


REGIONAL REVIEW FINDING

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: SEPTEMBER 13, 2023

TO: MAYOR ANDRE DICKENS, City of Atlanta
ATTN TO: KEYETTA HOLMES, DIRECTOR OFFICE OF ZONING AND DEVELOPMENT, City of Atlanta
FROM: Anna Roach, Executive Director, Atlanta Regional Commission 

ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-23-08A 2323 Paul Avenue NW

Submitting Local Government: City of Atlanta

Date Opened: August 29, 2023

Date Closed: September 13, 2023

FINDING: ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: No comments were received.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
HISTORIC RIVER LINE

CHATTAHOOCHEE RIVERKEEPER
CITY OF SMYRNA

If you have any questions regarding this review, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC website at <https://atlantaregional.org/plan-reviews>.



APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: CITY OF ATLANTA

2. Owner(s) of Record of Property to be Reviewed:

Name(s): DONALD J. THOMAS III AND LAUREN THOMAS

Mailing Address: 2323 PAUL AVE. NW

City: ATLANTA State: GA Zip: 30318

Contact Phone Numbers (w/Area Code):

Daytime Phone: 404-625-9567 Fax: _____

Other Numbers: 770-880-8250

3. Applicant(s) or Applicant's Agent(s):

Name(s): LAUREN THOMAS

Mailing Address: 2323 PAUL AVE. NW

City: ATLANTA State: GA Zip: 30318

Contact Phone Numbers (w/Area Code):

Daytime Phone: 404-625-9567 Fax: _____

Other Numbers: 770-880-8250

4. Proposed Land or Water Use:

Name of Development: THOMAS HOUSE EXPANSION

Description of Proposed Use: RESIDENTIAL ADDITION - HOUSE BEING EXPANDED TO THE BACK

5. Property Description (Attach Legal Description and Vicinity Map):

Land Lot(s), District, Section, County: LL-253 LD-17 - FULTON COUNTY

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____

2323 PAUL AVE NW, ATLANTA GA 30318; 204' TO BERNARD RD.

Size of Development (Use as Applicable):

Acres:	Inside Corridor:	<u>0.4994 ACRES</u>
	Outside Corridor:	_____
	Total:	<u>0.4994 ACRES</u>
Lots:	Inside Corridor:	<u>1</u>
	Outside Corridor:	_____
	Total:	<u>1</u>
Units:	Inside Corridor:	<u>1</u>
	Outside Corridor:	_____
	Total:	<u>1</u>

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor: _____

Outside Corridor: _____

Total: _____



6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system YES, CITY OF ATLANTA

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	<u>21,754SF</u>	<u>10,877SF</u>	<u>6526.2 SF</u>	(50) <u>50</u>	(30) <u>30</u>
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	_____	_____	_____	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

X Existing vegetation plan.

X Proposed grading plan.

X Certified as-builts of all existing land disturbance and impervious surfaces.

X Approved erosion control plan.

X Detailed table of land-disturbing activities. (Both on this form and on the plans)

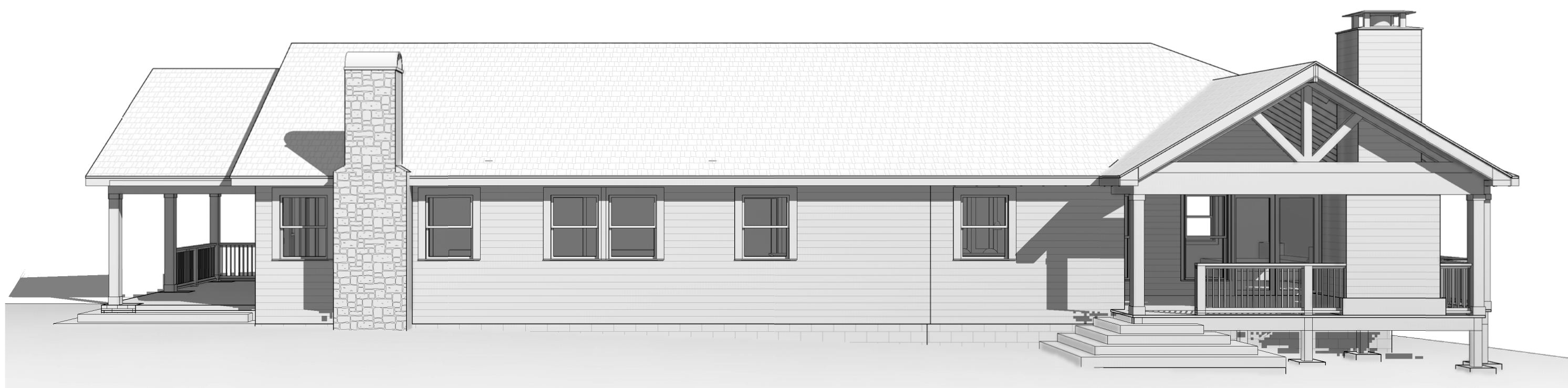


THOMAS HOUSE EXPANSION

2323 PAUL AVE NW

ATLANTA, GA 30318

PERMIT SET



SCOPE OF WORK:

EXISTING SINGLE STORY HOME IS BEING EXPANDED TO THE BACK.

DRAWING INDEX

SHEET NO.	SHEET NAME	CURRENT REVISION DATE	CURRENT REVISION DESCRIPTION
A0.00	COVER SHEET	06/30/23	PERMIT V1
A0.10	SURVEY	06/30/23	PERMIT V1
A1.00	SITE PLAN	06/30/23	PERMIT V1
A2.10	EXISTING PLANS & ELEVATIONS	06/30/23	PERMIT V1
A2.11	FLOOR PLAN & RCP	06/30/23	PERMIT V1
A2.21	ROOF PLAN	06/30/23	PERMIT V1
A2.31	FRAMING DIAGRAM	06/30/23	PERMIT V1
A2.33	ROOF FRAMING DIAGRAM	06/30/23	PERMIT V1
A3.10	SECTIONS	06/30/23	PERMIT V1
A4.10	EXTERIOR ELEVATIONS	06/30/23	PERMIT V1

MRPA-23-013



GENERAL NOTES:

A. GENERAL NOTES:

1. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING THE SAFETY OF PERSONS, PROPERTY, AND FOR NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS, AND FOR COMPLIANCE WITH O.S.H.A. SAFETY STANDARDS. ARCHITECTS AND THEIR CONSULTANTS' JOB SITE OBSERVATIONS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
2. EACH CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH SPECIFIED PRODUCTS RELATING TO THEIR WORK. THEY ARE TO SUBMIT WRITTEN OBJECTIONS PRIOR TO BIDDING. IF THE CONTRACTOR HAS AN OBJECTION TO ANY PRODUCT AND / OR DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS.
3. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS. WORK THAT COULD BE EFFECTED BY THE DISCREPANCY SHALL BE HELD UNTIL SUCH DISCREPANCIES ARE RESOLVED. CONTRACTOR TO ALERT ARCHITECT IF SCHEDULE OR SEQUENCING MAY BE AFFECTED BY REVIEW AND TO EXPEDITE COORDINATION WHERE NECESSARY TO AVOID SCHEDULE CONFLICTS.
4. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, AND MECHANICAL.
5. SEPARATE PERMITS, WHEN REQUIRED AND / OR ARE DESIGN-BUILD, SHALL BE OBTAINED BY THE CONTRACTOR FOR MECHANICAL, PLUMBING, ELECTRICAL, FIRE ALARM AND FIRE SPRINKLER. DESCRIPTIVE, DETAILED DESIGN AND SUPPLEMENTAL DOCUMENTS SHALL BE PROVIDED FOR REVIEW BY THE AUTHORITY HAVING JURISDICTION AND BY THE OWNER / ARCHITECT FOR APPROVAL PRIOR TO WORK BEING PERFORMED
6. DO NOT SCALE DRAWINGS.
7. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
8. WORK DONE SHALL BE IN CONFORMANCE WITH THE APPROVED PLANS AND PROJECT SPECIFICATIONS. THE APPROVED, PERMITTED, STAMPED PLANS ARE TO REMAIN ON SITE AT ALL TIMES.
9. WHEN CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK. IF QUESTIONS CAN NOT BE RESOLVED IN THIS MANNER, CONTACT THE ARCHITECT PRIOR TO PROCEEDING.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY THROUGHOUT CONSTRUCTION.

B. DEFINITIONS:

1. "TYPICAL" OR "TYP." INDICATES IDENTICAL COMPLETE SYSTEM, ASSEMBLY OR COMPONENT SHALL BE PROVIDED FOR EACH OCCURANCE OF THE CONDITION NOTED.
4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, LEVEL, AND/OR PLOMB RELATION TO ADJACENT SURFACES.

APPLICABLE CODES:

CONSTRUCTION CODES

THE FOLLOWING WILL BE THE STATE OF GEORGIA'S MINIMUM STANDARD CONSTRUCTION CODES:

- INTERNATIONAL BUILDING CODE,
 - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE,
 - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE,
 - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL PLUMBING CODE,
 - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE,
 - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE,
 - 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE CODE,
 - 2017 EDITION, WITH NO GEORGIA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE,
 - 2015 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NFPA101,
 - LIFE SAFETY CODE 2018 EDITION, WITH STATE AMENDMENTS (2020)

PROPERTY IS ZONED R-4A CITY OF ATLANTA:

2323 PAUL AVE NW, ATLANTA, GA 30318

BUILDING SETBACKS:

FRONT: 30'
SIDE: 7'
BACK: 15'

MAXIMUM LOT COVERAGE: 55%
MAXIMUM BUILDING HEIGHT: 35'

FAR CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED CONDITIONS:
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

EXISTING GROUND FLOOR SQ. FOOTAGE.....1,358
ADDITIONAL SQ. FOOTAGE.....778

TOTAL PROPOSED COMPLETE SQ. FOOTAGE2,136 SQ. FT.

FAR = (2,136)/(21,754) = 9.8%

BUILDING HEIGHT: 22'
CONSTRUCTION TYPE / OCCUPANCY: VB / R1

SQ. FOOTAGE CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

HEATED

GROUND FLOOR SQ. FOOTAGE (HEATED & FINISHED).....2,136 SQ. FT.

TOTAL (HEATED & FINISHED) = 2,136 SQ. FT.

UNHEATED

BACK PORCH SQ. FOOTAGE.....393 SQ. FT.
FRONT PORCH. SQ. FOOTAGE.....240 SQ. FT.

IMPERVIOUS CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED IMPERVIOUS CONDITIONS:
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

EXISTING CONDITIONS:

GROUND FLOOR SQ. FOOTAGE.....1,358 SQ. FT.
FRONT PORCH SQ. FOOTAGE.....240 SQ. FT.
SIDEWALK SQ. FOOTAGE.....276 SQ. FT.
DRIVEWAY SQ. FOOTAGE.....384 SQ. FT.
BACK STEP.....50 SQ. FT.

TOTAL EXISTING IMPERVIOUS2,308 SQ. FT.

EXISTING COVERAGE = (2,308)/(21,754) = 10.6%

PROPOSED CONDITIONS:

GROUND FLOOR SQ. FOOTAGE.....2,136 SQ. FT.
BACK PORCH SQ. FOOTAGE.....393 SQ. FT.
FRONT PORCH. SQ. FOOTAGE.....240 SQ. FT.
SIDEWALK SQ. FOOTAGE.....276 SQ. FT.
DRIVEWAY SQ. FOOTAGE.....384 SQ. FT.
FRONT & BACK WOOD STEP.....95 SQ. FT.

