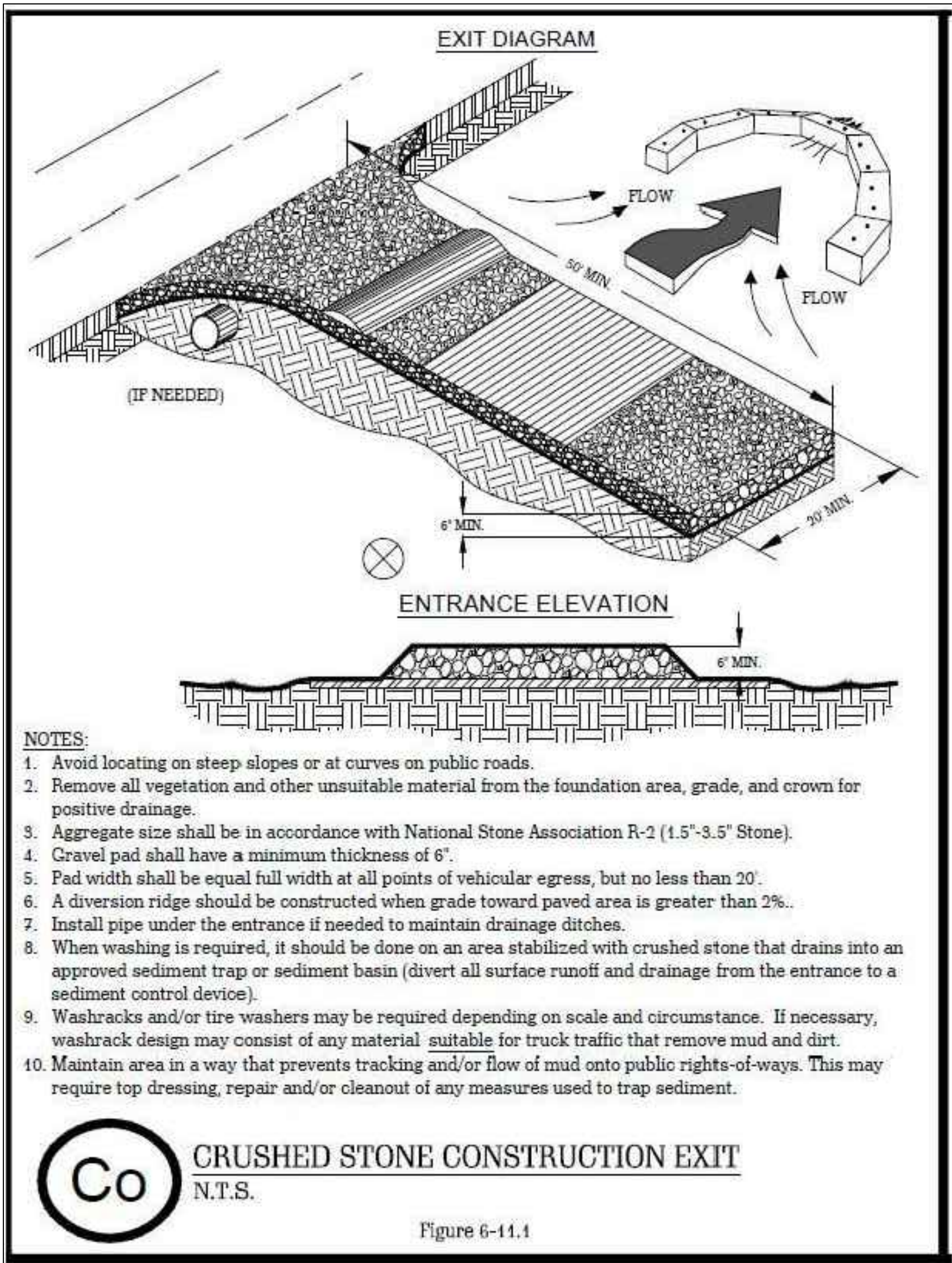
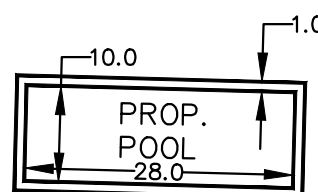
##### 809.3 Secondary entries and exits.

- WHERE WATER DEPTH IN THE DEEP AREA OF A POOL EXCEEDS 5 FEET (1524 MM), A MEANS OF ENTRY AND EXIT AS INDICATED IN SECTION 809.2 SHALL BE PROVIDED IN THE DEEP AREA OF THE POOL.
- EXCEPTION: WHERE THE REQUIRED PLACEMENT OF A MEANS OF EXIT FROM THE DEEP END OF A POOL WOULD PRESENT A POTENTIAL HAZARD, HANDHOLDS SHALL BE PROVIDED AS AN ALTERNATIVE FOR THE MEANS OF EXIT.

#### THE FOLLOWING ITEMS REQUIRED FOR POOL:

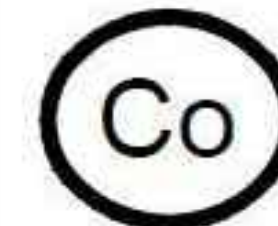
1. SLIP-RESISTANT DECK AROUND POOL AND SPA.
2. WALL-ANCHORED FLOATING ROPE ACROSS SLOPE BREAK.
3. STRAINER(S) WITH SUCTION ENTRAPMENT PROTECTION DEVICES IN ACCORD WITH APSP 7.
4. PUMP(S) TO BE ON AUTOMATIC TIMERS (SEE MANUFACTURER'S SPECS).
5. VAPOR-RETARDANT COVER FOR POOL SURFACE.
6. MINIMUM THICKNESS OF WALL SHALL BE 3 1/2", WITH #3 BARS @ 12" O.C.

