

DATE: AUGUST 29, 2023

**TO:** Mayor Andre Dickens, City of Atlanta  
**ATTN TO:** Keyetta Holmes, Director Office of Zoning and Development, City of Atlanta  
**FROM:** Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

**Name of Proposal:** 2323 Paul Avenue NW MRPA RC-23-08A  
**MRPA Code:** RC-23-08A

**Description:** A Metropolitan River Protection Act review of a project to construct an addition to an existing home on a .5 acre (21,754 SF) site wholly within the Chattahoochee River Corridor at 2323 Paul Avenue NW in the City of Atlanta. The project will include a new master bedroom suite, kitchen, and covered porch. The proposed disturbed area of 10,877 SF and impervious area of 6,526 SF are within allowed limits.

**Preliminary Finding:** ARC staff have initiated a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

**Submitting Local Government:** City of Atlanta  
**Date Opened:** August 29, 2023  
**Deadline for Comments:** September 8, 2023

**THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:**

ATLANTA REGIONAL COMMISSION  
NATIONAL PARK SERVICE  
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE  
GEORGIA CONSERVANCY  
HISTORIC RIVER LINE

CHATTAHOOCHEE RIVERKEEPER  
CITY OF SMYRNA

Please submit comments via email to [dschokey@atlantaregional.org](mailto:dschokey@atlantaregional.org). For questions, please contact Donald Shockey at [dschokey@atlantaregional.org](mailto:dschokey@atlantaregional.org) or (470) 378-1531. If no comments are received, ARC will assume your agency has no input on the subject plan. For more information visit the ARC review website at: <http://www.atlantaregional.org/land-use/planreviews>.

**Review materials are attached.**



# APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: CITY OF ATLANTA
  
2. Owner(s) of Record of Property to be Reviewed:
 

Name(s): DONALD J. THOMAS III AND LAUREN THOMAS

Mailing Address: 2323 PAUL AVE. NW

City: ATLANTA State: GA Zip: 30318

Contact Phone Numbers (w/Area Code):

Daytime Phone: 404-625-9567 Fax: \_\_\_\_\_

Other Numbers: 770-880-8250
  
3. Applicant(s) or Applicant's Agent(s):
 

Name(s): LAUREN THOMAS

Mailing Address: 2323 PAUL AVE. NW

City: ATLANTA State: GA Zip: 30318

Contact Phone Numbers (w/Area Code):

Daytime Phone: 404-625-9567 Fax: \_\_\_\_\_

Other Numbers: 770-880-8250
  
4. Proposed Land or Water Use:
 

Name of Development: THOMAS HOUSE EXPANSION

Description of Proposed Use: RESIDENTIAL ADDITION - HOUSE BEING EXPANDED TO THE BACK
  
5. Property Description (Attach Legal Description and Vicinity Map):
 

Land Lot(s), District, Section, County: LL-253 LD-17 - FULTON COUNTY

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: \_\_\_\_\_

2323 PAUL AVE NW, ATLANTA GA 30318; 204' TO BERNARD RD.

Size of Development (Use as Applicable):

Acres:	Inside Corridor:	<u>0.4994 ACRES</u>
	Outside Corridor:	_____
	Total:	<u>0.4994 ACRES</u>
Lots:	Inside Corridor:	<u>1</u>
	Outside Corridor:	_____
	Total:	<u>1</u>
Units:	Inside Corridor:	<u>1</u>
	Outside Corridor:	_____
	Total:	<u>1</u>

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor: \_\_\_\_\_

Outside Corridor: \_\_\_\_\_

Total: \_\_\_\_\_



**6. Related Chattahoochee Corridor Development:**

- A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: \_\_\_\_\_

- B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): \_\_\_\_\_

**7. How Will Sewage from this Development be Treated?**

- A. Septic tank \_\_\_\_\_

**Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.**

- B. Public sewer system YES, CITY OF ATLANTA

**8. Summary of Vulnerability Analysis of Proposed Land or Water Use:**

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	<u>21,754SF</u>	<u>10,877SF</u>	<u>6526.2 SF</u>	(50) <u>50</u>	(30) <u>30</u>
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
<b>Total:</b>	_____	_____	_____	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO

If "yes", indicate the 100-year floodplain elevation: \_\_\_\_\_

**NOTE:** The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

**NOTE:** All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO

If "yes", indicate the 500-year flood plain elevation: \_\_\_\_\_

**NOTE:** The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

**NOTE:** Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

**FOR ALL APPLICATIONS:**

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

X Existing vegetation plan.

X Proposed grading plan.

X Certified as-builts of all existing land disturbance and impervious surfaces.

X Approved erosion control plan.

X Detailed table of land-disturbing activities. (Both on this form and on the plans)



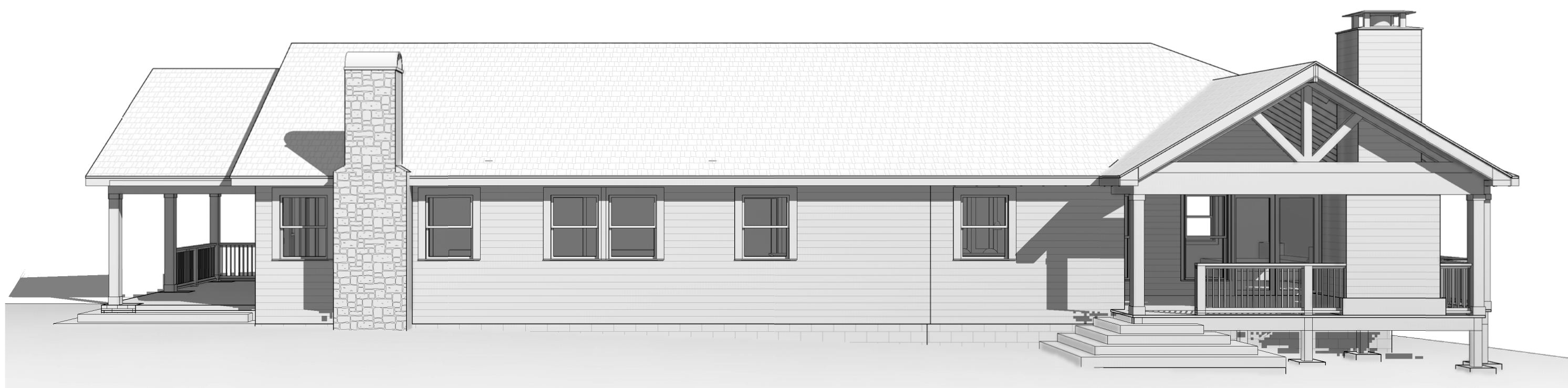


# THOMAS HOUSE EXPANSION

## 2323 PAUL AVE NW

## ATLANTA, GA 30318

PERMIT SET



### SCOPE OF WORK:

EXISTING SINGLE STORY HOME IS BEING EXPANDED TO THE BACK.

#### DRAWING INDEX

SHEET NO.	SHEET NAME	CURRENT REVISION DATE	CURRENT REVISION DESCRIPTION
A0.00	COVER SHEET	06/30/23	PERMIT V1
A0.10	SURVEY	06/30/23	PERMIT V1
A1.00	SITE PLAN	06/30/23	PERMIT V1
A2.10	EXISTING PLANS & ELEVATIONS	06/30/23	PERMIT V1
A2.11	FLOOR PLAN & RCP	06/30/23	PERMIT V1
A2.21	ROOF PLAN	06/30/23	PERMIT V1
A2.31	FRAMING DIAGRAM	06/30/23	PERMIT V1
A2.33	ROOF FRAMING DIAGRAM	06/30/23	PERMIT V1
A3.10	SECTIONS	06/30/23	PERMIT V1
A4.10	EXTERIOR ELEVATIONS	06/30/23	PERMIT V1

MRPA-23-013



### GENERAL NOTES:

#### A. GENERAL NOTES:

1. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING THE SAFETY OF PERSONS, PROPERTY, AND FOR NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS, AND FOR COMPLIANCE WITH O.S.H.A. SAFETY STANDARDS. ARCHITECTS AND THEIR CONSULTANTS' JOB SITE OBSERVATIONS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
2. EACH CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH SPECIFIED PRODUCTS RELATING TO THEIR WORK. THEY ARE TO SUBMIT WRITTEN OBJECTIONS PRIOR TO BIDDING. IF THE CONTRACTOR HAS AN OBJECTION TO ANY PRODUCT AND / OR DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS.
3. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS. WORK THAT COULD BE EFFECTED BY THE DISCREPANCY SHALL BE HELD UNTIL SUCH DISCREPANCIES ARE RESOLVED. CONTRACTOR TO ALERT ARCHITECT IF SCHEDULE OR SEQUENCING MAY BE AFFECTED BY REVIEW AND TO EXPEDITE COORDINATION WHERE NECESSARY TO AVOID SCHEDULE CONFLICTS.
4. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, AND MECHANICAL.
5. SEPARATE PERMITS, WHEN REQUIRED AND / OR ARE DESIGN-BUILD, SHALL BE OBTAINED BY THE CONTRACTOR FOR MECHANICAL, PLUMBING, ELECTRICAL, FIRE ALARM AND FIRE SPRINKLER. DESCRIPTIVE, DETAILED DESIGN AND SUPPLEMENTAL DOCUMENTS SHALL BE PROVIDED FOR REVIEW BY THE AUTHORITY HAVING JURISDICTION AND BY THE OWNER / ARCHITECT FOR APPROVAL PRIOR TO WORK BEING PERFORMED
6. DO NOT SCALE DRAWINGS.
7. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
8. WORK DONE SHALL BE IN CONFORMANCE WITH THE APPROVED PLANS AND PROJECT SPECIFICATIONS. THE APPROVED, PERMITTED, STAMPED PLANS ARE TO REMAIN ON SITE AT ALL TIMES.
9. WHEN CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK. IF QUESTIONS CAN NOT BE RESOLVED IN THIS MANNER, CONTACT THE ARCHITECT PRIOR TO PROCEEDING.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY THROUGHOUT CONSTRUCTION.

#### B. DEFINITIONS:

1. "TYPICAL" OR "TYP." INDICATES IDENTICAL COMPLETE SYSTEM, ASSEMBLY OR COMPONENT SHALL BE PROVIDED FOR EACH OCCURANCE OF THE CONDITION NOTED.
4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, LEVEL, AND/OR PLUMB RELATION TO ADJACENT SURFACES.

### APPLICABLE CODES:

#### CONSTRUCTION CODES

THE FOLLOWING WILL BE THE STATE OF GEORGIA'S MINIMUM STANDARD CONSTRUCTION CODES:

- INTERNATIONAL BUILDING CODE,
  - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE,
  - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE,
  - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL PLUMBING CODE,
  - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE,
  - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE,
  - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE CODE,
  - 2017 EDITION, WITH NO GEORGIA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE,
  - 2015 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NFPA101,
  - LIFE SAFETY CODE 2018 EDITION, WITH STATE AMENDMENTS (2020)

### PROPERTY IS ZONED R-4A CITY OF ATLANTA:

2323 PAUL AVE NW, ATLANTA, GA 30318

#### BUILDING SETBACKS:

FRONT: 30'  
SIDE: 7'  
BACK: 15'

MAXIMUM LOT COVERAGE: 55%  
MAXIMUM BUILDING HEIGHT: 35'

### FAR CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED CONDITIONS:  
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

EXISTING GROUND FLOOR SQ. FOOTAGE.....1,358  
ADDITIONAL SQ. FOOTAGE.....778

TOTAL PROPOSED COMPLETE SQ. FOOTAGE .....2,136 SQ. FT.

FAR = (2,136)/(21,754) = 9.8%

BUILDING HEIGHT: 22'  
CONSTRUCTION TYPE / OCCUPANCY: VB / R1

### SQ. FOOTAGE CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

#### HEATED

GROUND FLOOR SQ. FOOTAGE (HEATED & FINISHED).....2,136 SQ. FT.

TOTAL (HEATED & FINISHED) = 2,136 SQ. FT.

#### UNHEATED

BACK PORCH SQ. FOOTAGE.....393 SQ. FT.  
FRONT PORCH. SQ. FOOTAGE.....240 SQ. FT.

### IMPERVIOUS CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED IMPERVIOUS CONDITIONS:  
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

#### EXISTING CONDITIONS:

GROUND FLOOR SQ. FOOTAGE.....1,358 SQ. FT.  
FRONT PORCH SQ. FOOTAGE.....240 SQ. FT.  
SIDEWALK SQ. FOOTAGE.....276 SQ. FT.  
DRIVEWAY SQ. FOOTAGE.....384 SQ. FT.  
BACK STEP.....50 SQ. FT.

TOTAL EXISTING IMPERVIOUS .....2,308 SQ. FT.

EXISTING COVERAGE = (2,308)/(21,754) = 10.6%

#### PROPOSED CONDITIONS:

GROUND FLOOR SQ. FOOTAGE.....2,136 SQ. FT.  
BACK PORCH SQ. FOOTAGE.....393 SQ. FT.  
FRONT PORCH. SQ. FOOTAGE.....240 SQ. FT.  
SIDEWALK SQ. FOOTAGE.....276 SQ. FT.  
DRIVEWAY SQ. FOOTAGE.....384 SQ. FT.  
FRONT & BACK WOOD STEP.....95 SQ. FT.

TOTAL PROPOSED IMPERVIOUS .....3,524 SQ. FT.

PROPOSED COVERAGE = (3,524)/(21,754) = 16.1%

### ARCHITECT:

LAUREN FOWLER THOMAS  
2323 PAUL AVE NW  
ATLANTA, GA 30318

404-625-9567  
LAVENDERFOWLER@GMAIL.COM

### CONTRACTOR:

(OWNER)  
LAUREN FOWLER THOMAS  
2323 PAUL AVE NW  
ATLANTA, GA 30318

404-625-9567  
LAVENDERFOWLER@GMAIL.COM

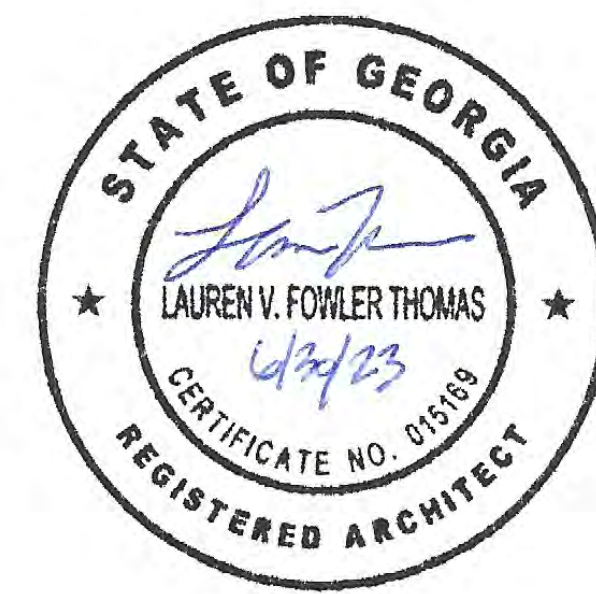
### STRUCTURAL ENGINEER:

STABILITY ENGINEERING  
1376 CHURCH ST., SUITE 200  
DECATUR, GA 30030

404-377-9316

ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

THOMAS HOUSE EXPANSION  
2323 PAUL AVE NW  
ATLANTA, GA 30318



LAUREN FOWLER THOMAS  
ARCHITECT  
404.625.9567

1000  
Project No.  
06/30/23  
Date

COVER SHEET

A0.00

Drawing No.