TOTAL PROPOSED IMPERVIOUS3,524 SQ. FT.

PROPOSED COVERAGE = (3,524)/(21,754) = 16.1%

ARCHITECT:

LAUREN FOWLER THOMAS
2323 PAUL AVE NW
ATLANTA, GA 30318

404-625-9567
LAVENDERFOWLER@GMAIL.COM

CONTRACTOR:

(OWNER)
LAUREN FOWLER THOMAS
2323 PAUL AVE NW
ATLANTA, GA 30318

404-625-9567
LAVENDERFOWLER@GMAIL.COM

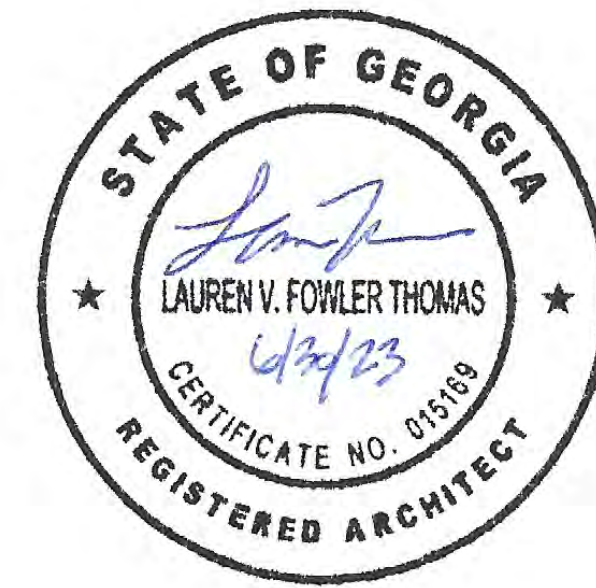
STRUCTURAL ENGINEER:

STABILITY ENGINEERING
1376 CHURCH ST., SUITE 200
DECATUR, GA 30030

404-377-9316

ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

THOMAS HOUSE EXPANSION
2323 PAUL AVE NW
ATLANTA, GA 30318



LAUREN FOWLER THOMAS
ARCHITECT
404.625.9567

1000
Project No.
06/30/23
Date

COVER SHEET

A0.00

Drawing No.

ISSUED FOR CONSTRUCTION

ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

MRPA-23-013



THOMAS HOUSE EXPANSION
2323 PAUL AVE NW
ATLANTA, GA 30318



LAUREN FOWLER THOMAS
ARCHITECT
404.625.9567

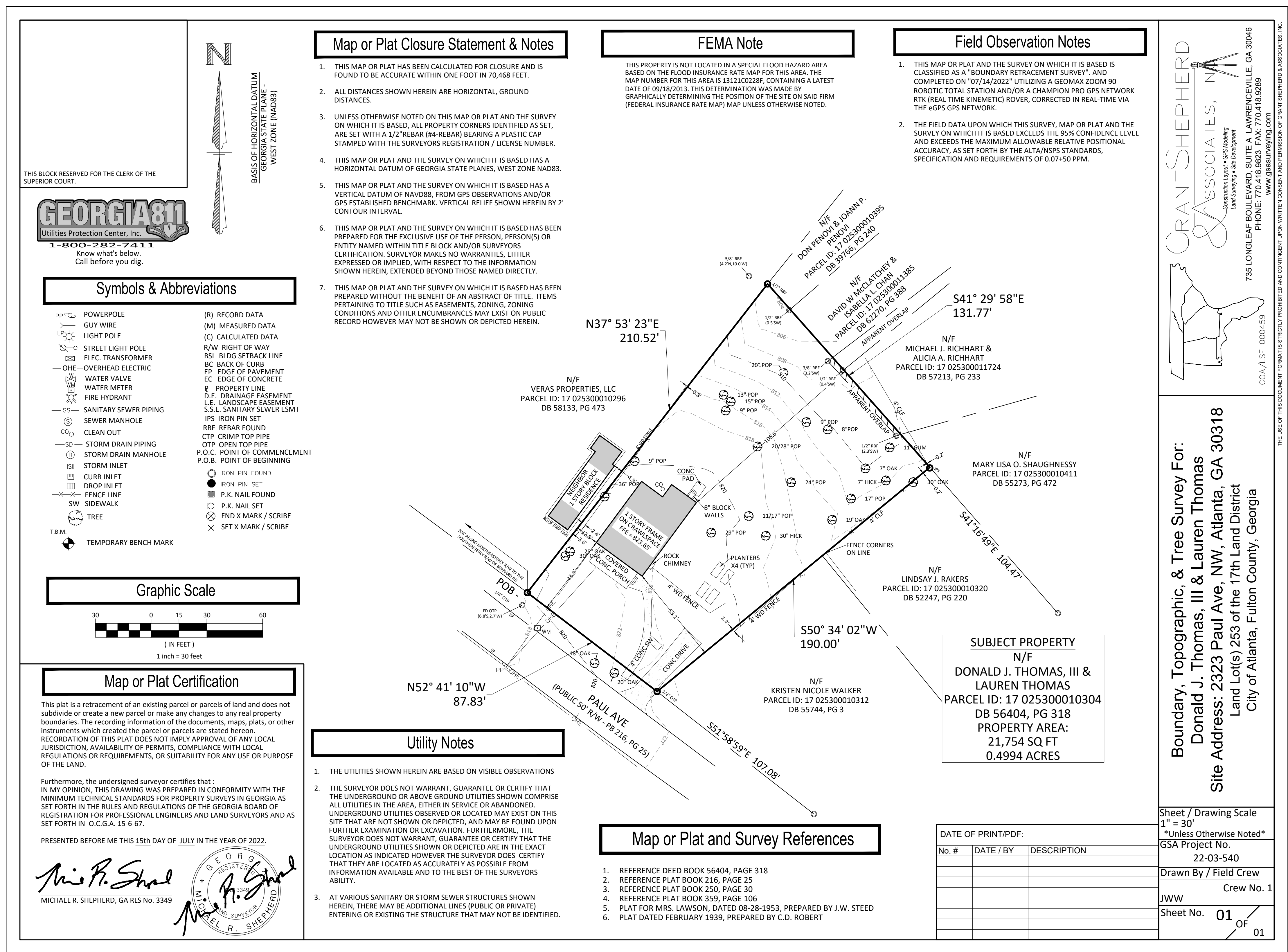
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Project No.
06/30/23
Date

SURVEY

A0.10

Drawing No.

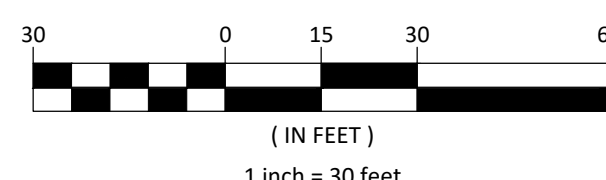
ISSUED FOR CONSTRUCTION



Symbols & Abbreviations

PP □ POWERPOLE	(R) RECORD DATA
— GUY WIRE	(M) MEASURED DATA
— LIGHT POLE	(C) CALCULATED DATA
— STREET LIGHT POLE	R/W RIGHT OF WAY
— ELEC. TRANSFORMER	BSL BLDG SETBACK LINE
— OVERHEAD ELECTRIC	BC BACK OF CURB
— WATER VALVE	EP EDGE OF PAVEMENT
— WATER METER	EC EDGE OF CONCRETE
— FIRE HYDRANT	P PROPERTY LINE
— SS SANITARY SEWER PIPING	D.E. DRAINAGE EASEMENT
— SEWER MANHOLE	S.S.E. SANITARY SEWER ESMT
— CLEAN OUT	IPS IRON PIN SET
— STORM DRAIN PIPING	RFB REBAR FOUND
— STORM DRAIN MANHOLE	CTP CRIMP TOP PIPE
— STORM INLET	OTF OPEN TOP PIPE
— CURB INLET	P.O.C. POINT OF COMMENCEMENT
— DROP INLET	P.O.B. POINT OF BEGINNING
— FENCE LINE	○ IRON PIN FOUND
— SW SIDEWALK	● IRON PIN SET
— TREE	□ P.K. NAIL FOUND
— T.B.M. TEMPORARY BENCH MARK	□ P.K. NAIL SET
	— FND X MARK / SCRIBE
	— SET X MARK / SCRIBE

Graphic Scale



Field Observation Notes

- THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS CLASSIFIED AS A "BOUNDARY RETRACEMENT SURVEY", AND COMPLETED ON 07/14/2022 UTILIZING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION AND/OR A CHAMBERLAIN PRO GPS NETWORK RTK (REAL TIME KINEMATIC) ROVER, CORRECTED IN REAL-TIME VIA THE GPS NETWORK.
- THE FIELD DATA UPON WHICH THIS SURVEY, MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED EXCEEDS THE 95% CONFIDENCE LEVEL AND EXCEEDS THE MAXIMUM ALLOWABLE RELATIVE POSITIONAL ACCURACY, AS SET FORTH BY THE ALTA/NSPS STANDARDS, SPECIFICATION AND REQUIREMENTS OF 0.07+50 PPM.

FAR CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED CONDITIONS:
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

EXISTING GROUND FLOOR SQ. FOOTAGE.....1,358
ADDITIONAL SQ. FOOTAGE.....778

TOTAL PROPOSED COMPLETE SQ. FOOTAGE.....2,136 SQ. FT.

FAR = (2,136)/(21,754) = 9.8%

BUILDING HEIGHT: 22'
CONSTRUCTION TYPE / OCCUPANCY: VB / R3

IMPERVIOUS CALCULATIONS:

2323 PAUL AVE NW, ATLANTA, GA 30318

EXISTING & PROPOSED IMPERVIOUS CONDITIONS:
LOT SIZE = 21,754 SQ. FT. OR 0.4994 ACRES

EXISTING CONDITIONS:
GROUND FLOOR SQ. FOOTAGE.....1,358 SQ. FT.
FRONT PORCH SQ. FOOTAGE.....240 SQ. FT.
SIDEWALK SQ. FOOTAGE.....276 SQ. FT.
DRIVEWAY SQ. FOOTAGE.....384 SQ. FT.
BACK STEP.....50 SQ. FT.

TOTAL EXISTING IMPERVIOUS.....2,308 SQ. FT.

EXISTING COVERAGE = (2,308)/(21,754) = 10.6%

PROPOSED CONDITIONS:
GROUND FLOOR SQ. FOOTAGE.....2,136 SQ. FT.
BACK PORCH SQ. FOOTAGE.....393 SQ. FT.
FRONT PORCH SQ. FOOTAGE.....240 SQ. FT.
SIDEWALK SQ. FOOTAGE.....276 SQ. FT.
DRIVEWAY SQ. FOOTAGE.....384 SQ. FT.
FRONT & BACK WOOD STEP.....95 SQ. FT.

TOTAL PROPOSED IMPERVIOUS.....3,524 SQ. FT.