#### SWIMMING POOL PLAN



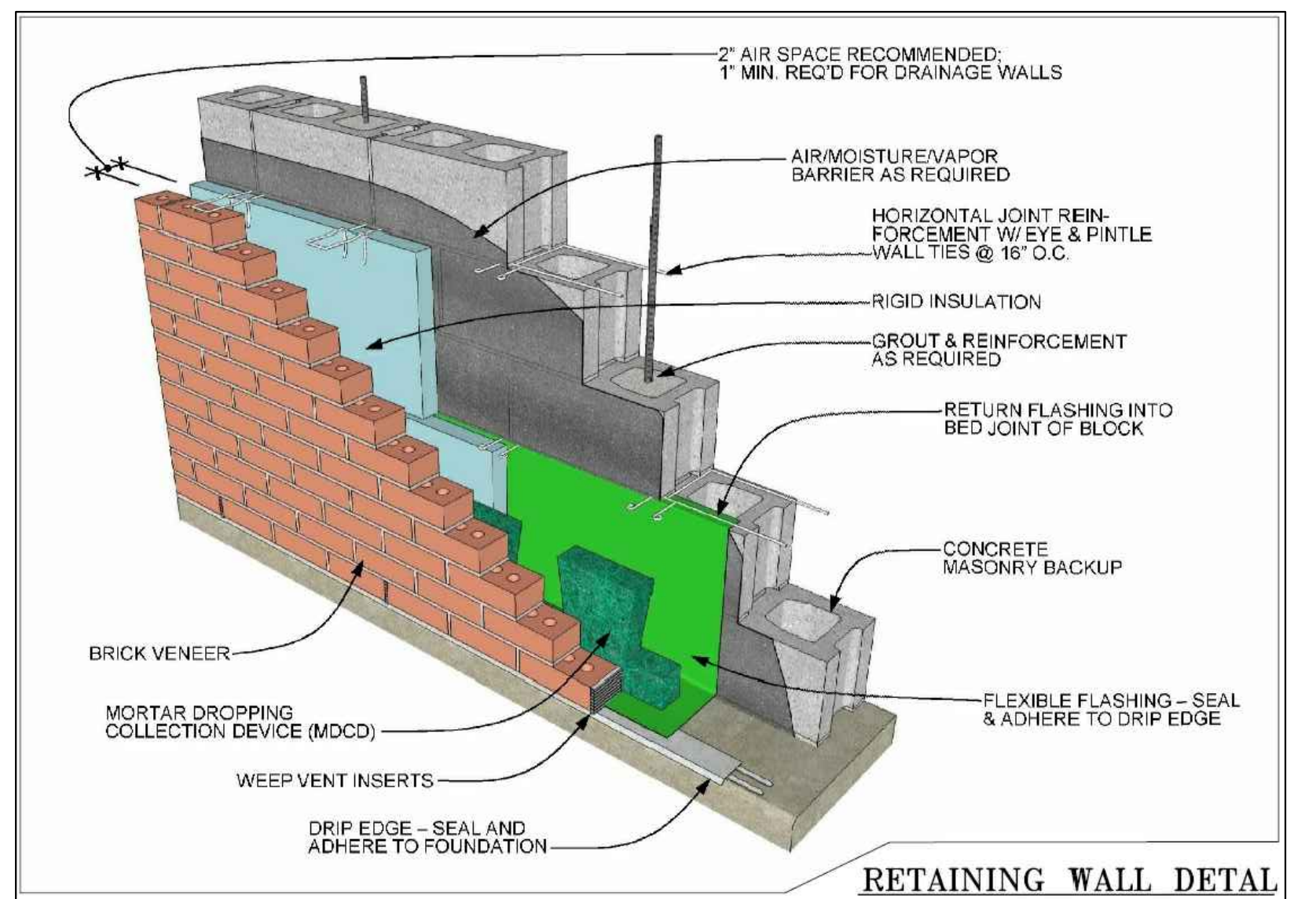
#### NOTES:

1. Avoid locating on steep slopes or at curves on public roads.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
4. Gravel pad shall have a minimum thickness of 6".
5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
6. A diversion ridge should be constructed when grade toward paved area is greater than 2%.
7. Install pipe under the entrance if needed to maintain drainage ditches.
8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
9. Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanup of any measures used to trap sediment.



CRUSHED STONE CONSTRUCTION EXIT  
N.T.S.

Figure 6-11.1



#### RELEASED FOR CONSTRUCTION

#### DETAILS

PART OF LOT 4	BLOCK A	SECTION	UNIT I
REBEL ROAD ESTATES SUBDIVISION	SECTION	UNIT I	
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REVISION 12/19/2023  
REVISION 11/03/2023  
REVISION 06/21/2023  
REVISION 04/17/2023

SHEET 5 OF 5

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SURVEY LAND EXPRESS, INC  
LAND SURVEYING SERVICES

GEORGIA REGISTERED  
No. 8197  
Professional  
Surveyor  
JOSEPH A. STEPHAN

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