ISSUED FOR CONSTRUCTION



**MRPA-23-013**



THOMAS HOUSE EXPANSION  
2323 PAUL AVE NW  
ATLANTA, GA 30318



LAUREN FOWLER THOMAS  
ARCHITECT  
404.625.9567

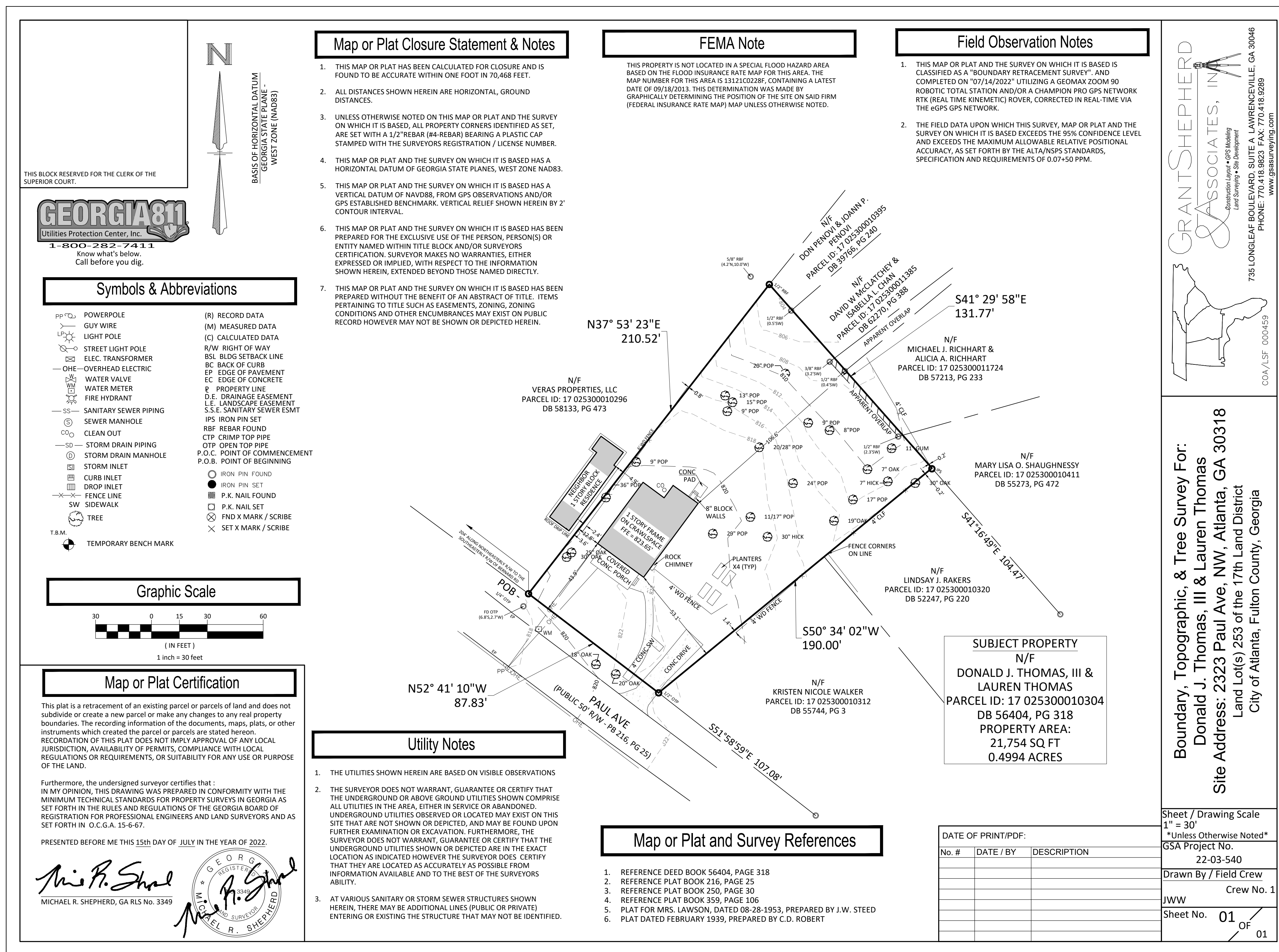
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Project No.
06/30/23
Date

## SURVEY

# A0.10

Drawing No.

ISSUED FOR CONSTRUCTION

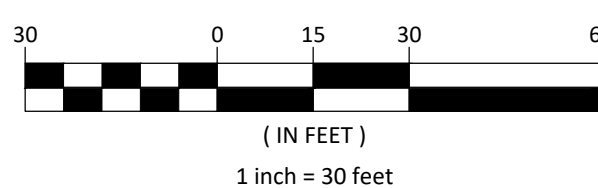




## Symbols & Abbreviations

PP □ POWERPOLE	(R) RECORD DATA
— GUY WIRE	(M) MEASURED DATA
— LIGHT POLE	(C) CALCULATED DATA
— STREET LIGHT POLE	R/W RIGHT OF WAY
— ELEC. TRANSFORMER	BSL BLDG SETBACK LINE
— OVERHEAD ELECTRIC	BC BACK OF CURB
— WATER VALVE	EP EDGE OF PAVEMENT
— WATER METER	EC EDGE OF CONCRETE
— FIRE HYDRANT	P PROPERTY LINE
— SS SANITARY SEWER PIPING	D.E. DRAINAGE EASEMENT
— SEWER MANHOLE	S.S.E. SANITARY SEWER ESMT
— CLEAN OUT	IPS IRON PIN SET
— STORM DRAIN PIPING	RFB REBAR FOUND
— STORM DRAIN MANHOLE	CTP CRIMP TOP PIPE
— STORM INLET	OTF OPEN TOP PIPE
— CURB INLET	P.O.C. POINT OF COMMENCEMENT
— DROP INLET	P.O.B. POINT OF BEGINNING
— FENCE LINE	○ IRON PIN FOUND
— SW SIDEWALK	● IRON PIN SET
— TREE	□ P.K. NAIL FOUND
— T.B.M. TEMPORARY BENCH MARK	□ P.K. NAIL SET
	— FND X MARK / SCRIBE
	— SET X MARK / SCRIBE

## Graphic Scale



## Field Observation Notes

- THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS CLASSIFIED AS A "BOUNDARY RETRACEMENT SURVEY", AND COMPLETED ON "07/14/2022" UTILIZING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION AND/OR A CHAMBERLAIN PRO GPS NETWORK RTK (REAL TIME KINEMATIC) ROVER, CORRECTED IN REAL-TIME VIA THE GPS NETWORK.
- THE FIELD DATA UPON WHICH THIS SURVEY, MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED EXCEEDS THE 95% CONFIDENCE LEVEL AND EXCEEDS THE MAXIMUM ALLOWABLE RELATIVE POSITIONAL ACCURACY, AS SET FORTH BY THE ALTA/NSPS STANDARDS, SPECIFICATION AND REQUIREMENTS OF 0.07+50 PPM.

## FAR CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED CONDITIONS:  
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

EXISTING GROUND FLOOR SQ. FOOTAGE.....1,358  
ADDITIONAL SQ. FOOTAGE.....778

TOTAL PROPOSED COMPLETE SQ. FOOTAGE.....2,136 SQ. FT.

FAR = (2,136)/(21,754) = 9.8%

BUILDING HEIGHT: 22'  
CONSTRUCTION TYPE / OCCUPANCY: VB / R3

## IMPERVIOUS CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

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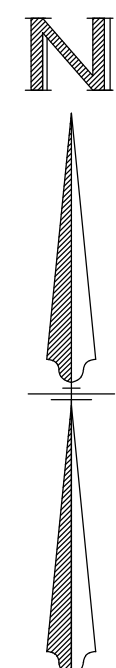
## MRPA:

2323 PAUL AVE NW, ATLANTA, GA 30318

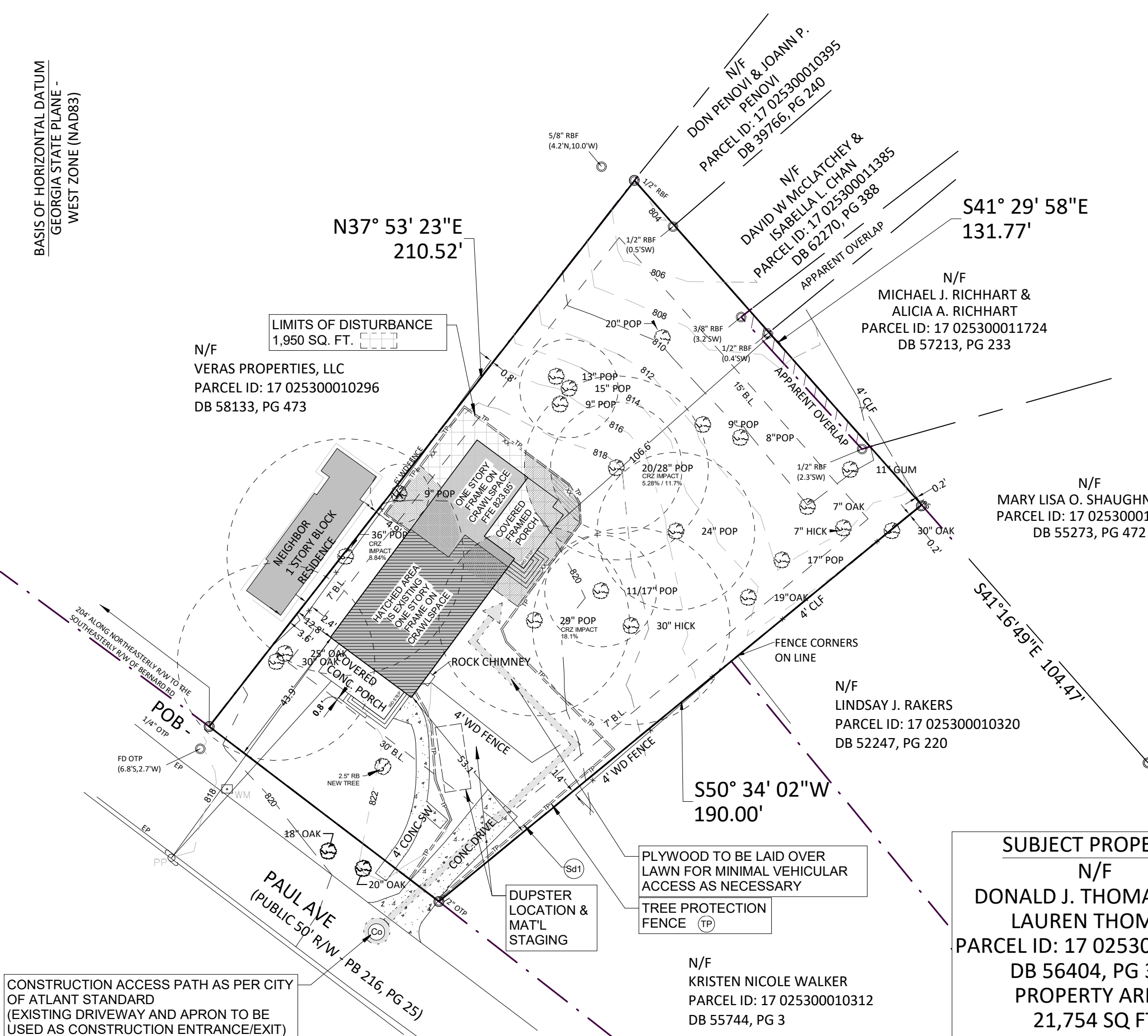
VULNERABILITY CATEGORY: D  
MAXIMUM ALLOWABLE IMPERVIOUS AREA: 30%  
PROPOSED IMPERVIOUS AREA: 16.1%  
MAXIMUM ALLOWABLE DISTURBED AREA: 50%  
PROPOSED DISTURBED AREA: 1,950 SQ. FT. / 21,754 SQ. FT. = 9%

## SCOPE OF WORK:

EXISTING SINGLE STORY HOME IS BEING EXPANDED TO THE BACK.

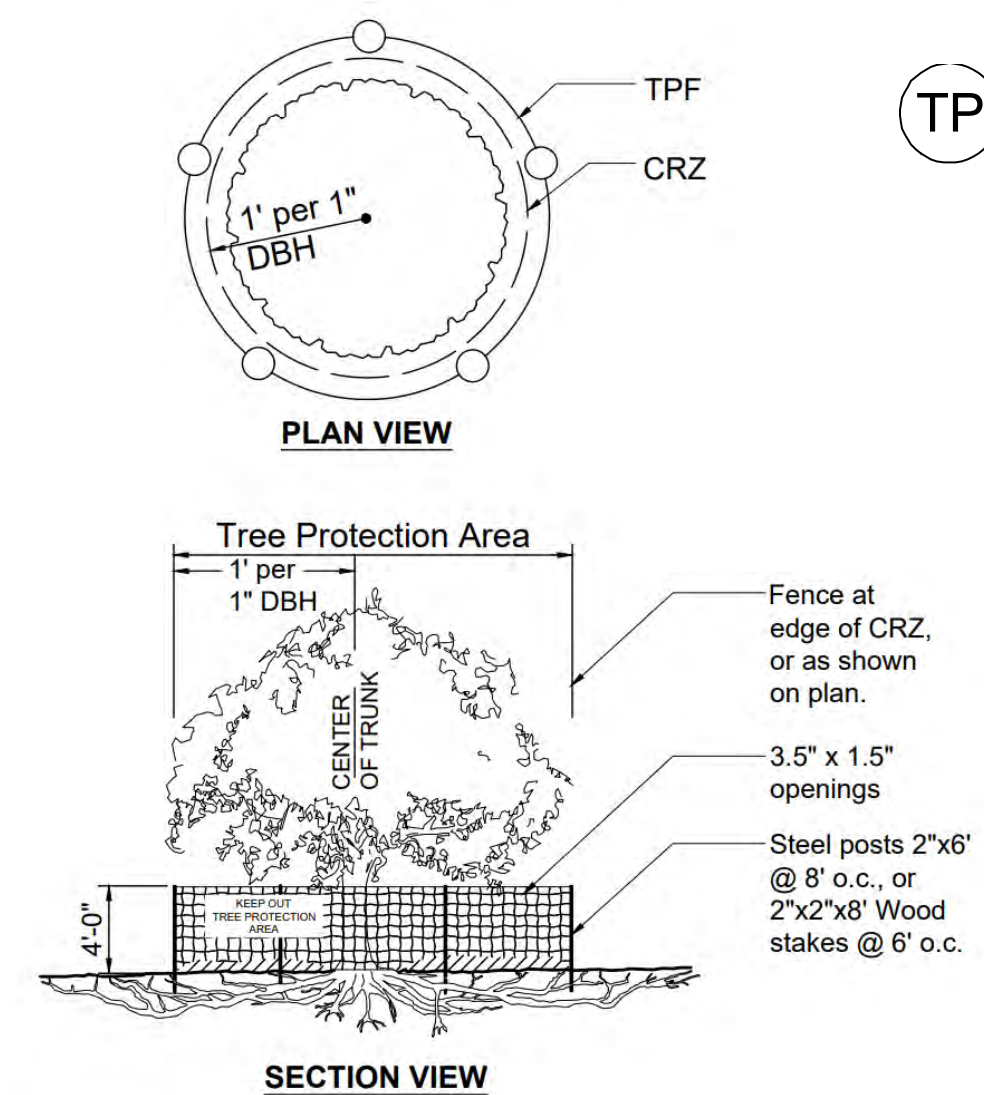


BASE OF HORIZONTAL PLANE  
GEORGIA STATE PLANE  
WEST ZONE (NAD83)



## GENERAL NOTES

- SILT FENCE TO BE INSTALLED DURING CONSTRUCTION AS INDICATED.
- EXISTING CURB CUT TO REMAIN.
- THERE ARE NO KNOWN EASEMENTS ON THE SITE.
- THERE ARE NO 100 YEAR FLOOD PLAIN LIMITS ON THE SITE.
- EXISTING GRADES TO REMAIN, NO CUT AND FILL REQUIRED. NO GRADING REQUIRED.
- REFER TO SURVEY DRAWING FOR ADDITIONAL SITE INFORMATION.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREA IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH. DISTURBED AREA IDLE FOR MORE THAN 30 DAYS SHALL STABILIZED WITH PERMANENT VEGETATION.
- NO CONSTRUCTION OF NEW SEWER CONNECTION, SIDEWALKS, OR DRIVEWAY APRON WILL OCCUR, IF ANY CONSTRUCTION IN RIGHT-OF-WAY BECOMES NECESSARY, A "QUALIFIED CONTRACTOR" PERMIT WILL BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
- ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE C," AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND BE WIRE REINFORCED.
- NO CONSTRUCTION OF NEW SEWER CONNECTION, SIDEWALKS, OR DRIVEWAY APRON WILL OCCUR, IF ANY CONSTRUCTION IN RIGHT-OF-WAY BECOMES NECESSARY, A "QUALIFIED CONTRACTOR" PERMIT WILL BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.