PROPOSED COVERAGE = (3,524)/(21,754) = 16.1%

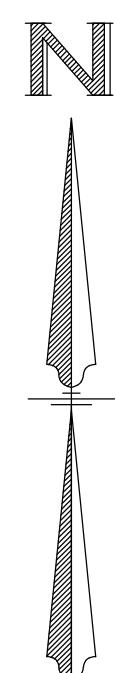
MRPA:

2323 PAUL AVE NW, ATLANTA, GA 30318

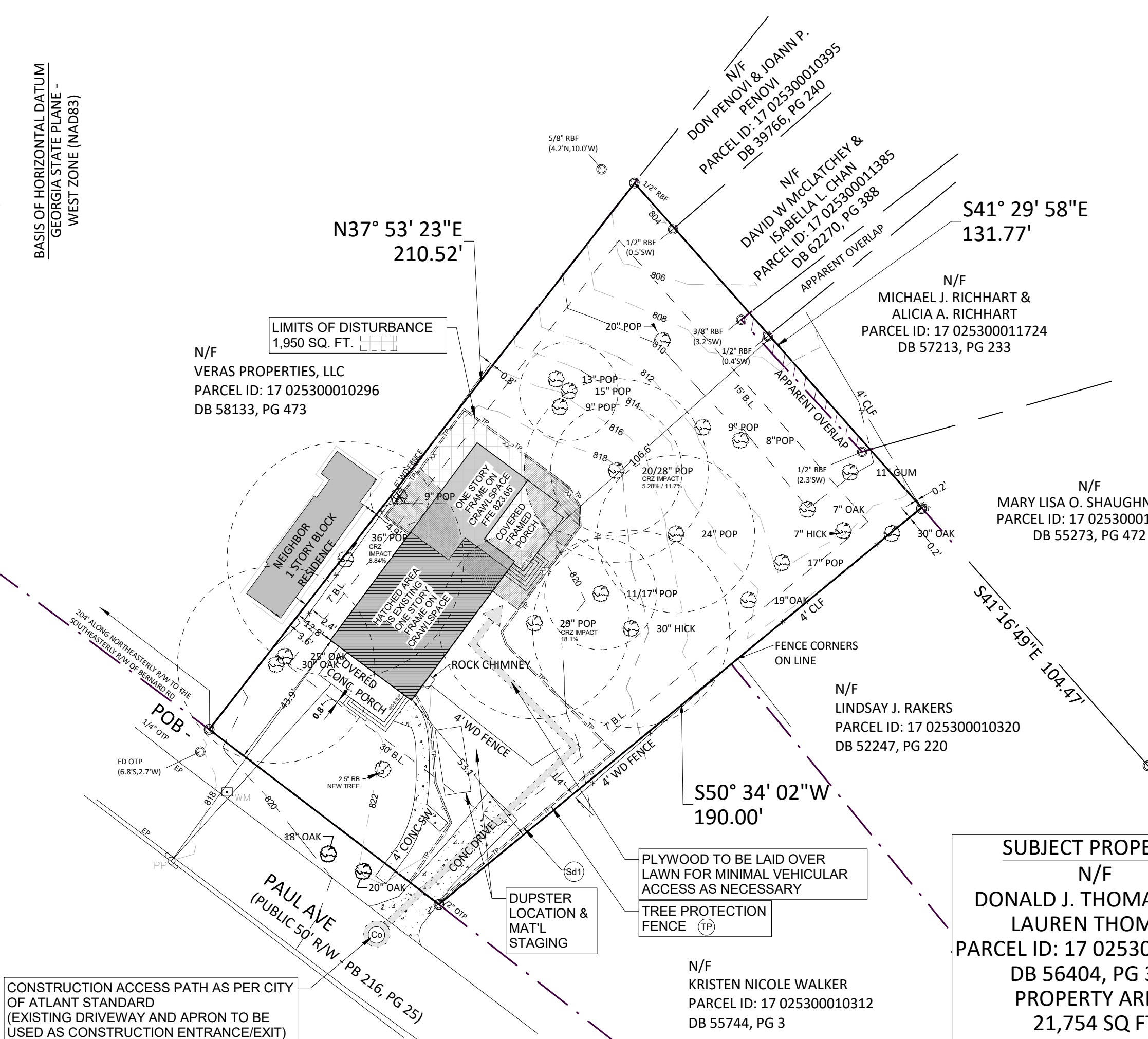
VULNERABILITY CATEGORY: D
MAXIMUM ALLOWABLE IMPERVIOUS AREA: 30%
PROPOSED IMPERVIOUS AREA: 16.1%
MAXIMUM ALLOWABLE DISTURBED AREA: 50%
PROPOSED DISTURBED AREA: 1,950 SQ. FT. / 21,754 SQ. FT. = 9%

SCOPE OF WORK:

EXISTING SINGLE STORY HOME IS BEING EXPANDED TO THE BACK.



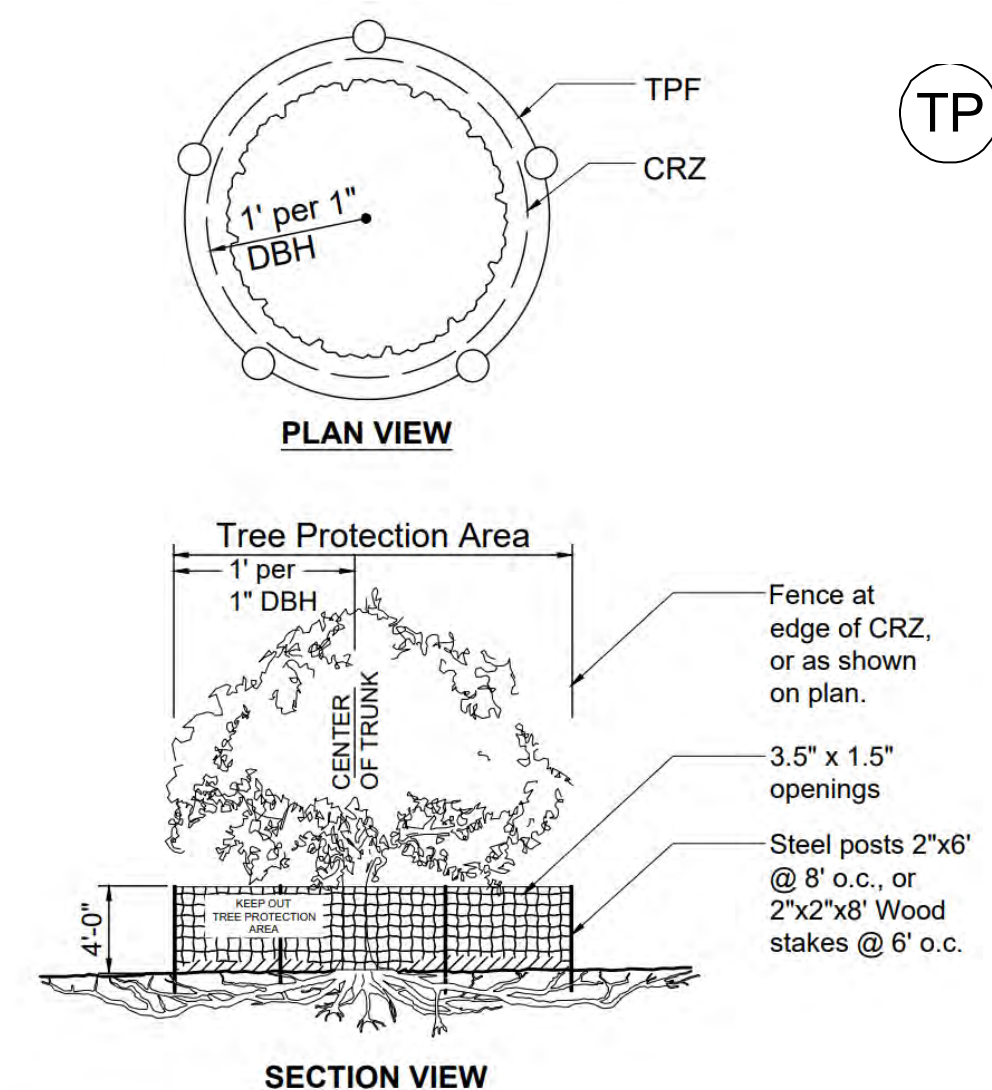
BASE OF HORIZONTAL PLANE
GEORGIA STATE PLANE
WEST ZONE (NAD83)



SUBJECT PROPERTY
N/F
DONALD J. THOMAS, III &
LAUREN THOMAS
PARCEL ID: 17 025300010304
DB 56404, PG 318
PROPERTY AREA:
21,754 SQ. FT
0.4994 ACRES

GENERAL NOTES

- SILT FENCE TO BE INSTALLED DURING CONSTRUCTION AS INDICATED.
- EXISTING CURB CUT TO REMAIN.
- THERE ARE NO KNOWN EASEMENTS ON THE SITE.
- THERE ARE NO 100 YEAR FLOOD PLAIN LIMITS ON THE SITE.
- EXISTING GRADES TO REMAIN, NO CUT AND FILL REQUIRED. NO GRADING REQUIRED.
- REFER TO SURVEY DRAWING FOR ADDITIONAL SITE INFORMATION.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREA IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH. DISTURBED AREA IDLE FOR MORE THAN 30 DAYS SHALL STABILIZED WITH PERMANENT VEGETATION.
- NO CONSTRUCTION OF NEW SEWER CONNECTION, SIDEWALKS, OR DRIVEWAY APRON WILL OCCUR, IF ANY CONSTRUCTION IN RIGHT-OF-WAY BECOMES NECESSARY, A "QUALIFIED CONTRACTOR" PERMIT WILL BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.



- Notes:
- No construction activity w/in CRZ; including no storing or stacking materials. Under no circumstances should the fence be trespassed in.
 - Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