- Notes:
- No construction activity w/in CRZ, including no storing or stacking materials. Under no circumstances should the fence be trespassed in.
  - Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

## GEORGIA UNIFORM CODING SYSTEM

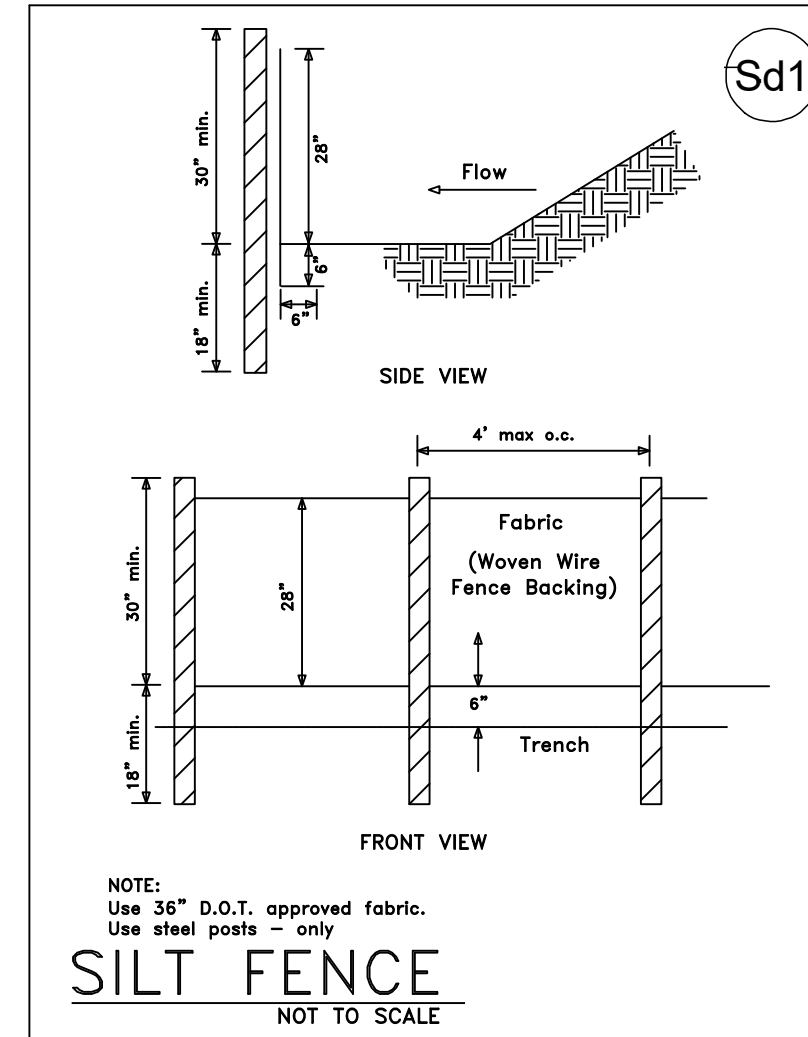
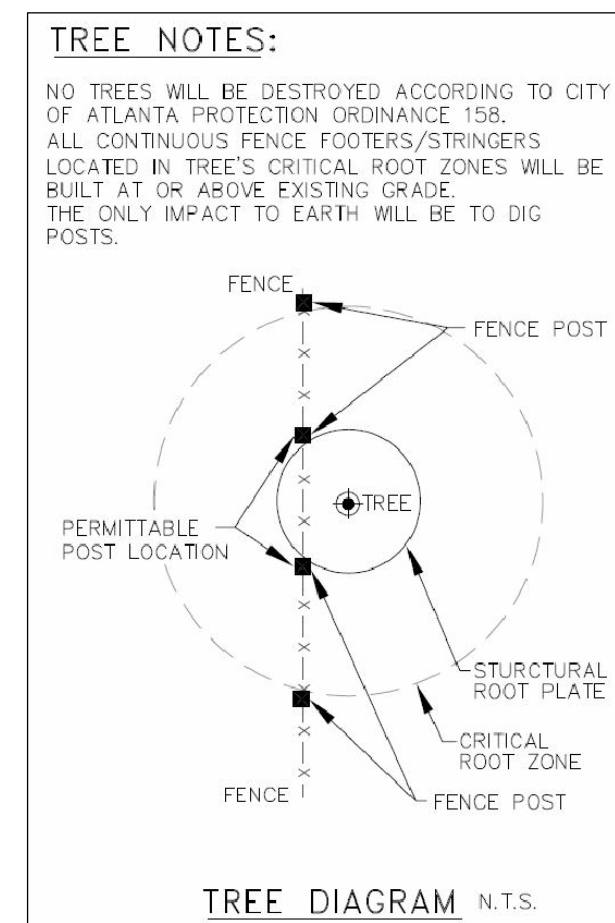
FOR SOIL EROSION AND  
SEDIMENT CONTROL PRACTICES  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

### STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION ERT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, piles of straw or hay, brush, logs and poles, groves, or a silt fence.

### VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	CONSTANT DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are otherwise artificially constructed, or re-nourished.
De1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
De2	DISTURBED AREA STABILIZATION (WITH MULCHING AND SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
De3	DISTURBED AREA STABILIZATION (WITH MULCHING AND SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
De4	DISTURBED AREA STABILIZATION (WITH MULCHING AND SEEDING)			A permanent vegetative cover using sods on lightly erodible or artificially eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Cd	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (WITH VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TWOYARD AND BRIDGES			Substance used to anchor straw or hay matting by causing the organic material to bind together.



## SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 191 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1995 EDITION.

No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

## MRPA-23-013



THOMAS HOUSE EXPANSION  
2323 PAUL AVE NW  
ATLANTA, GA 30318



LAUREN FOWLER THOMAS  
ARCHITECT  
404.625.9567

1000  
Project No.  
06/30/23  
Date

SITE PLAN

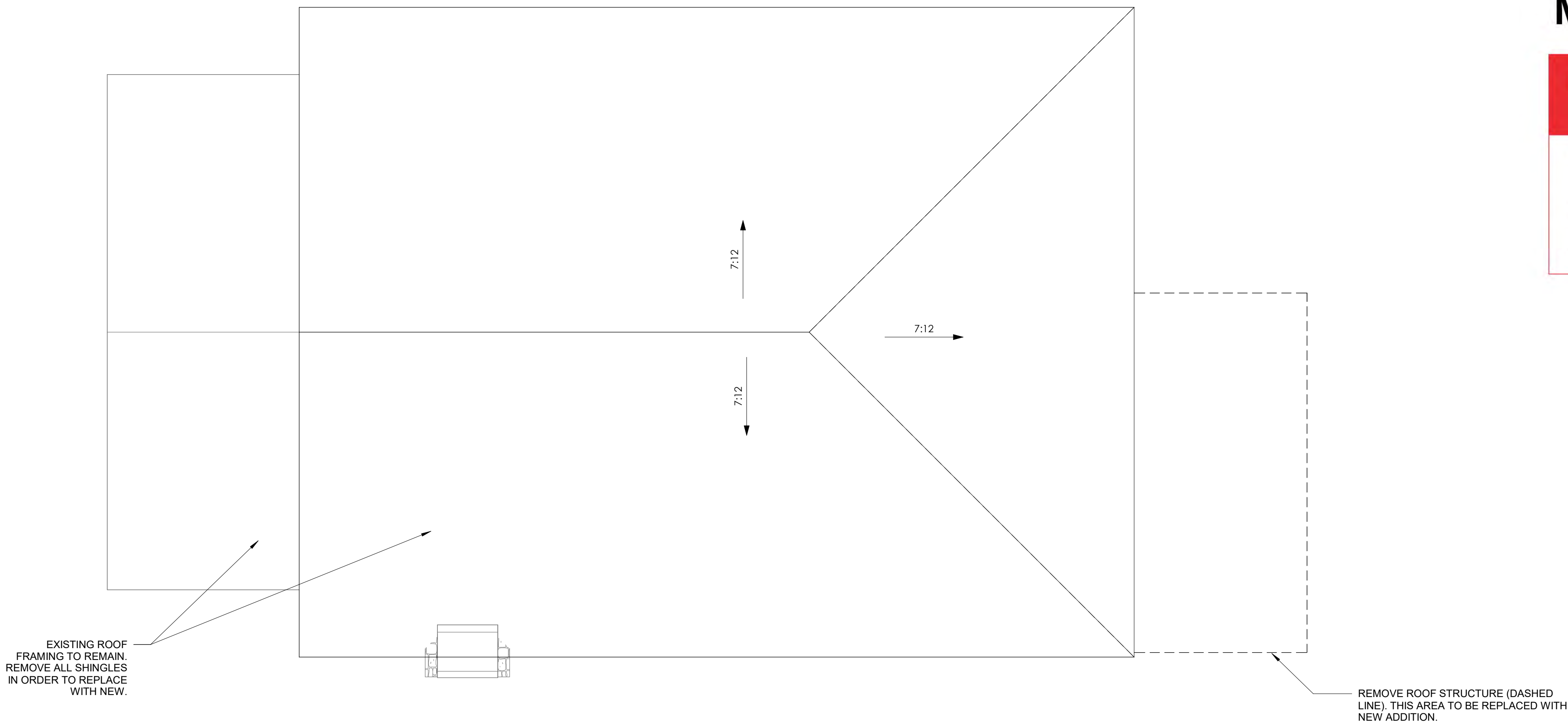
A1.00



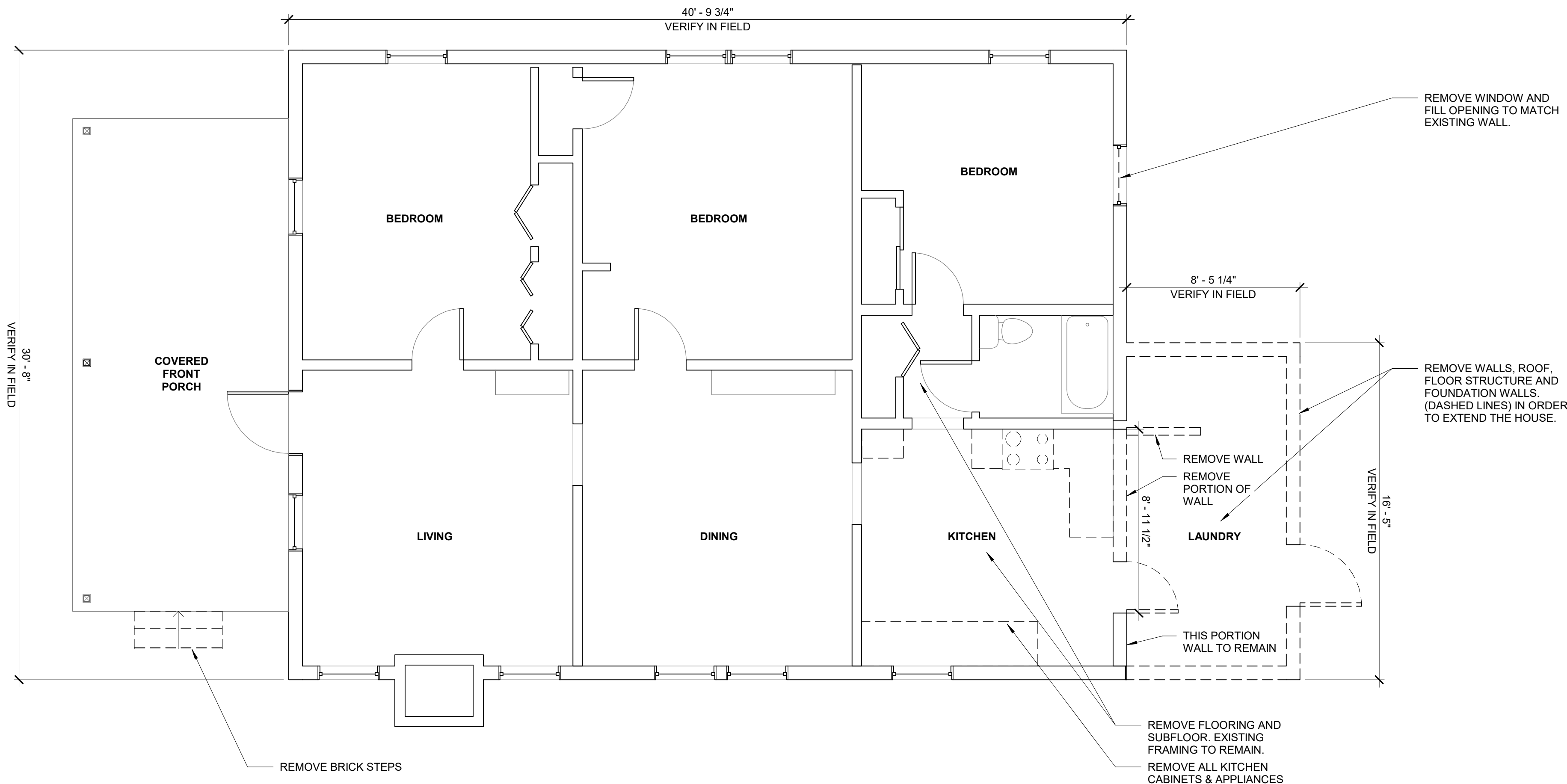
ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23



EXISTING FRONT AND SIDE OF HOUSE



2  
A2.10  
EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"



1  
A2.10  
EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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PHOTOS OF EXISTING BACK OF HOUSE



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EXISTING PLANS &  
ELEVATIONS

A2.10



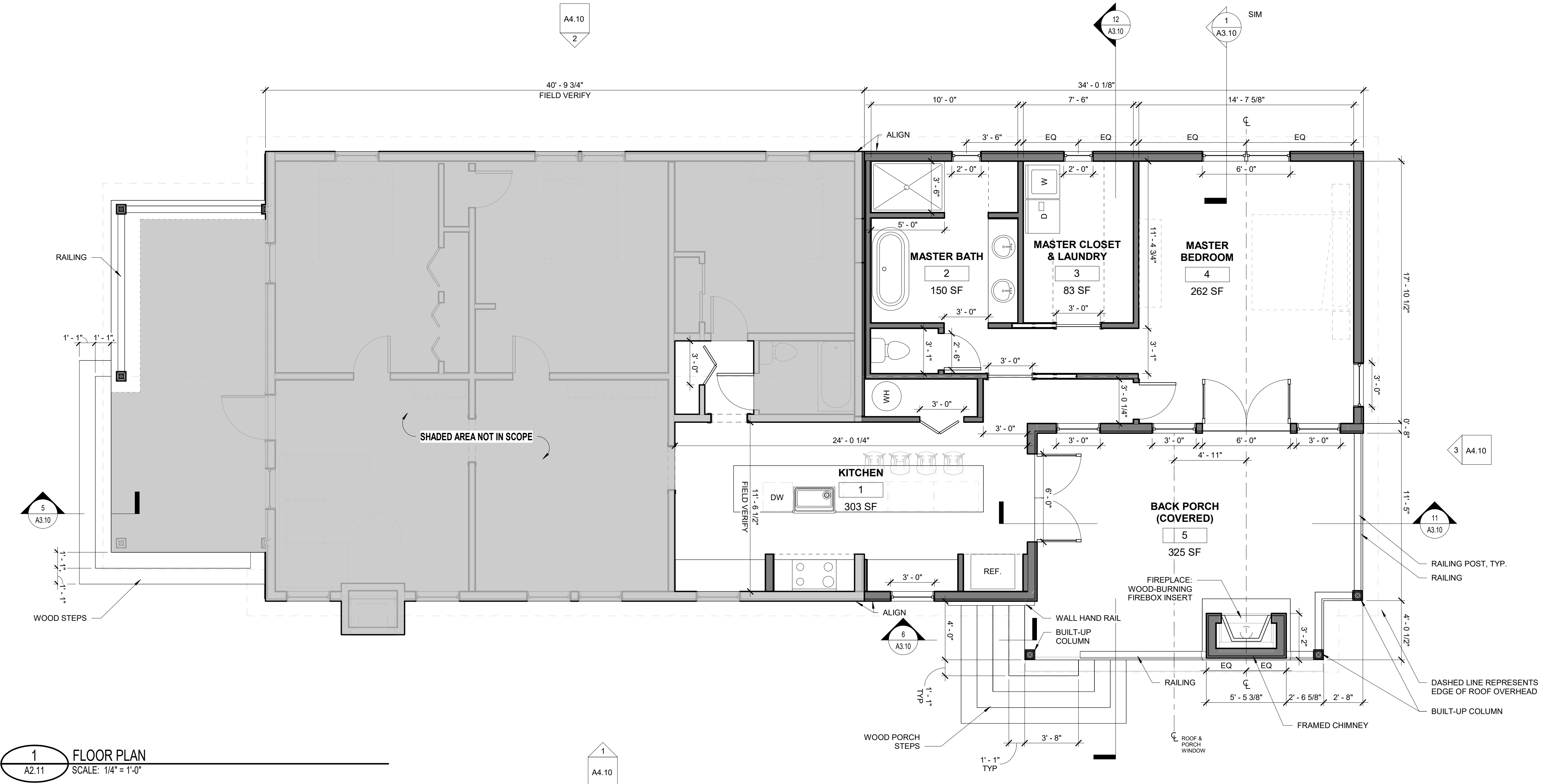
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THOMAS HOUSE EXPANSION  
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ATLANTA, GA 30318

2 REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"  
\*ALL INTERIOR CEILINGS TO BE DRYWALL AND HEIGHT OF 8'-3" UNLESS OTHERWISE NOTED.



1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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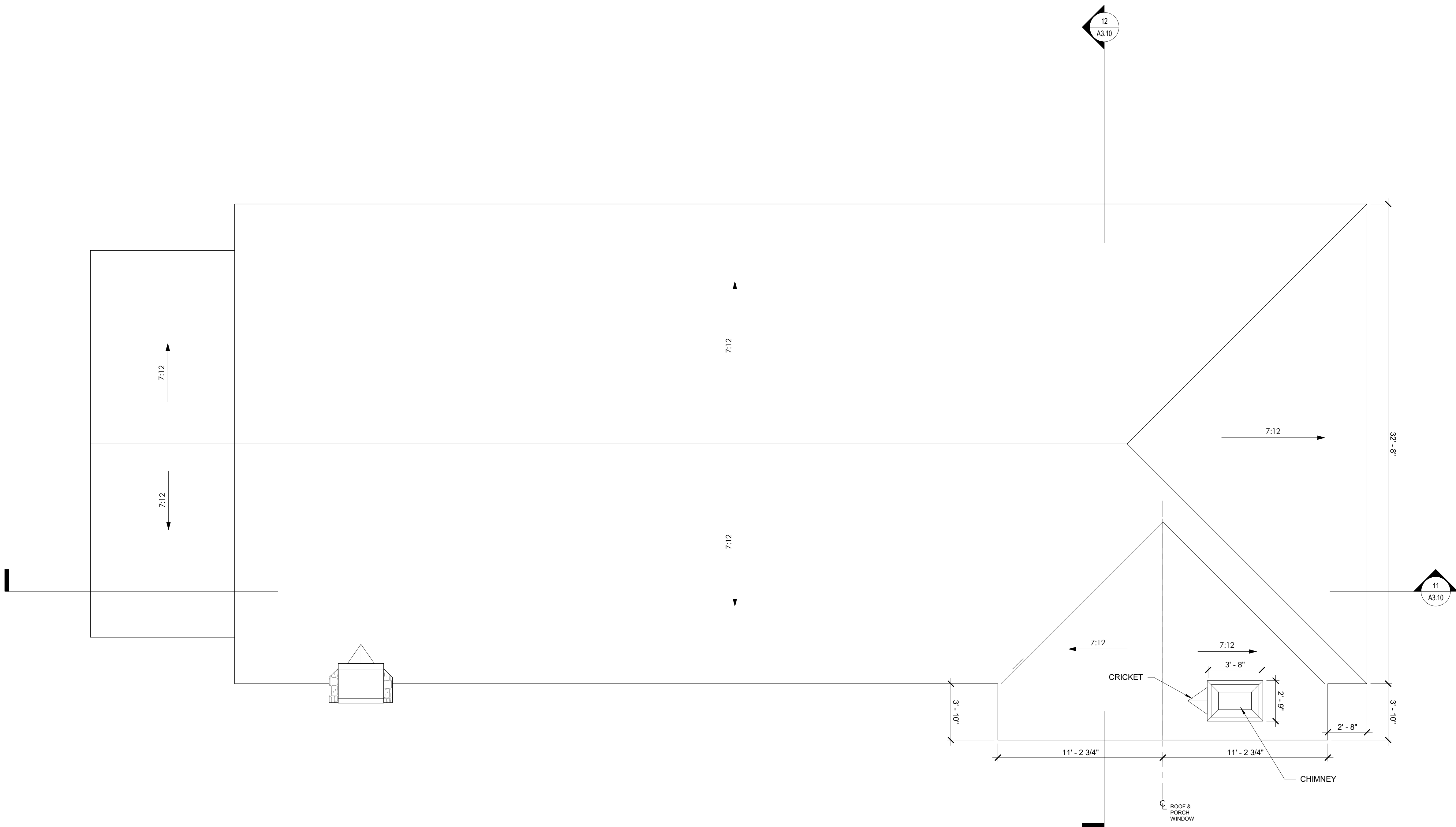
FLOOR PLAN & RCP

A2.11



ISSUANCES		
No.	Drawing Issue Description	Date
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1 ROOF PLAN  
A2.21 SCALE: 1/4" = 1'-0"



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ROOF PLAN

A2.21



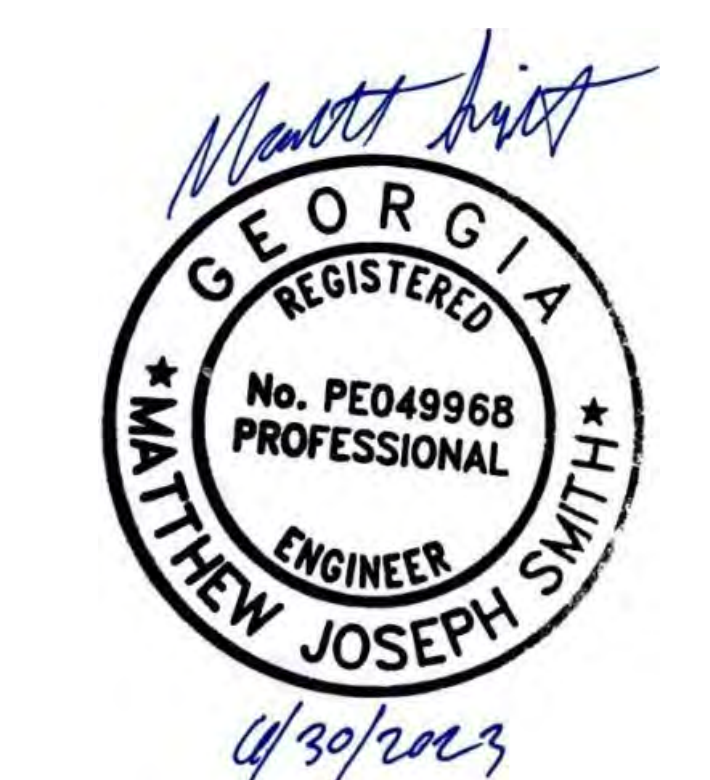
ISSUANCES		
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City of Atlanta | Department of City Planning  
**OFFICE OF ZONING  
& DEVELOPMENT**

**RECEIVED**

**DATE:** 07/25/2023

THOMAS HOUSE EXPANSION  
2323 PAUL AVE NW  
ATLANTA, GA 30318



**S<sup>e</sup> STABILITY  
ENGINEERING**  
1376 Church St., Ste 200, Decatur, GA 30030 Ph/Fax: 404-377-8316



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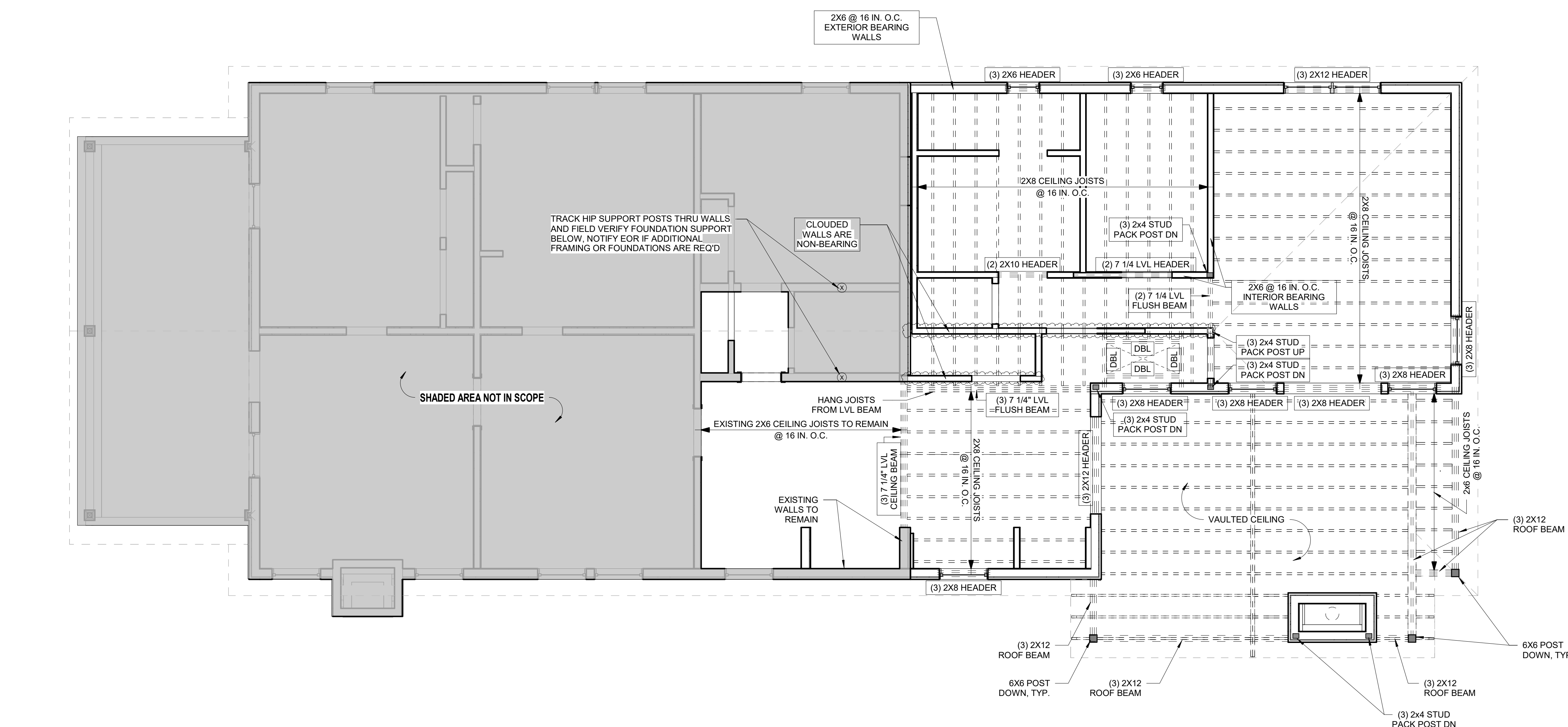
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## FRAMING DIAGRAMS

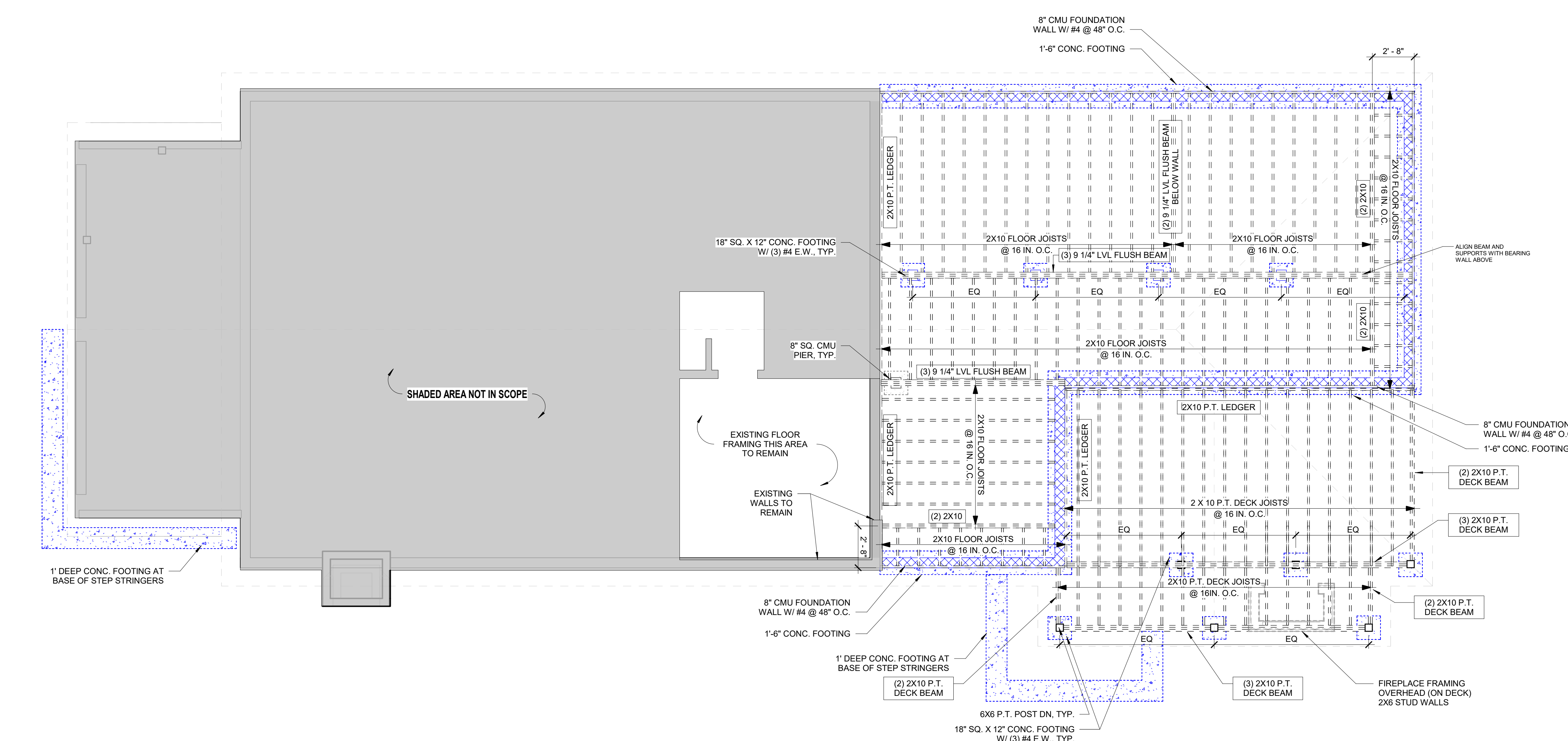
A2.31

Drawing No. \_\_\_\_\_

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2 CEILING FRAMING PLAN  
A2.31 SCALE: 1/4" = 1'-0"