GEORGIA UNIFORM CODING SYSTEM

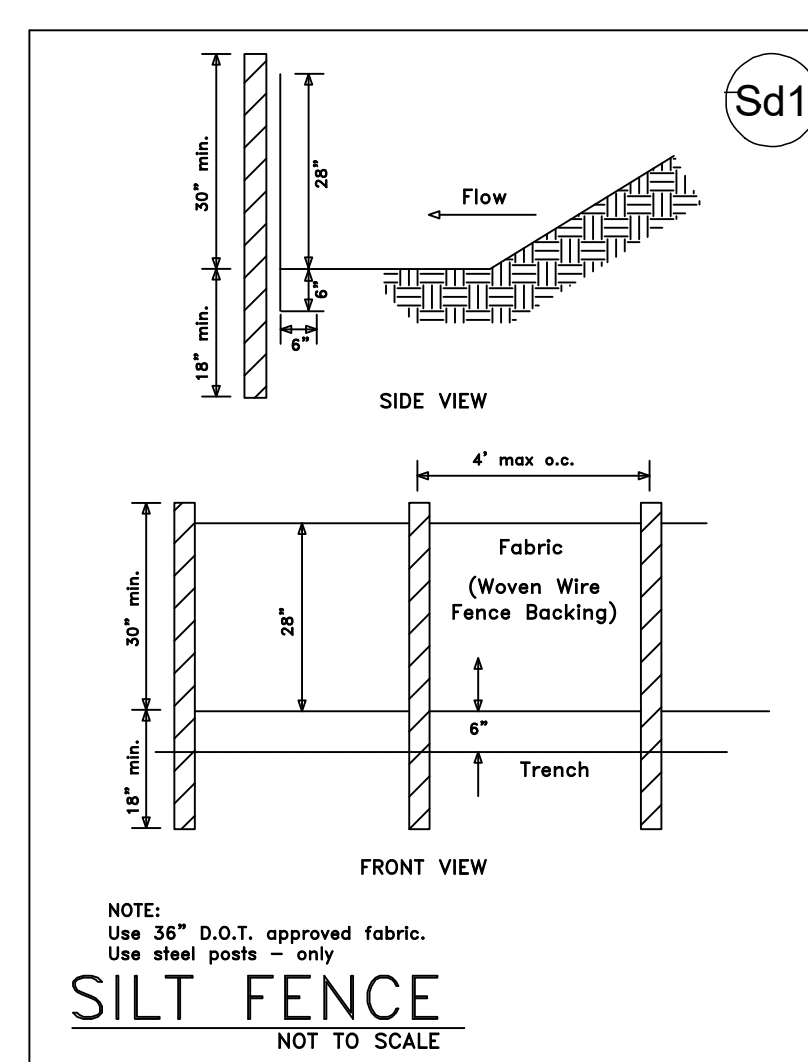
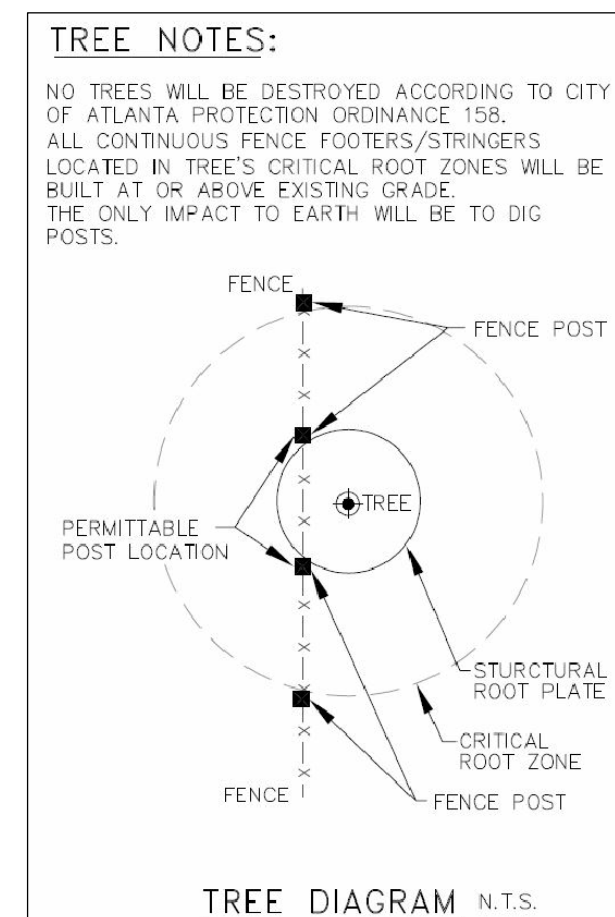
FOR SOIL EROSION AND
SEDIMENT CONTROL PRACTICES
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION ERT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, piles of straw or hay, brush, logs and poles, groves, or a silt fence.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	CONSTANT DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are otherwise artificially constructed, or re-nourished.
De1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
De2	DISTURBED AREA STABILIZATION (WITH MULCHING AND SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
De3	DISTURBED AREA STABILIZATION (WITH MULCHING AND SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
De4	DISTURBED AREA STABILIZATION (SEEDING)			A permanent vegetative cover using sods on lightly erodible or artificially eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Cd	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (WITH VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TWOYER AND BRIDGES			Substance used to anchor straw or hay mulch by causing the organic material to bind together.



SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 191 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1995 EDITION.

No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

THOMAS HOUSE EXPANSION
2323 PAUL AVE NW
ATLANTA, GA 30318



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ARCHITECT
404.625.9567

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Project No.
06/30/23
Date

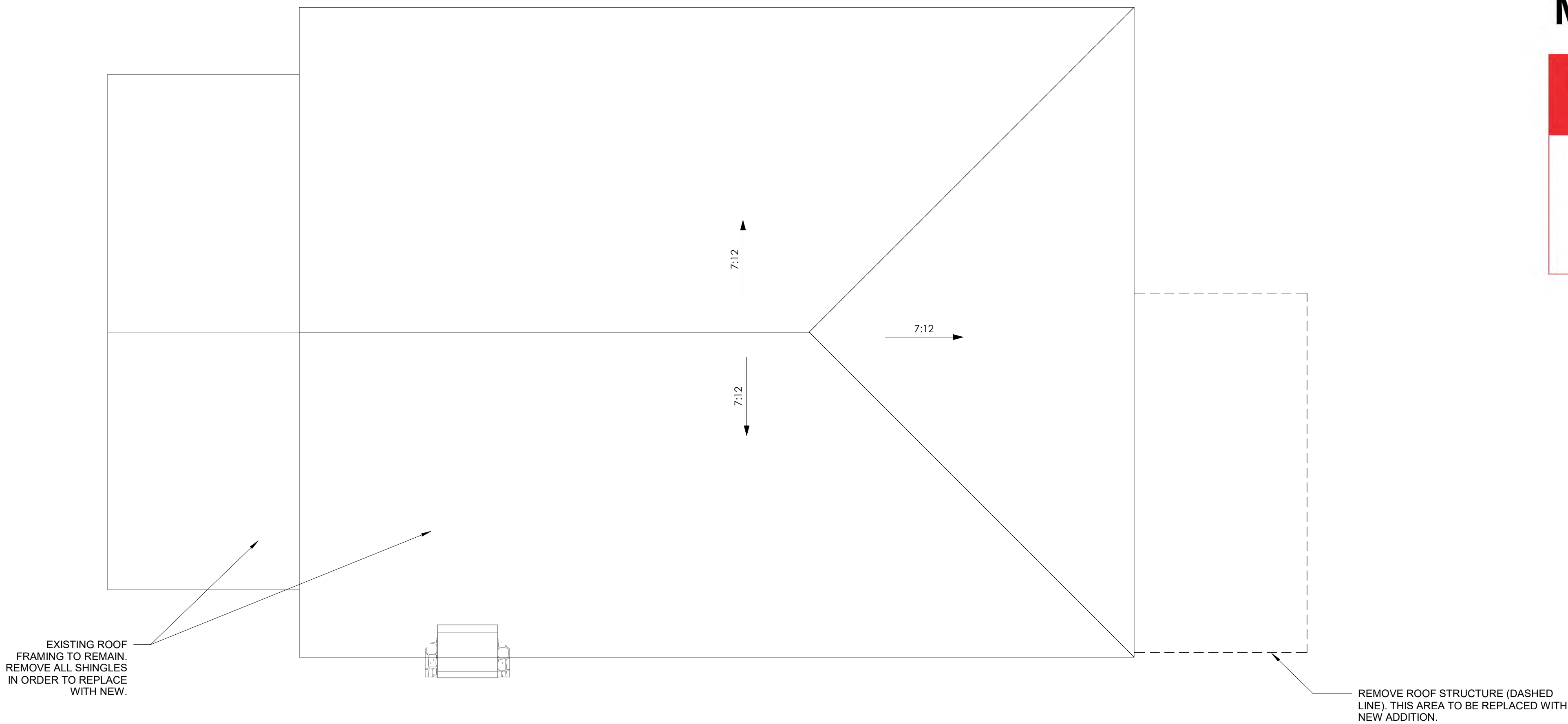
SITE PLAN

A1.00

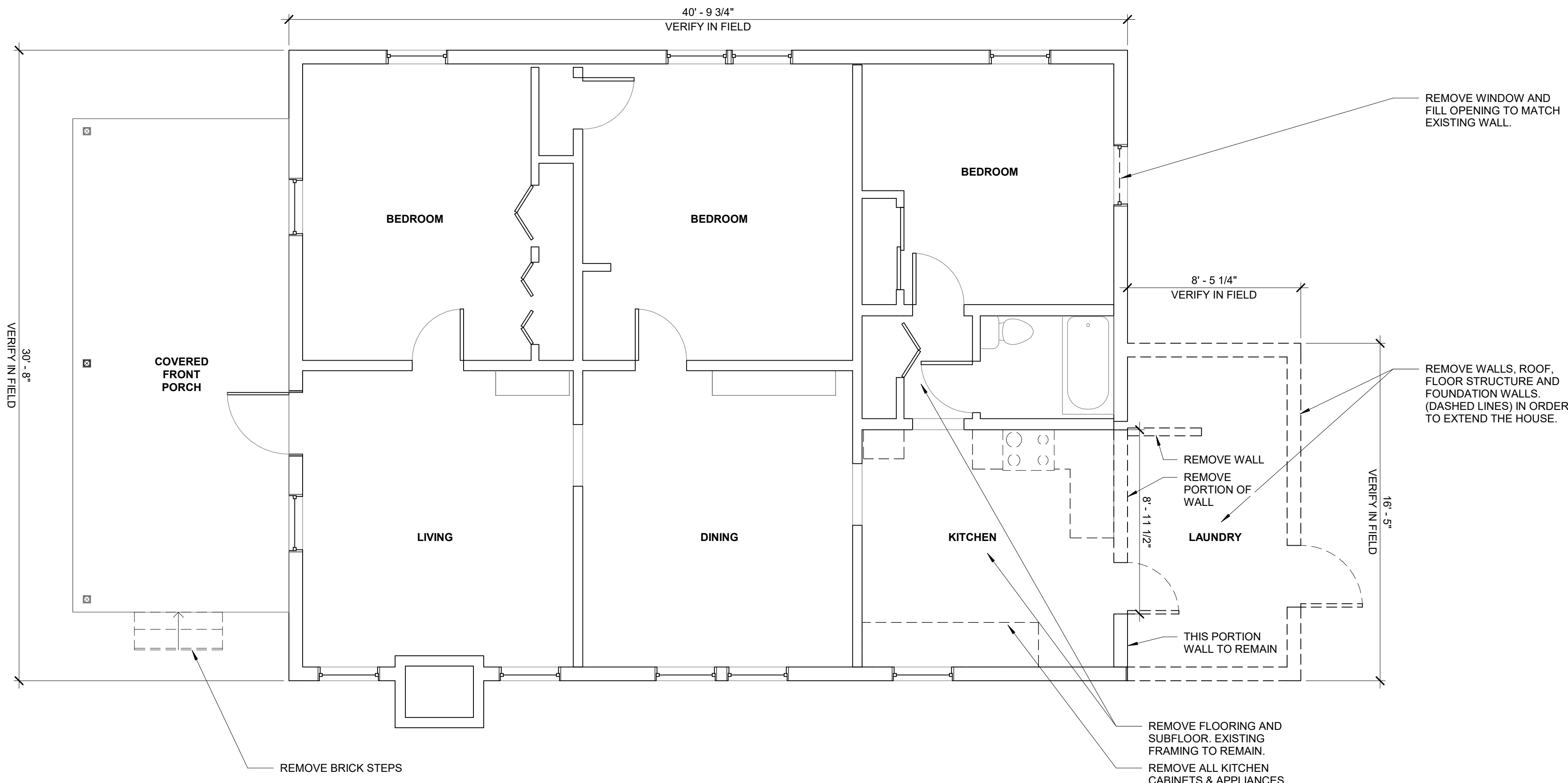
ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23