1 FOUNDATION & FLOOR FRAMING DIAGRAM  
A2.31 SCALE: 1/4" = 1'-0"



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4/30/2023

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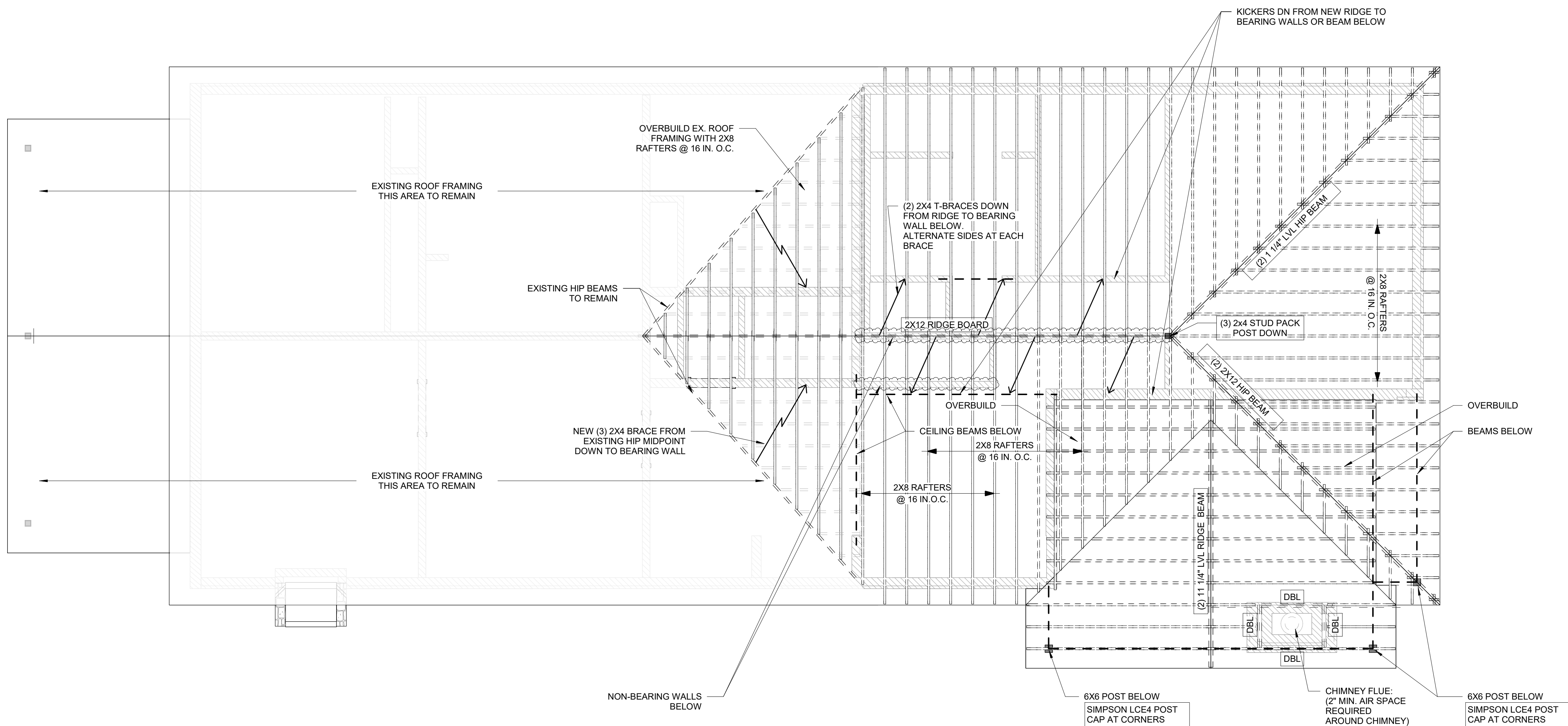


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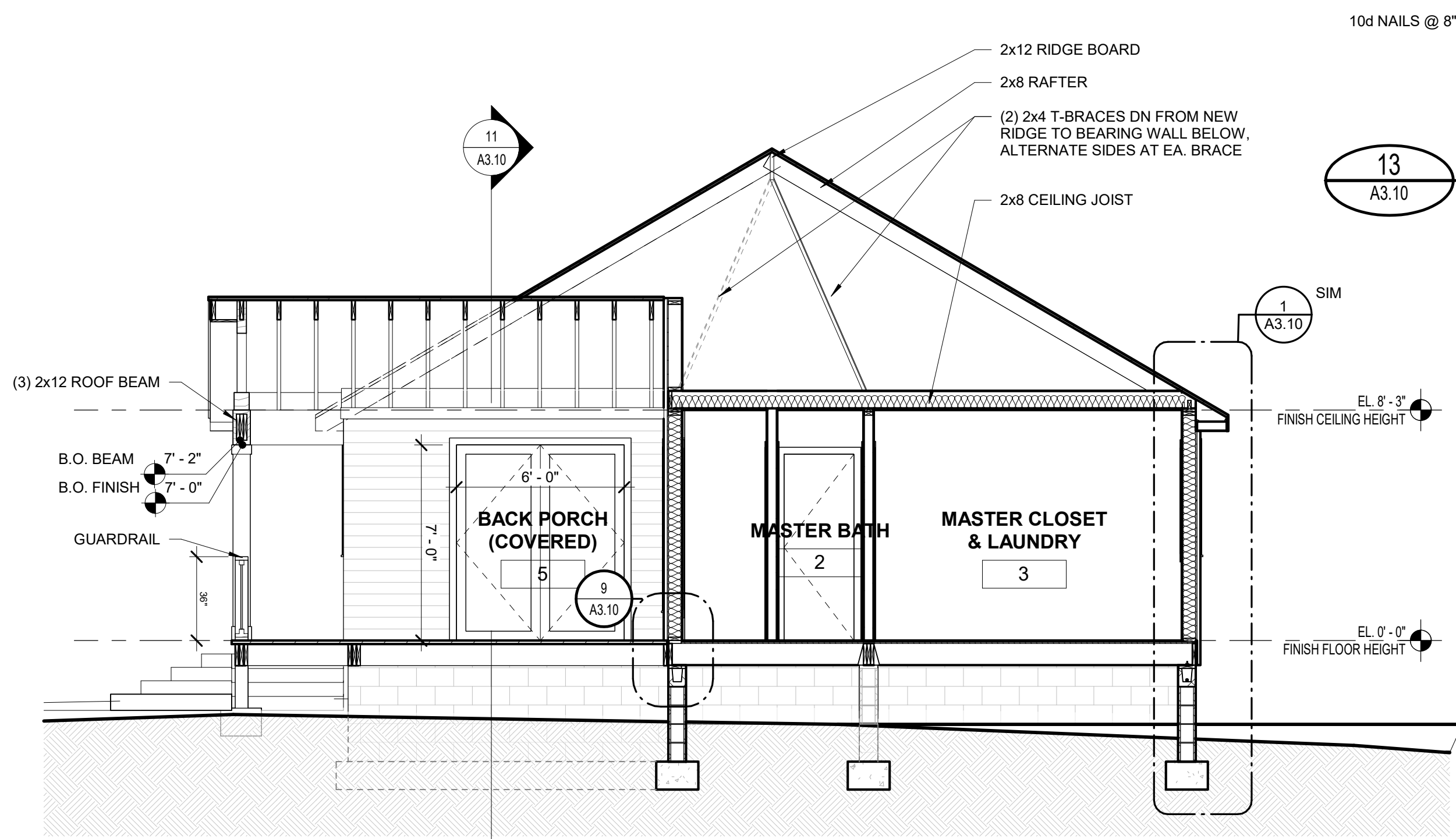
ROOF FRAMING DIAGRAM

A2.33

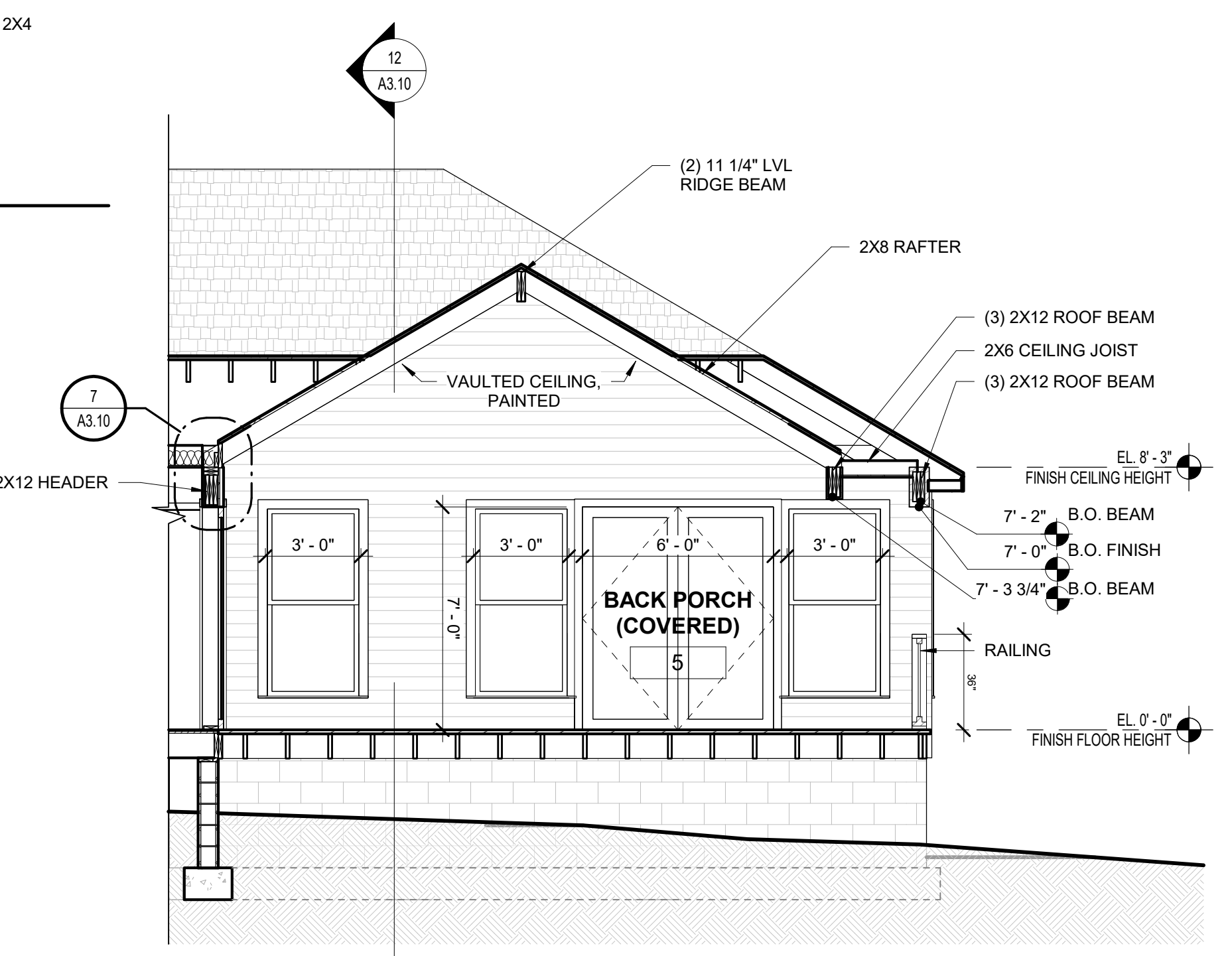


1 ROOF FRAMING DIAGRAM  
A2.33 SCALE: 1/4" = 1'-0"

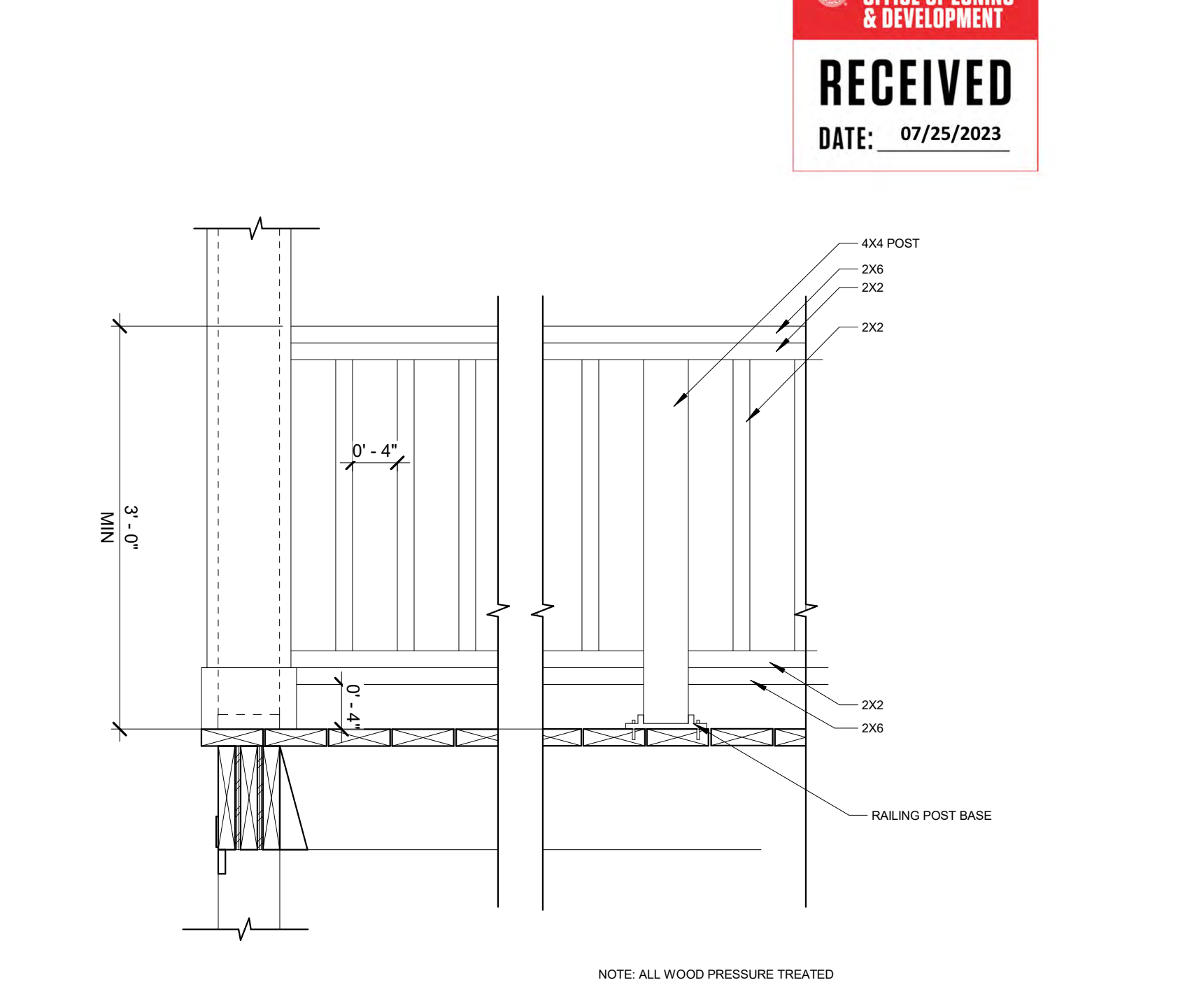




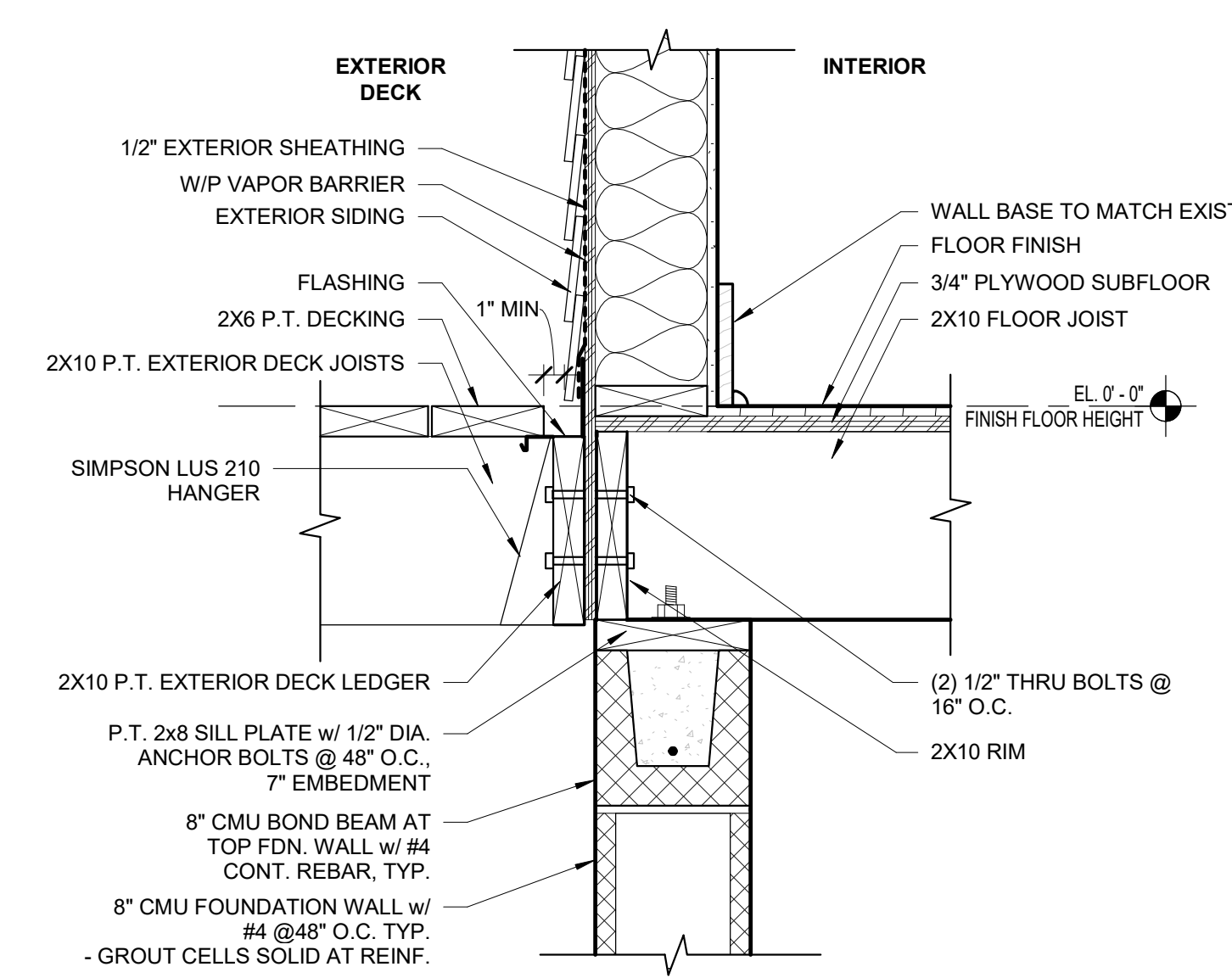
12 SECTION 1  
A3.10 SCALE: 1/4" = 1'-0"



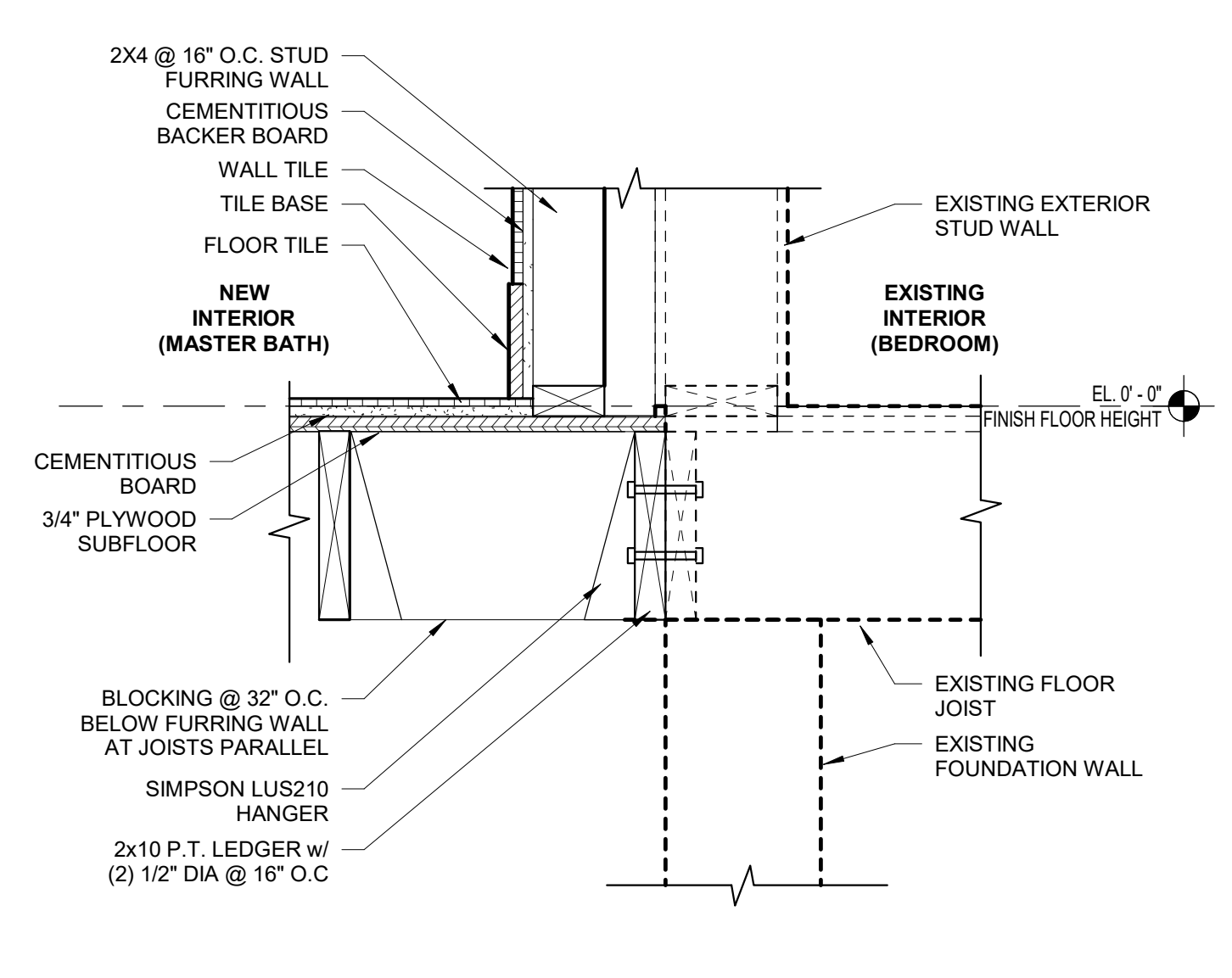
11 SECTION 2 - BACK PORCH  
A3.10 SCALE: 1/4" = 1'-0"



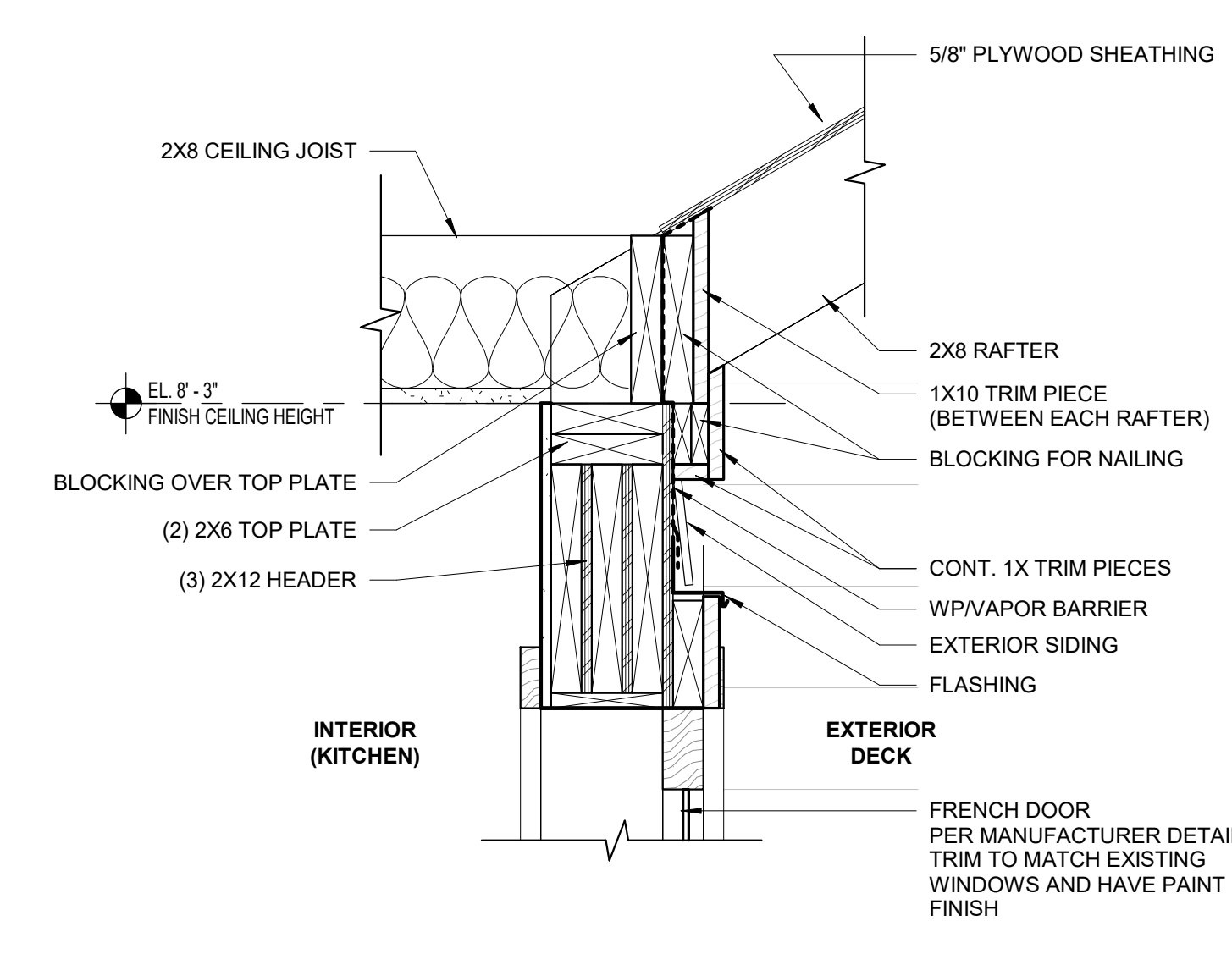
10 RAILING  
A3.10 SCALE: 1" = 1'-0"



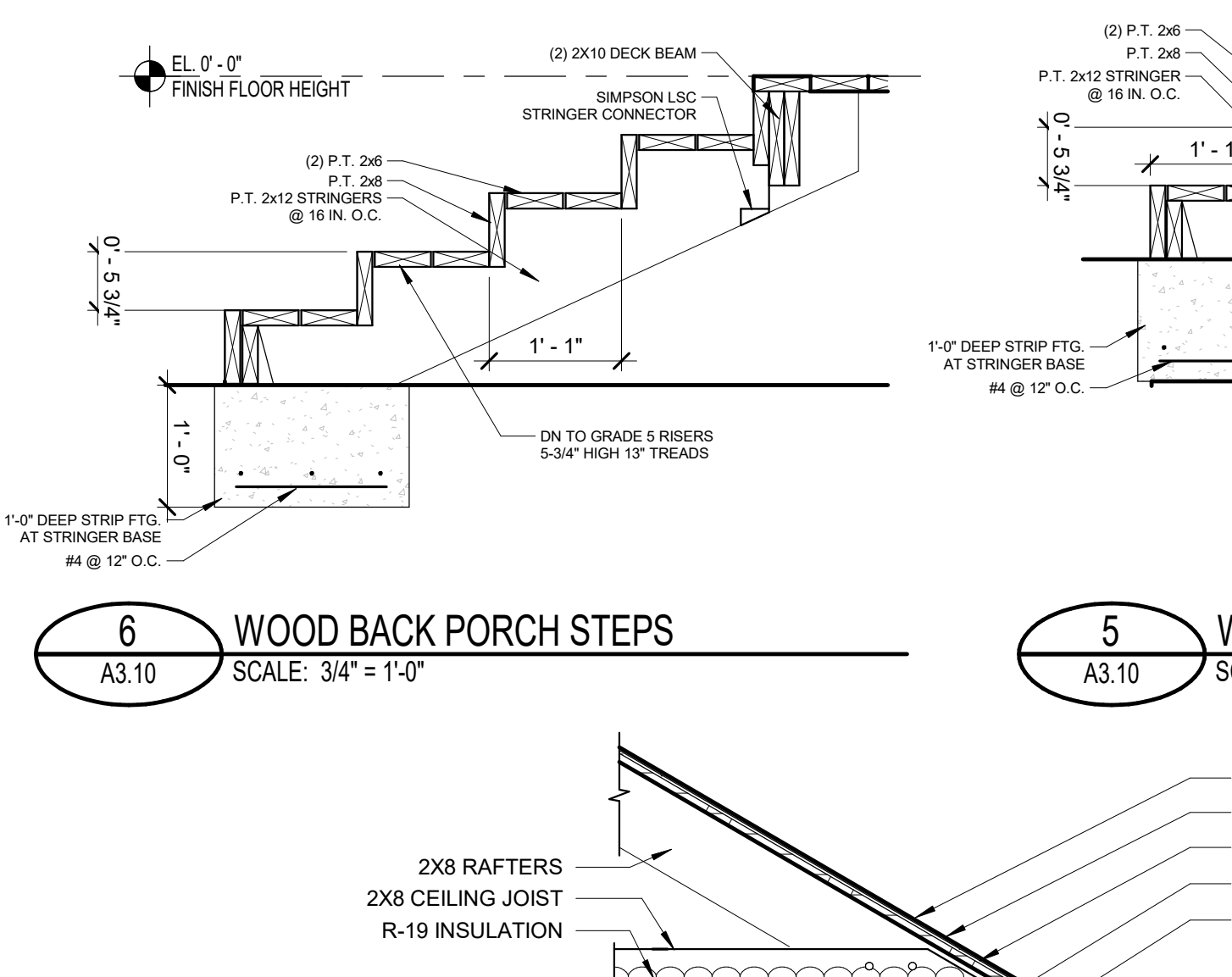
9 FLOOR TRANSITION SECTION - INTERIOR TO PORCH DECK  
A3.10 SCALE: 1 1/2" = 1'-0"