EXISTING FRONT AND SIDE OF HOUSE



2
A2.10
EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



1
A2.10
EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PHOTOS OF EXISTING BACK OF HOUSE



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EXISTING PLANS &
ELEVATIONS

A2.10

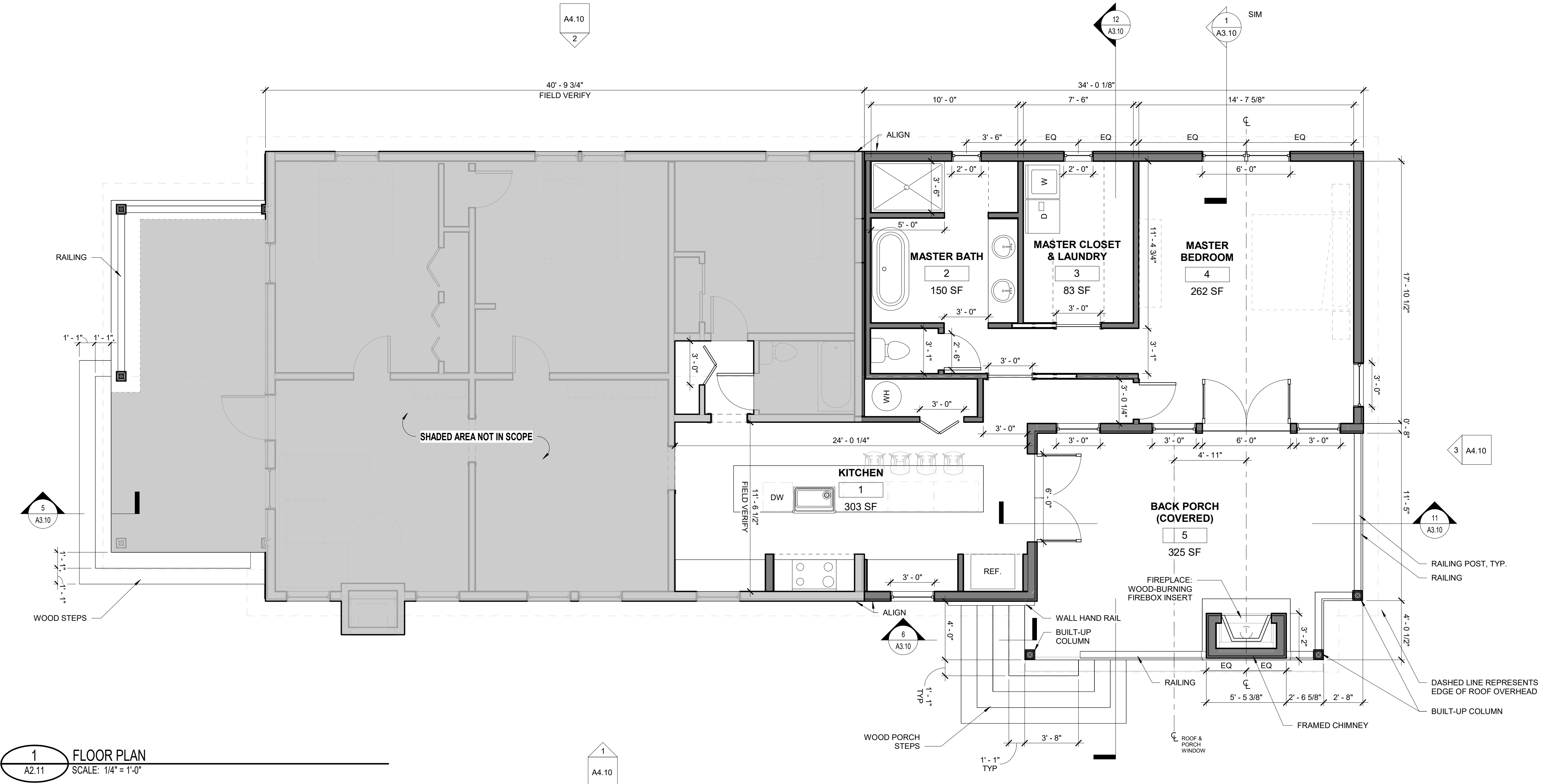
ISSUANCES		
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THOMAS HOUSE EXPANSION
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2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"
*ALL INTERIOR CEILINGS TO BE DRYWALL AND HEIGHT OF 8'-3" UNLESS OTHERWISE NOTED.



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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ARCHITECT
404.625.9567

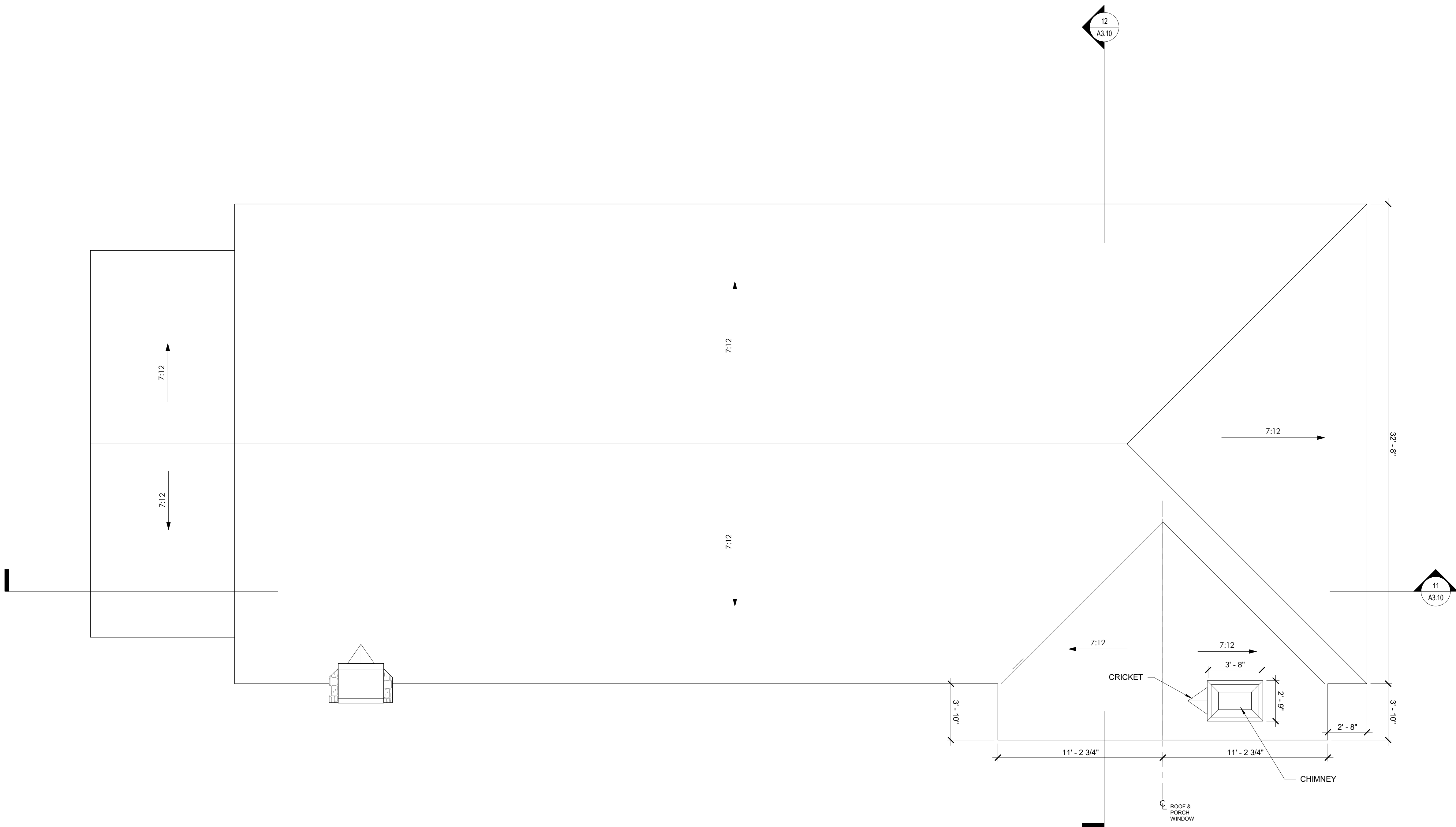
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Date

FLOOR PLAN & RCP

A2.11

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1 ROOF PLAN
A2.21 SCALE: 1/4" = 1'-0"

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ROOF PLAN

A2.21

ISSUANCES		
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1376 Church St., Ste 200, Decatur, GA 30030 PH/FAX: 404-377-8316



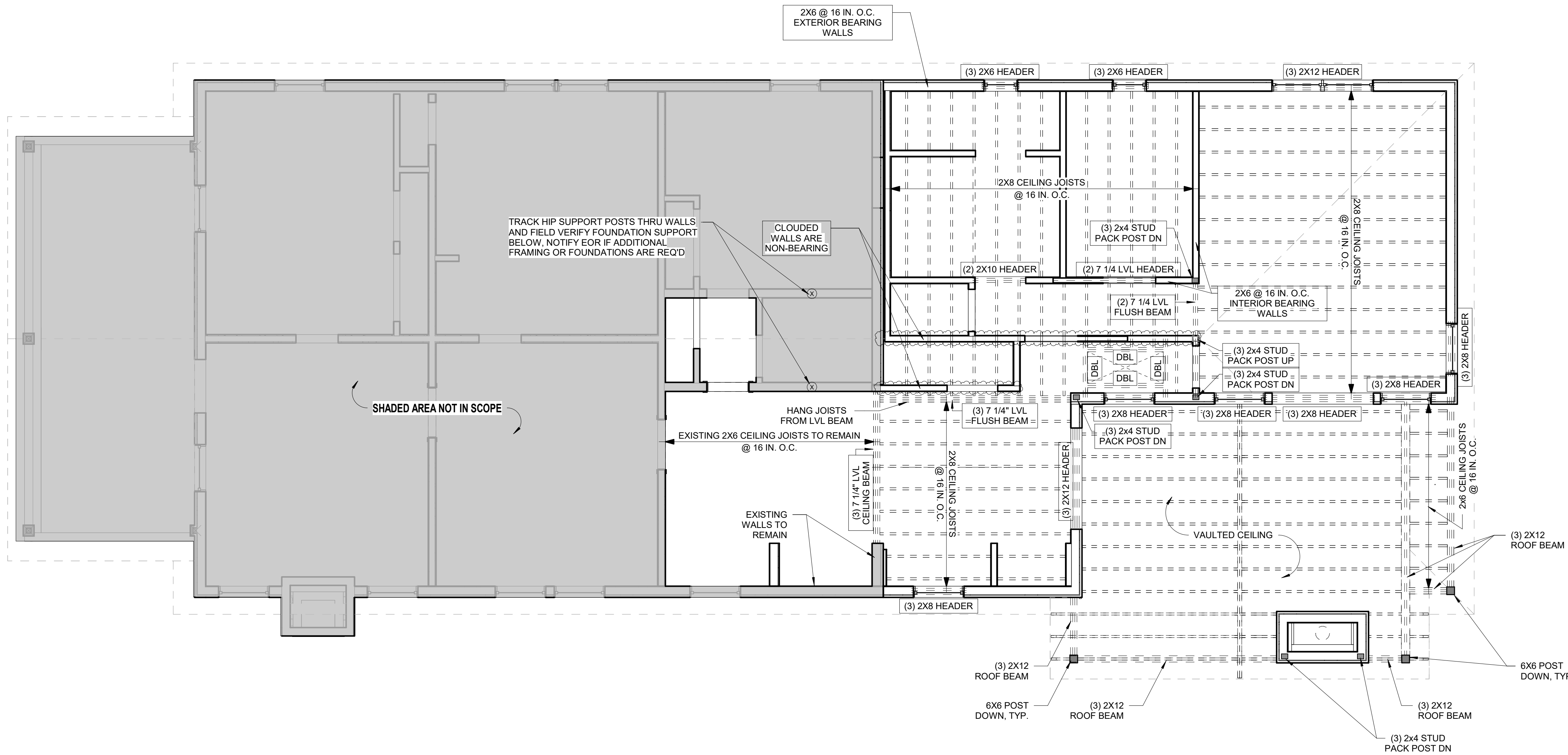
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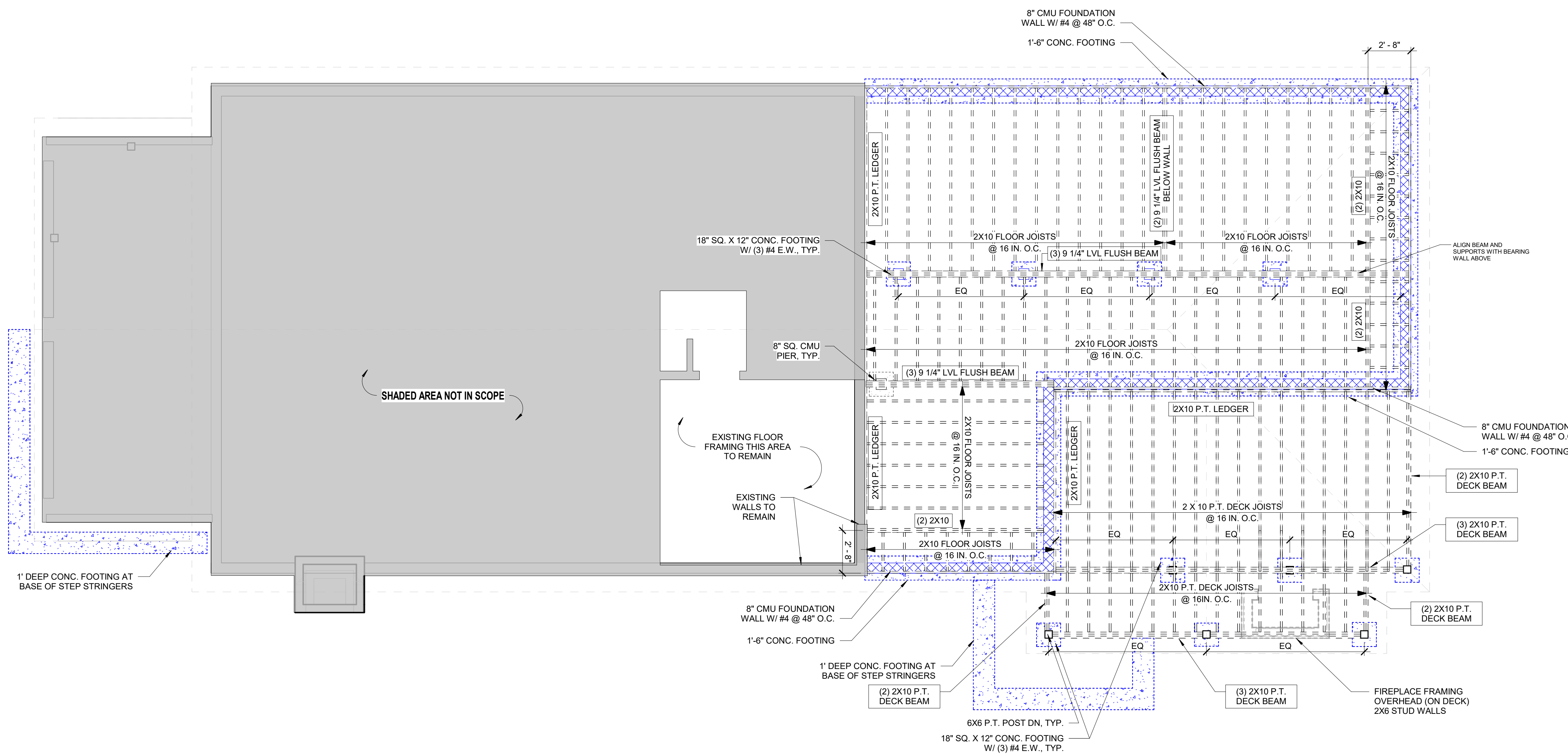
FRAMING DIAGRAMS