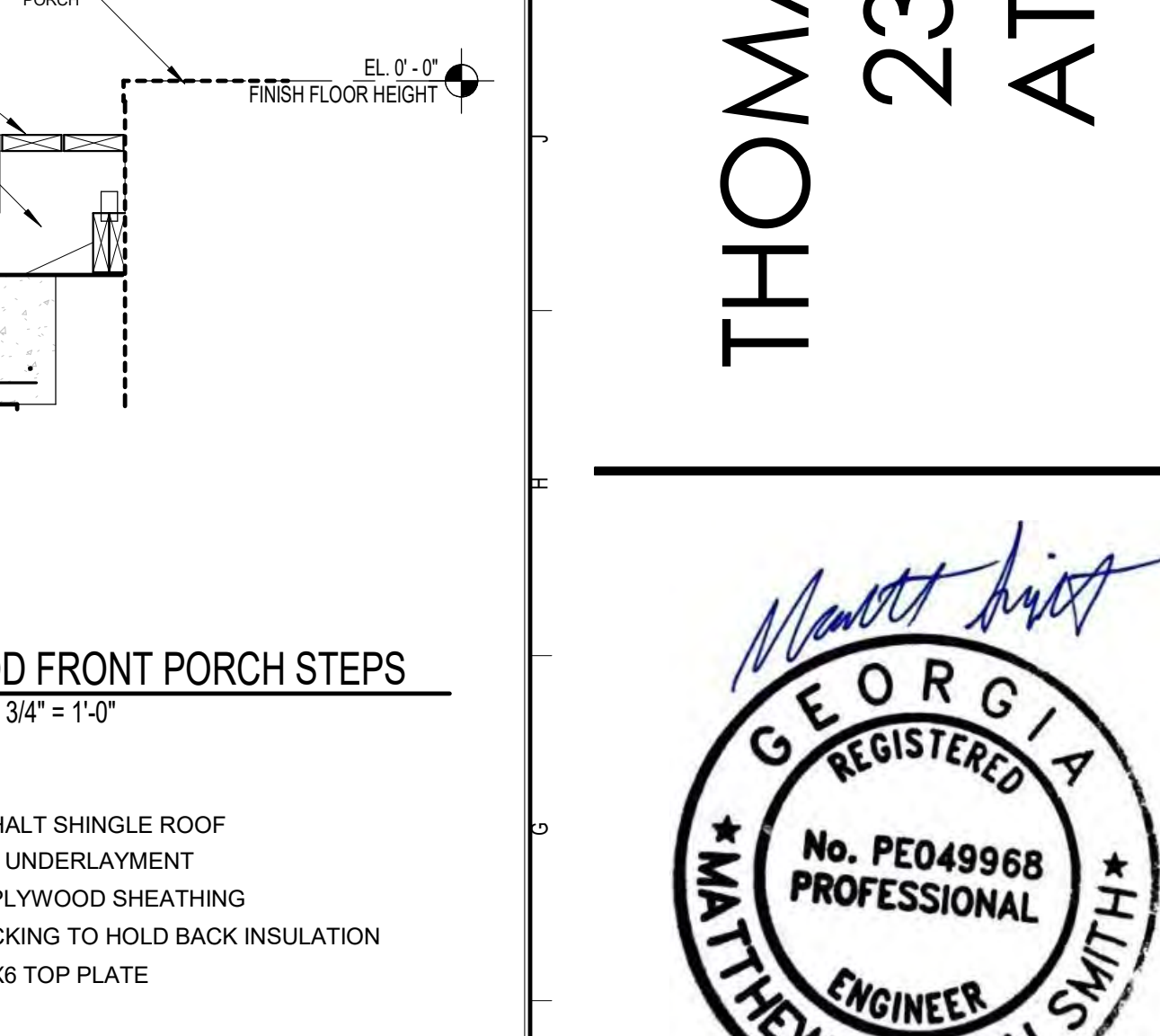
8 FLOOR TRANSITION SECTION - EXISTING TO NEW  
A3.10 SCALE: 1 1/2" = 1'-0"



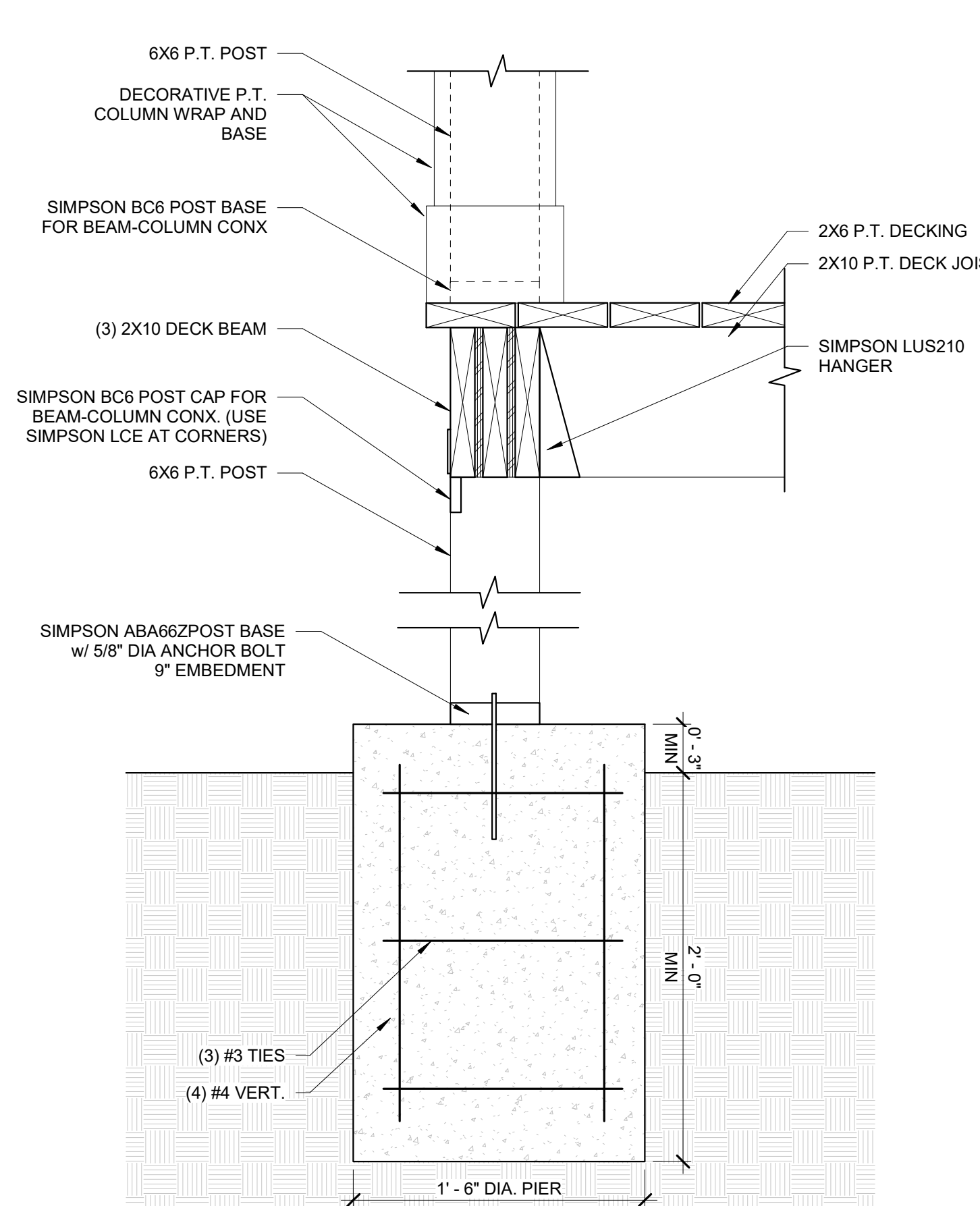
7 SECTION DETAIL - PORCH ROOF RAFTER TO INTERIOR  
A3.10 SCALE: 1 1/2" = 1'-0"



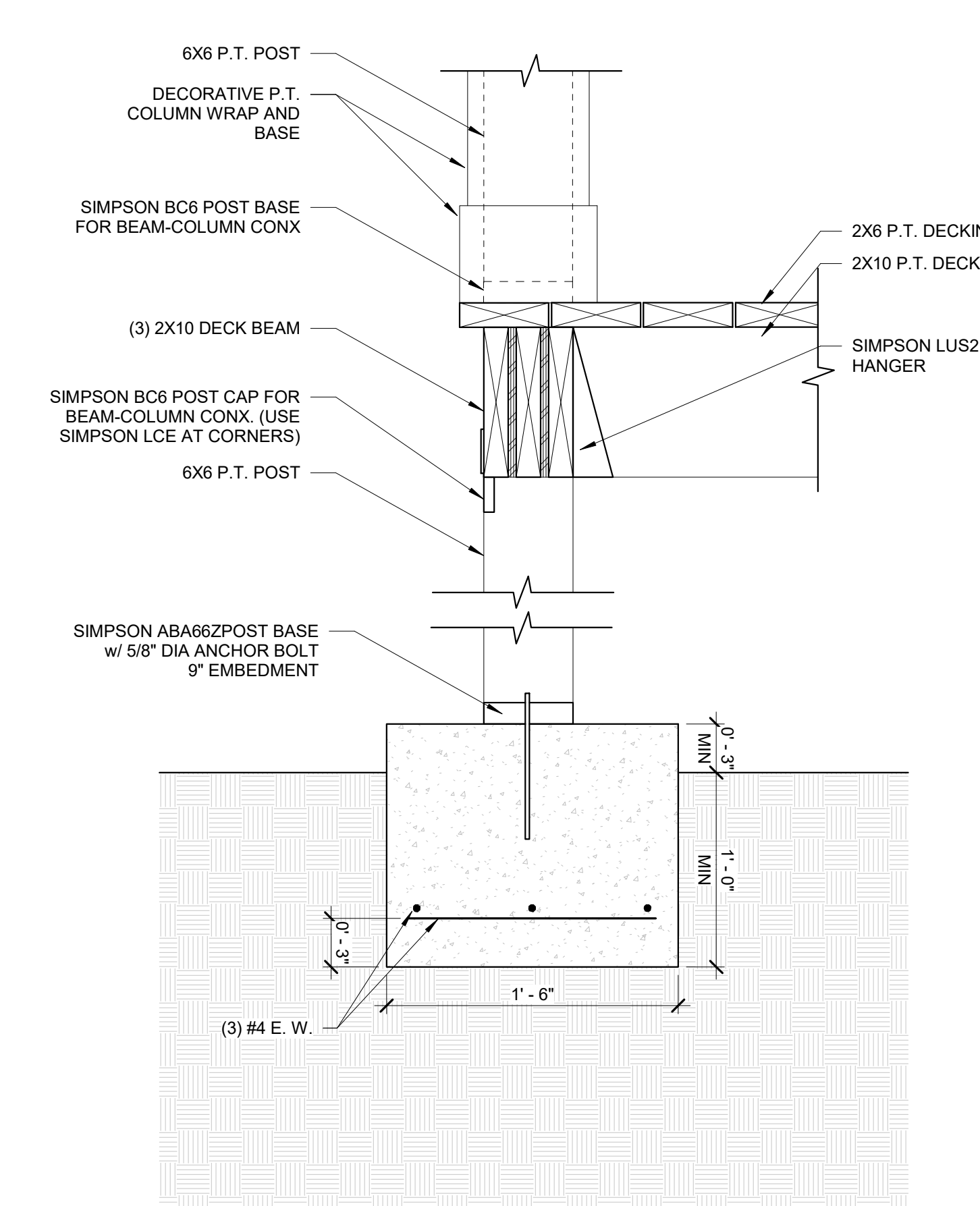
6 WOOD BACK PORCH STEPS  
A3.10 SCALE: 3/4" = 1'-0"



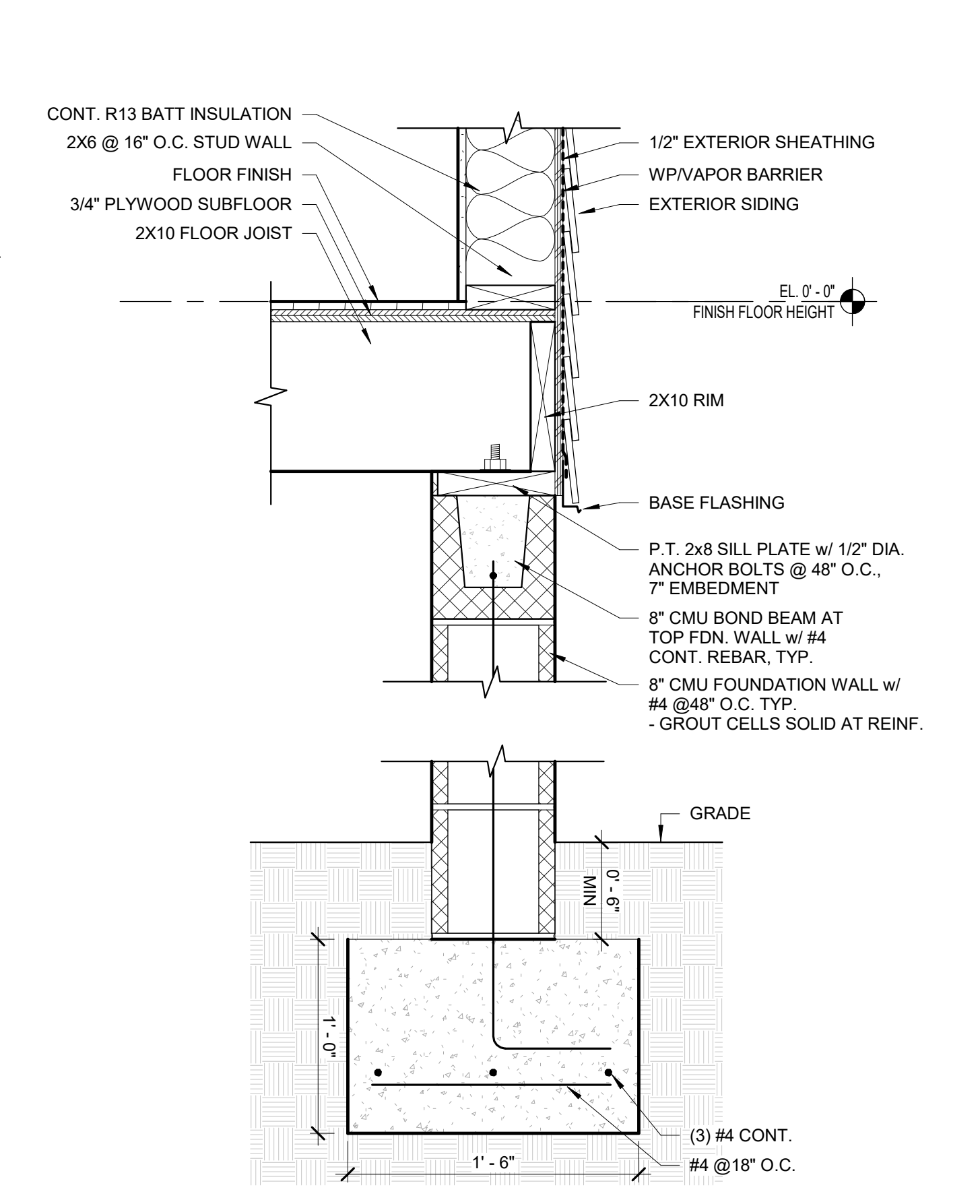
5 WOOD FRONT PORCH STEPS  
A3.10 SCALE: 3/4" = 1'-0"