A2.31

Drawing No. ISSUED FOR CONSTRUCTION



2 CEILING FRAMING PLAN
A2.31 SCALE: 1/4" = 1'-0"



1 FOUNDATION & FLOOR FRAMING DIAGRAM
A2.31 SCALE: 1/4" = 1'-0"

ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

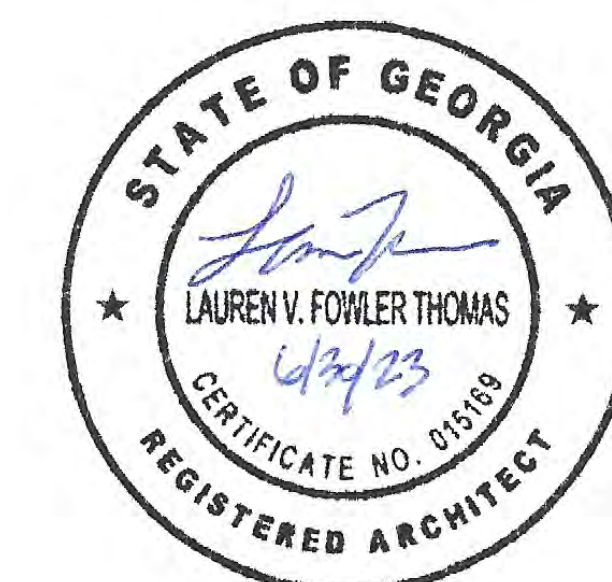
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LAUREN FOWLER THOMAS
ARCHITECT
404.625.9567

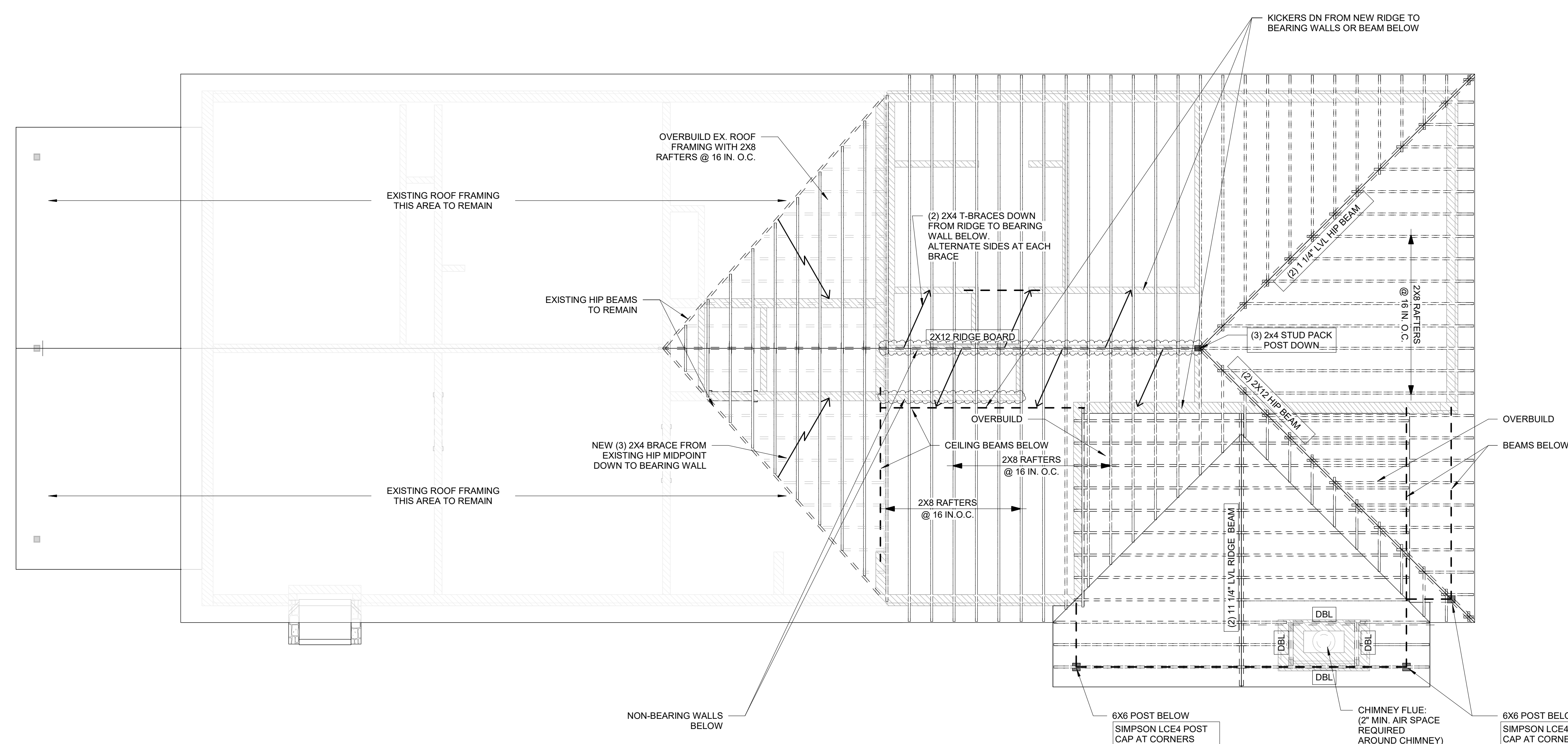
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ROOF FRAMING DIAGRAM

A2.33

Drawing No. _____

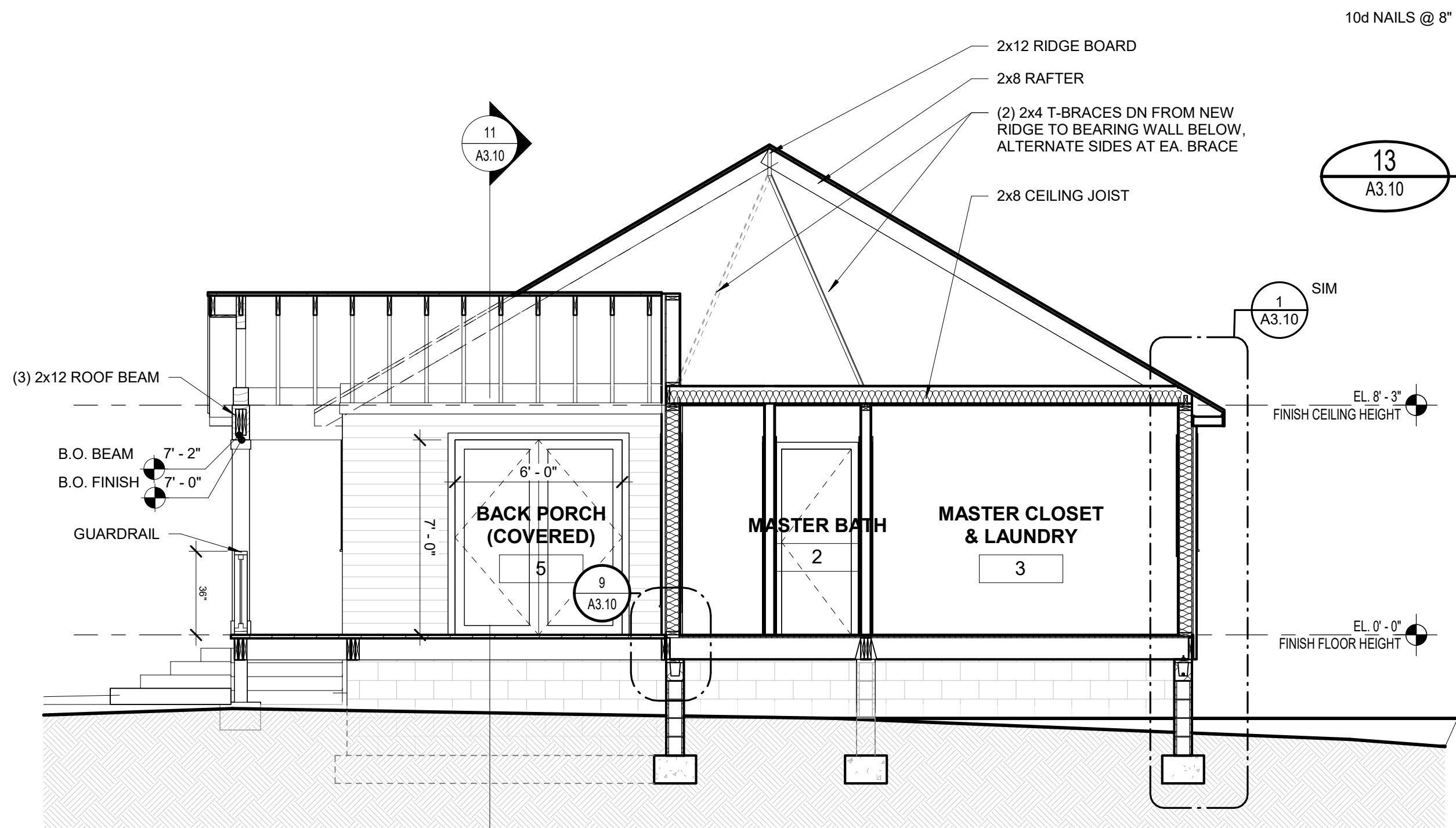
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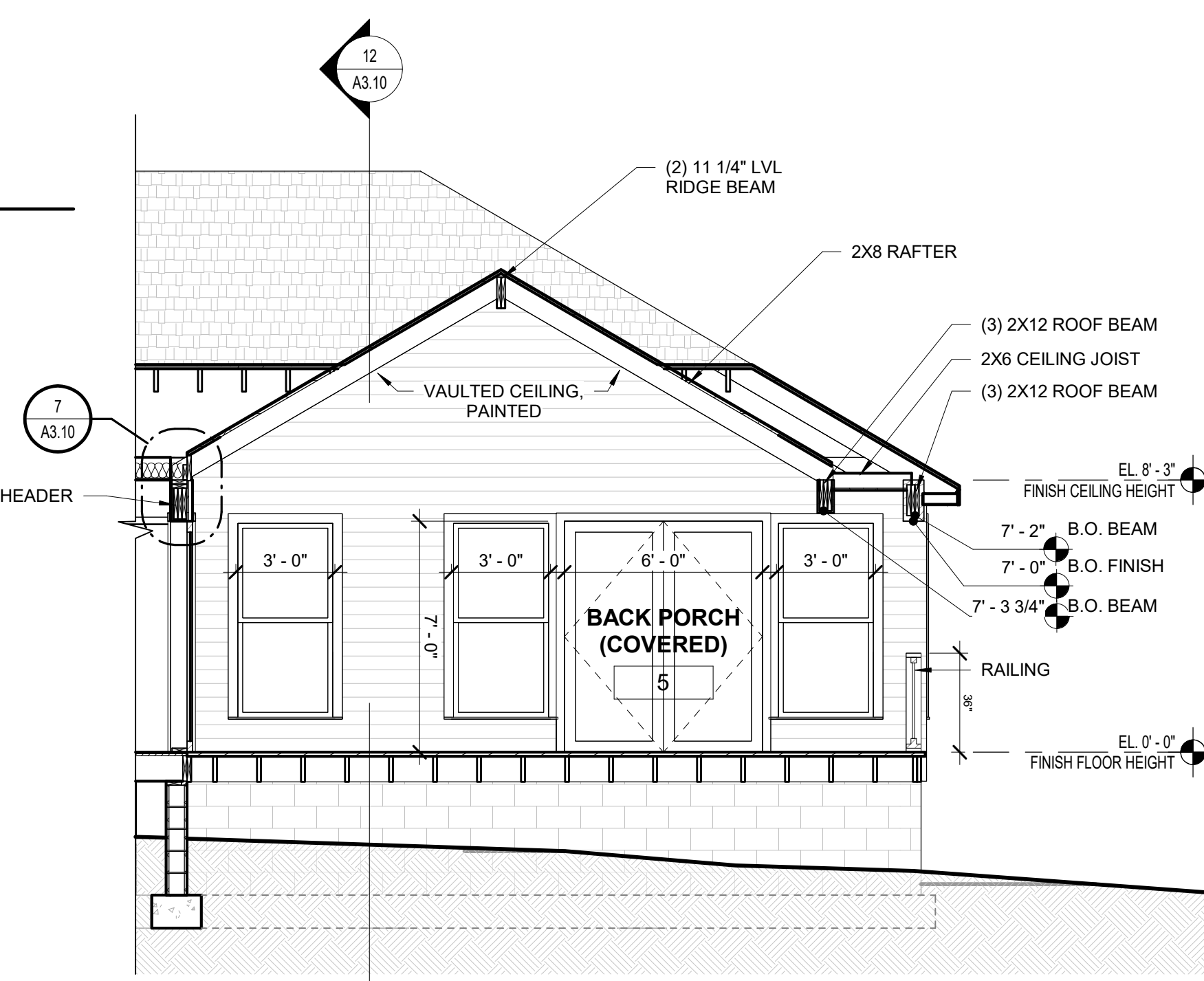
1 ROOF FRAMING DIAGRAM
A2.33 SCALE: 1/4" = 1'-0"

ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

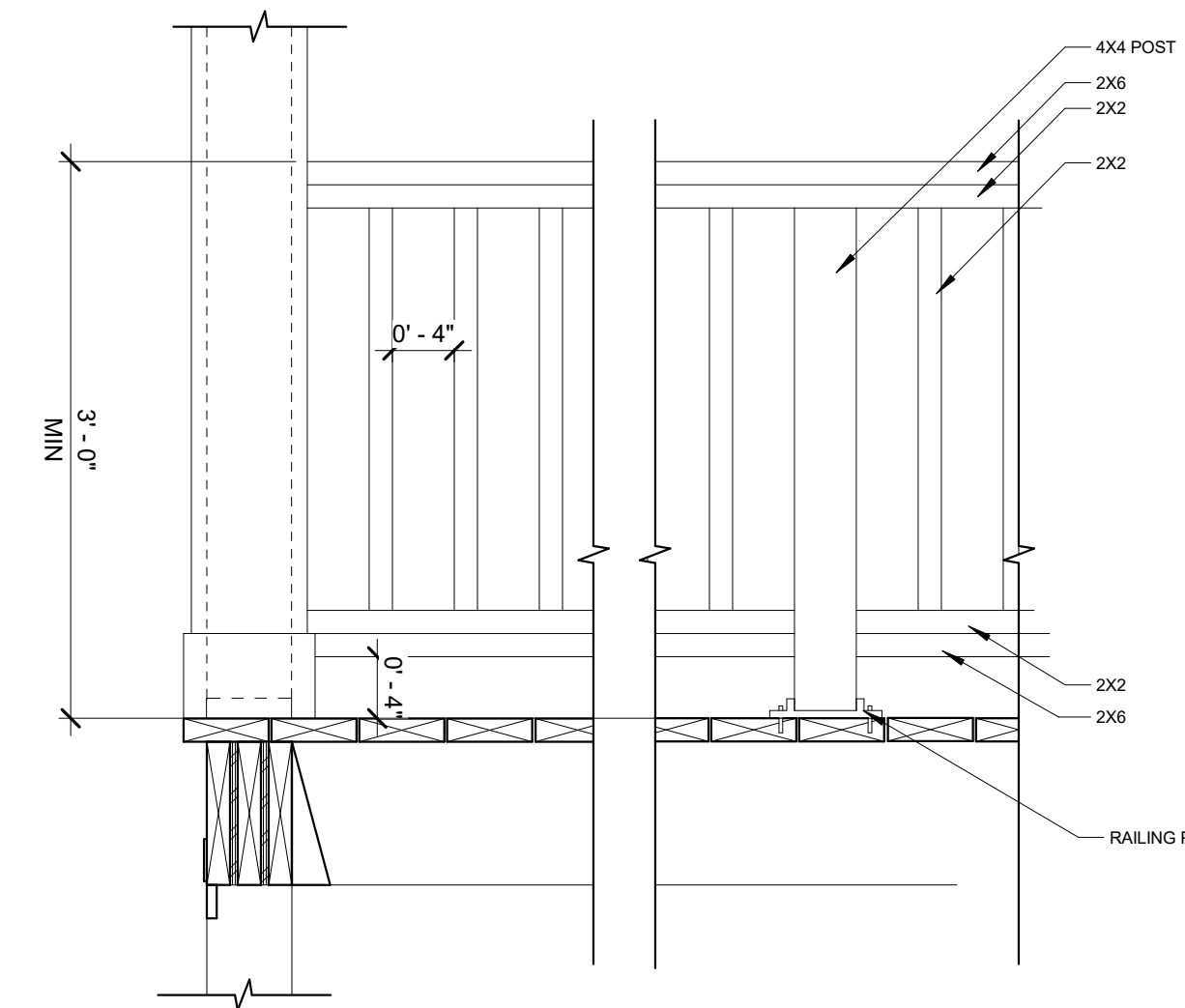
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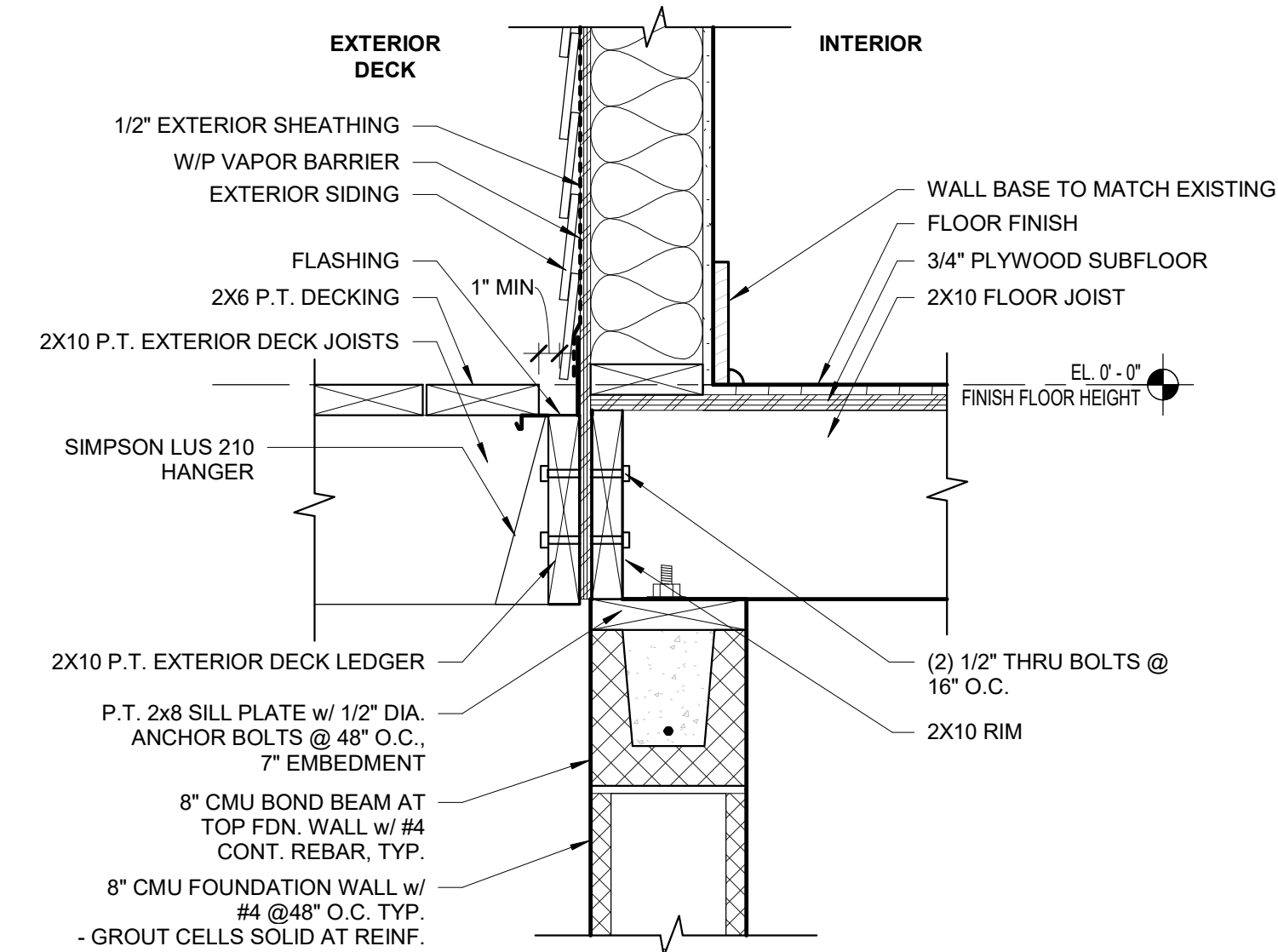
12 SECTION 1
A3.10 SCALE: 1/4" = 1'-0"