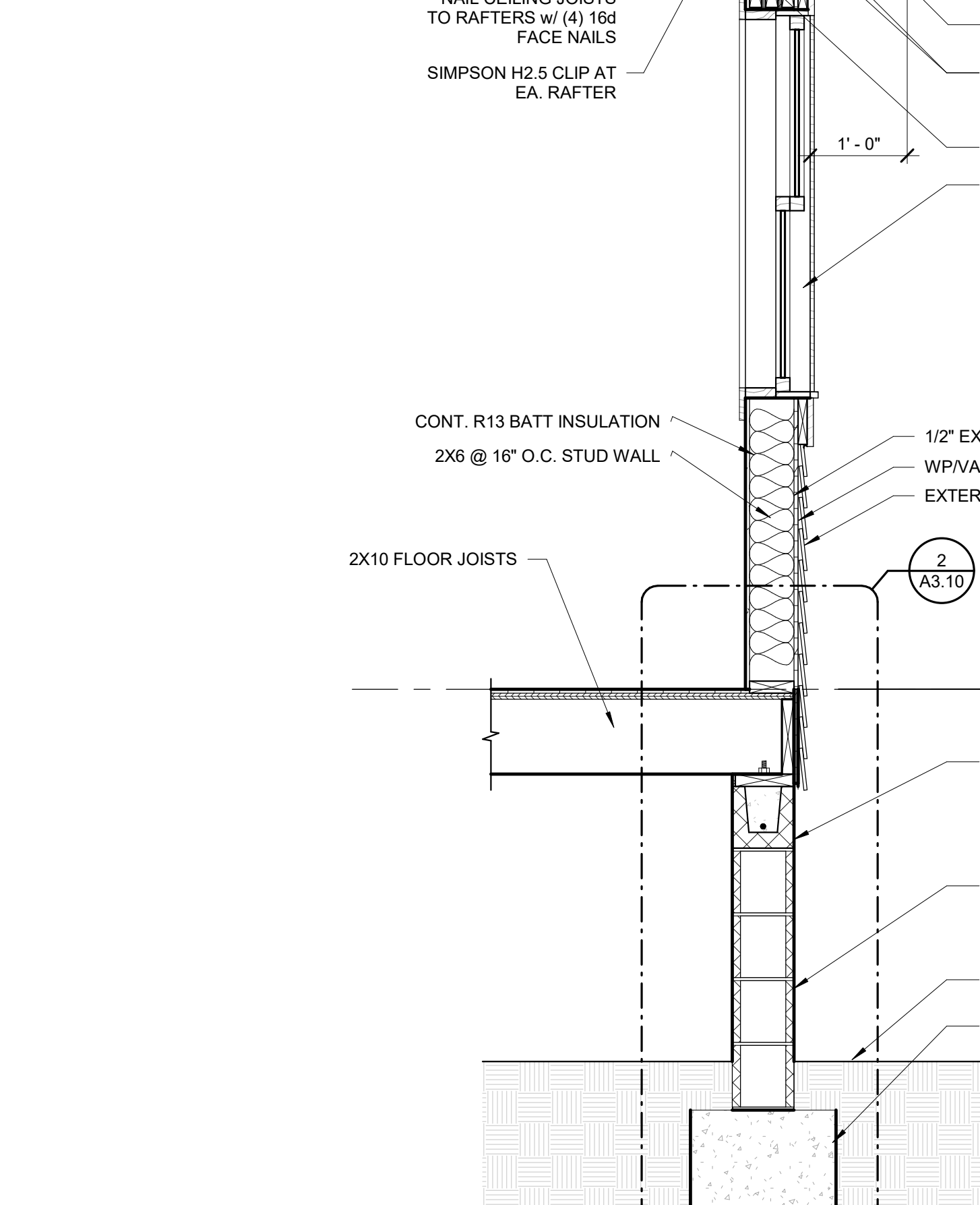
4 TYPICAL DETAIL - ALTERNATE DECK POST FOOTING  
A3.10 SCALE: 1 1/2" = 1'-0"



3 TYPICAL DETAIL - DECK POST FOOTING  
A3.10 SCALE: 1 1/2" = 1'-0"



2 TYPICAL DETAIL - FOUNDATION WALL  
A3.10 SCALE: 1 1/2" = 1'-0"



1 WALL SECTION - TYPICAL  
A3.10 SCALE: 3/4" = 1'-0"

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THOMAS HOUSE EXPANSION  
2323 PAUL AVE NW  
ATLANTA, GA 30318

Matthew Joseph Smith  
REGISTERED PROFESSIONAL ENGINEER  
No. PE049968  
MATTHEW JOSEPH SMITH  
4/30/2023

Se STABILITY ENGINEERING  
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STATE OF GEORGIA  
LAUREN V. FOWLER THOMAS  
REGISTERED ARCHITECT  
CERTIFICATE NO. 035169

LAUREN FOWLER THOMAS  
ARCHITECT  
404.625.9567

1000  
Project No.  
06/30/23  
Date

SECTIONS

ISSUED FOR CONSTRUCTION

A3.10

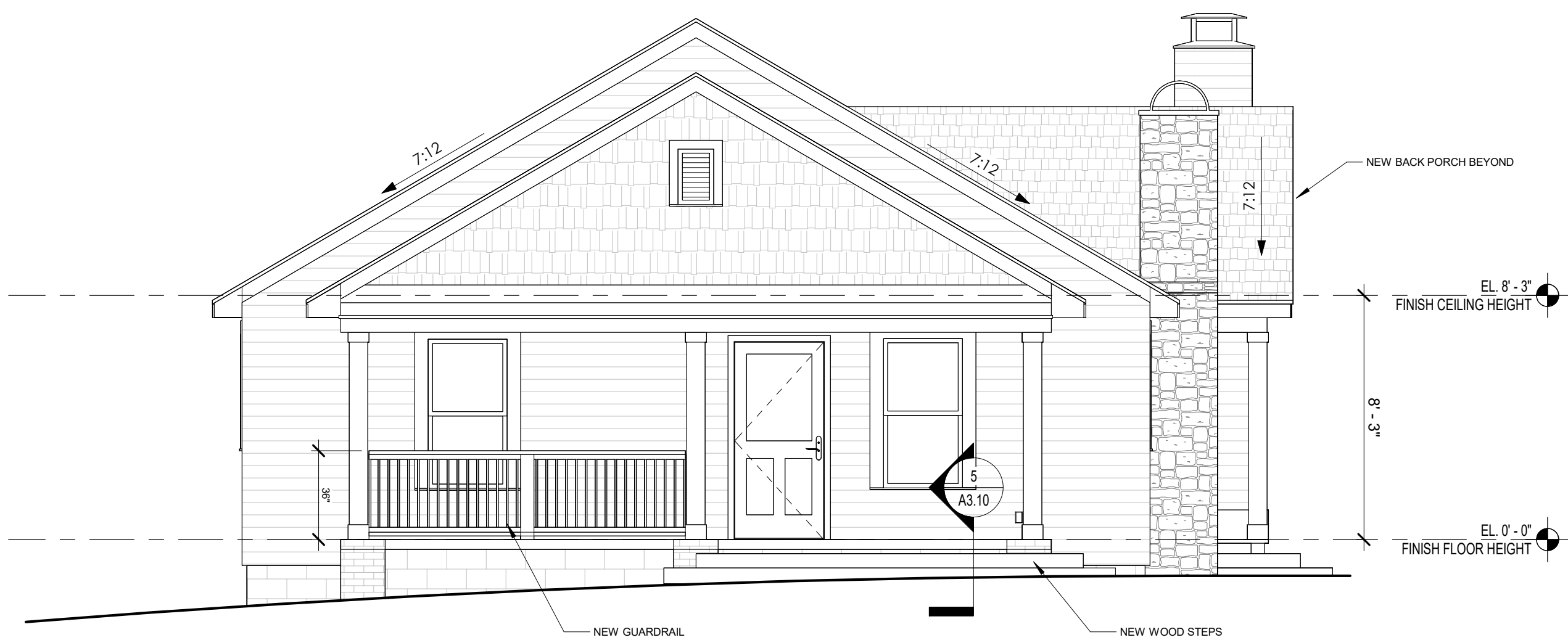


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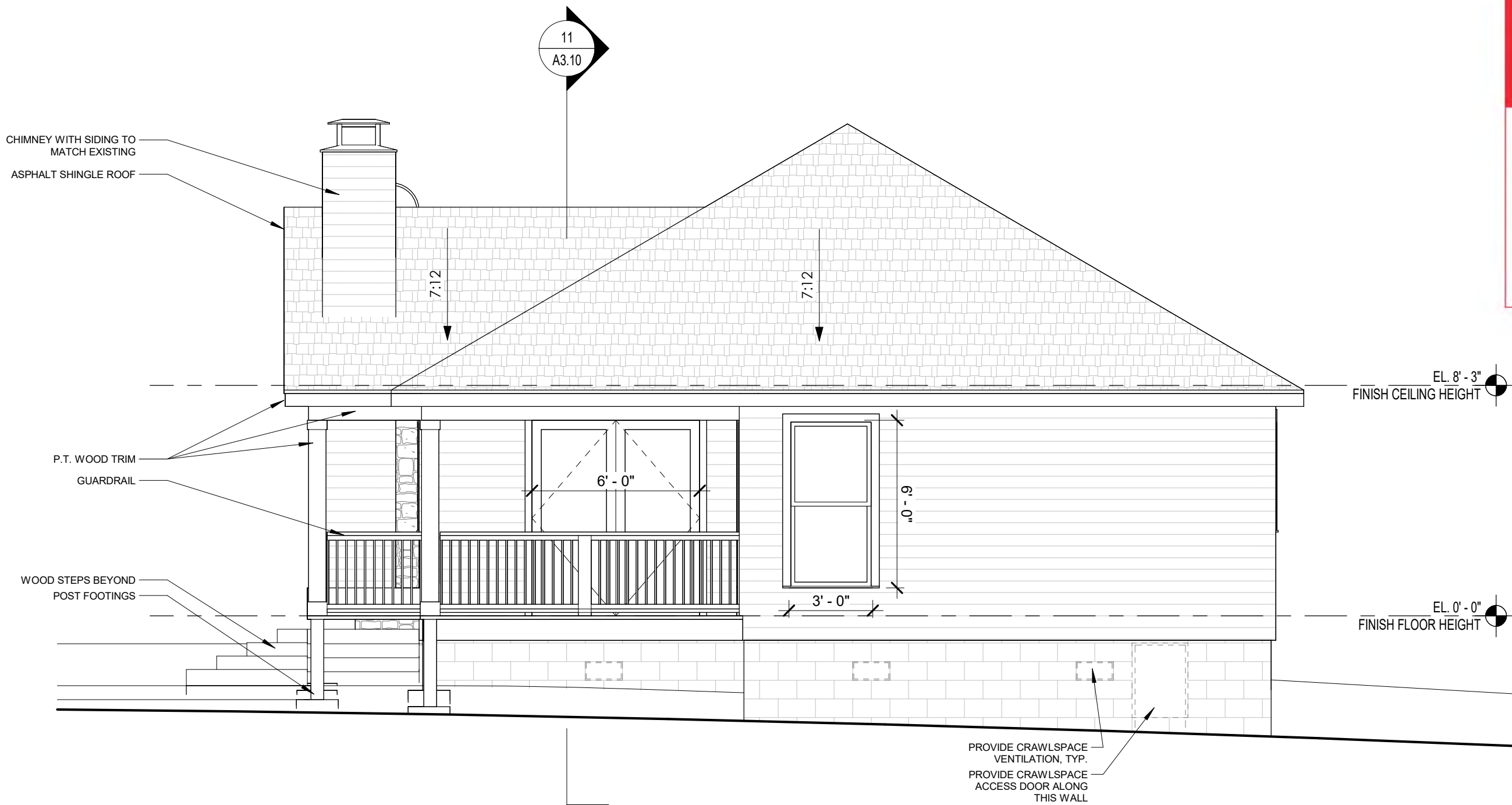
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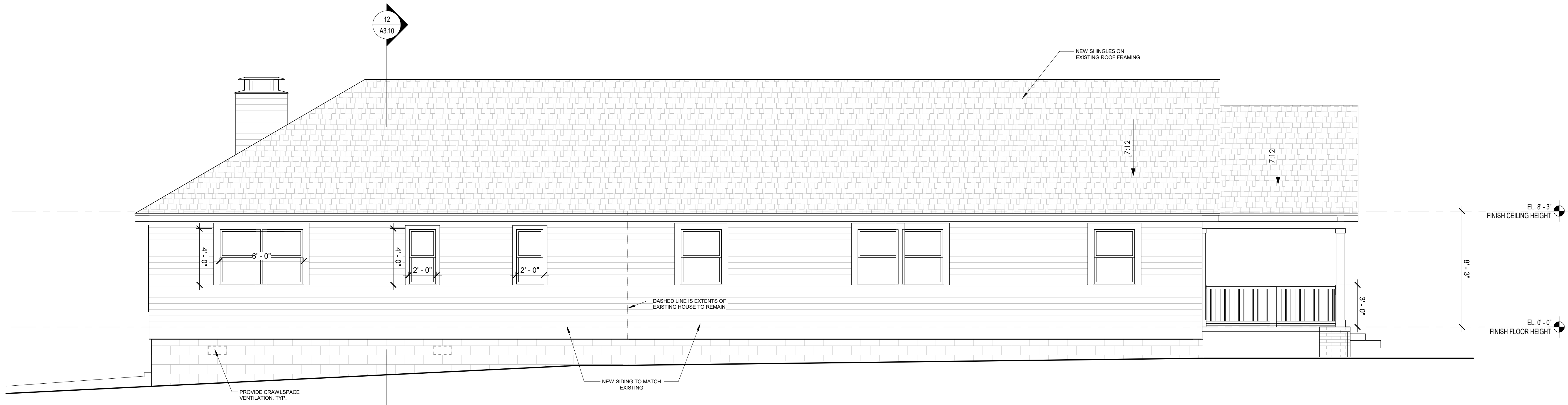
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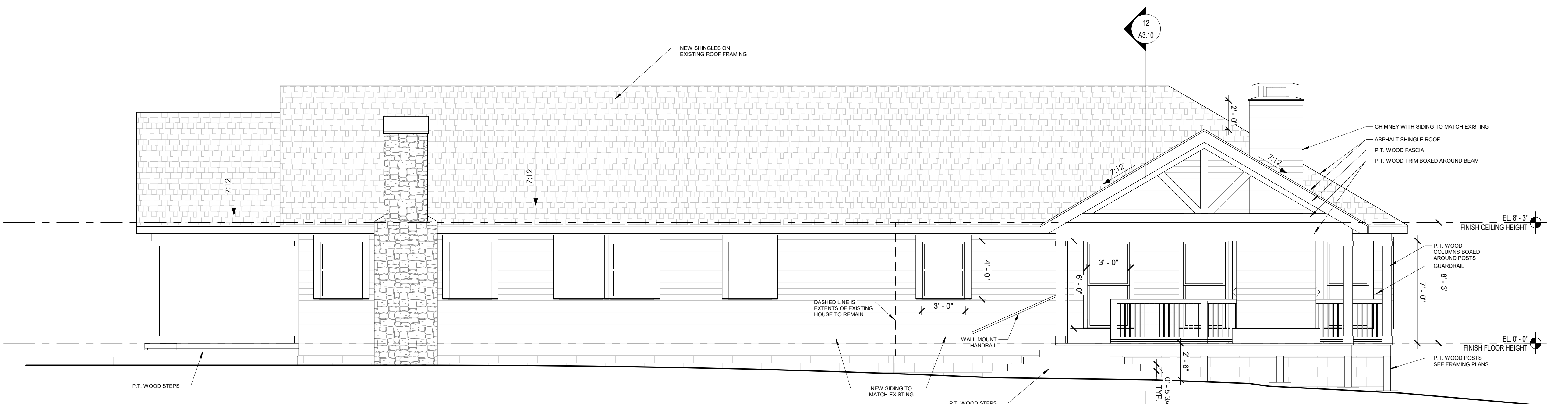
4 FRONT ELEVATION  
A4.10 SCALE: 1/4" = 1'-0"



3 BACK ELEVATION  
A4.10 SCALE: 1/4" = 1'-0"



2 SIDE 2 ELEVATION  
A4.10 SCALE: 1/4" = 1'-0"



1 SIDE 1 ELEVATION  
A2.11 A4.10 SCALE: 1/4" = 1'-0"



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07/09/02  
Date

EXTERIOR ELEVATIONS

A4.10