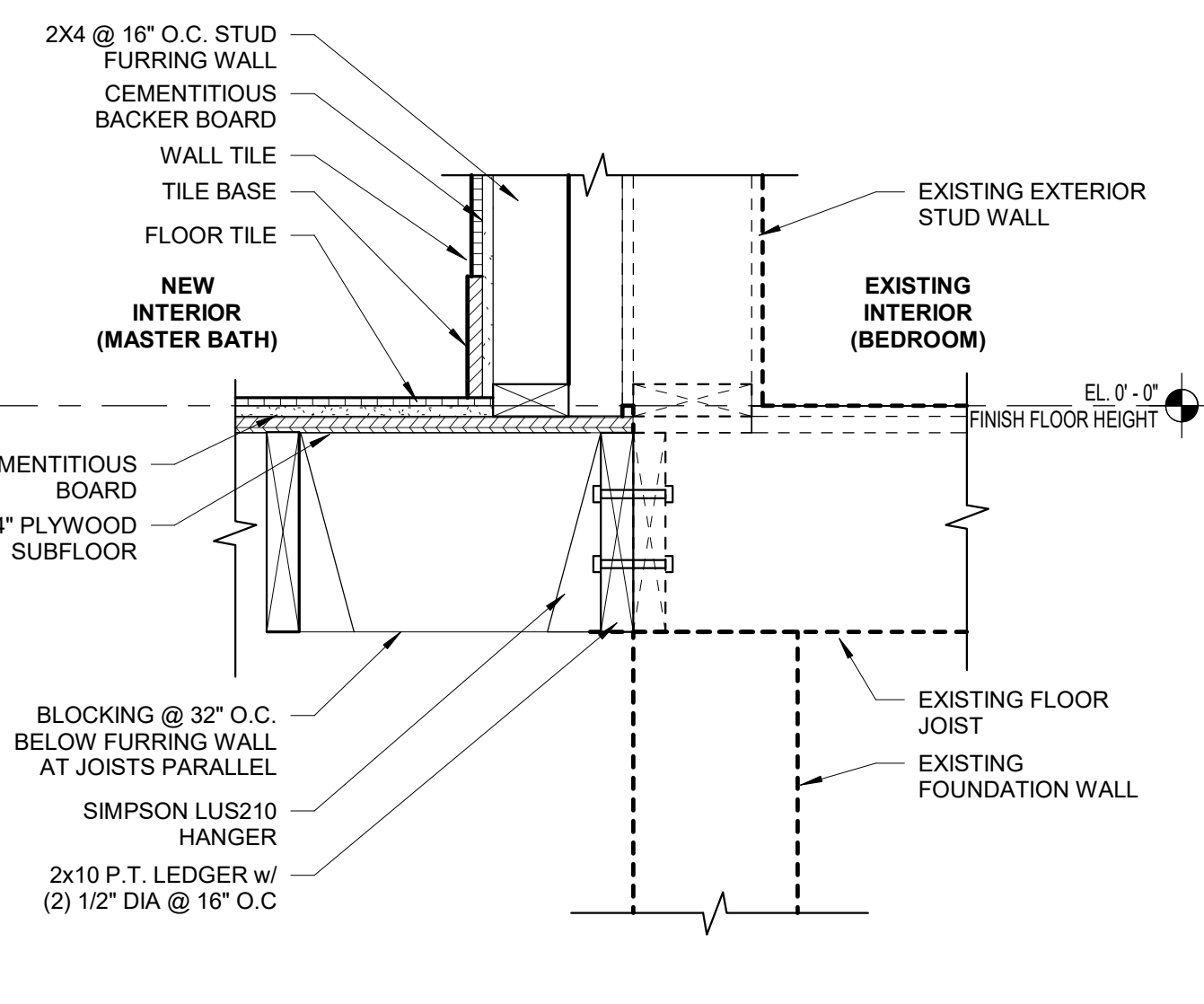
11 SECTION 2 - BACK PORCH
A3.10 SCALE: 1/4" = 1'-0"



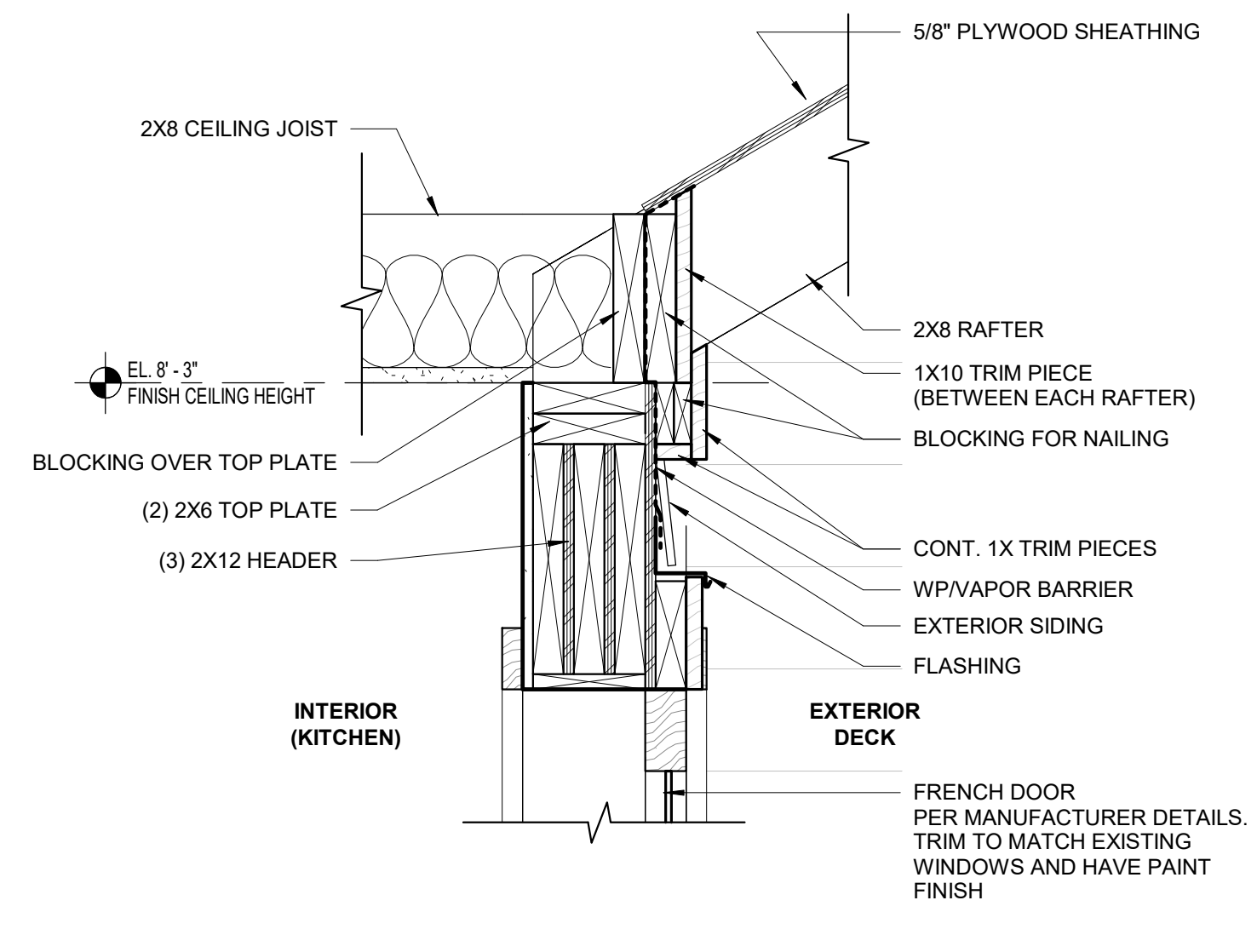
10 RAILING
A3.10 SCALE: 1" = 1'-0"



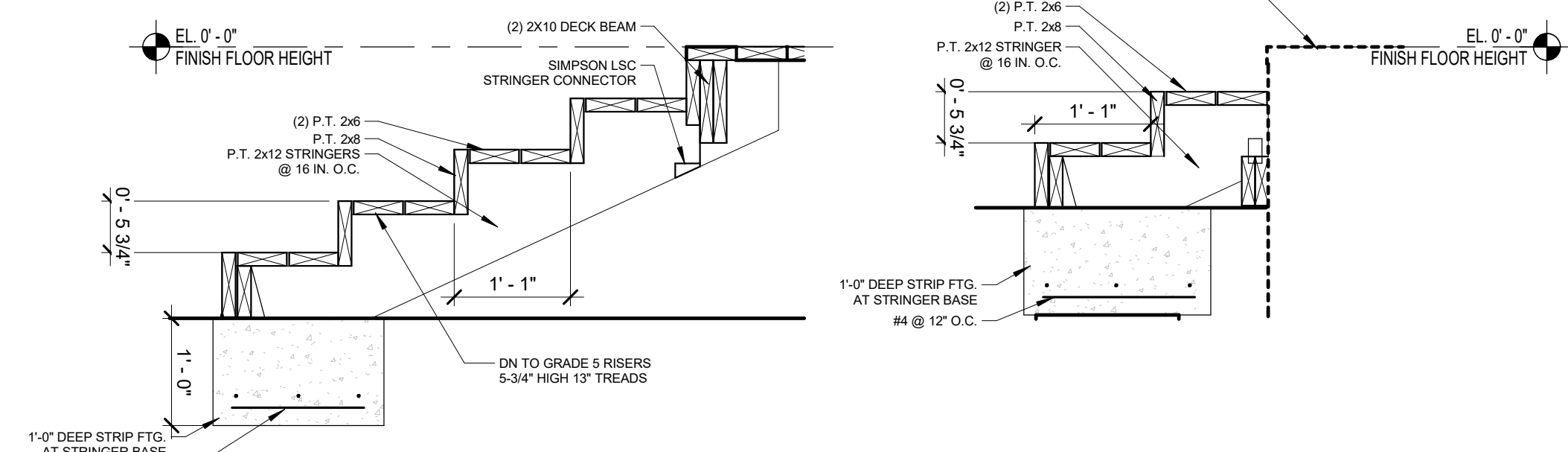
9 FLOOR TRANSITION SECTION - INTERIOR TO PORCH DECK
A3.10 SCALE: 1 1/2" = 1'-0"



8 FLOOR TRANSITION SECTION - EXISTING TO NEW
A3.10 SCALE: 1 1/2" = 1'-0"

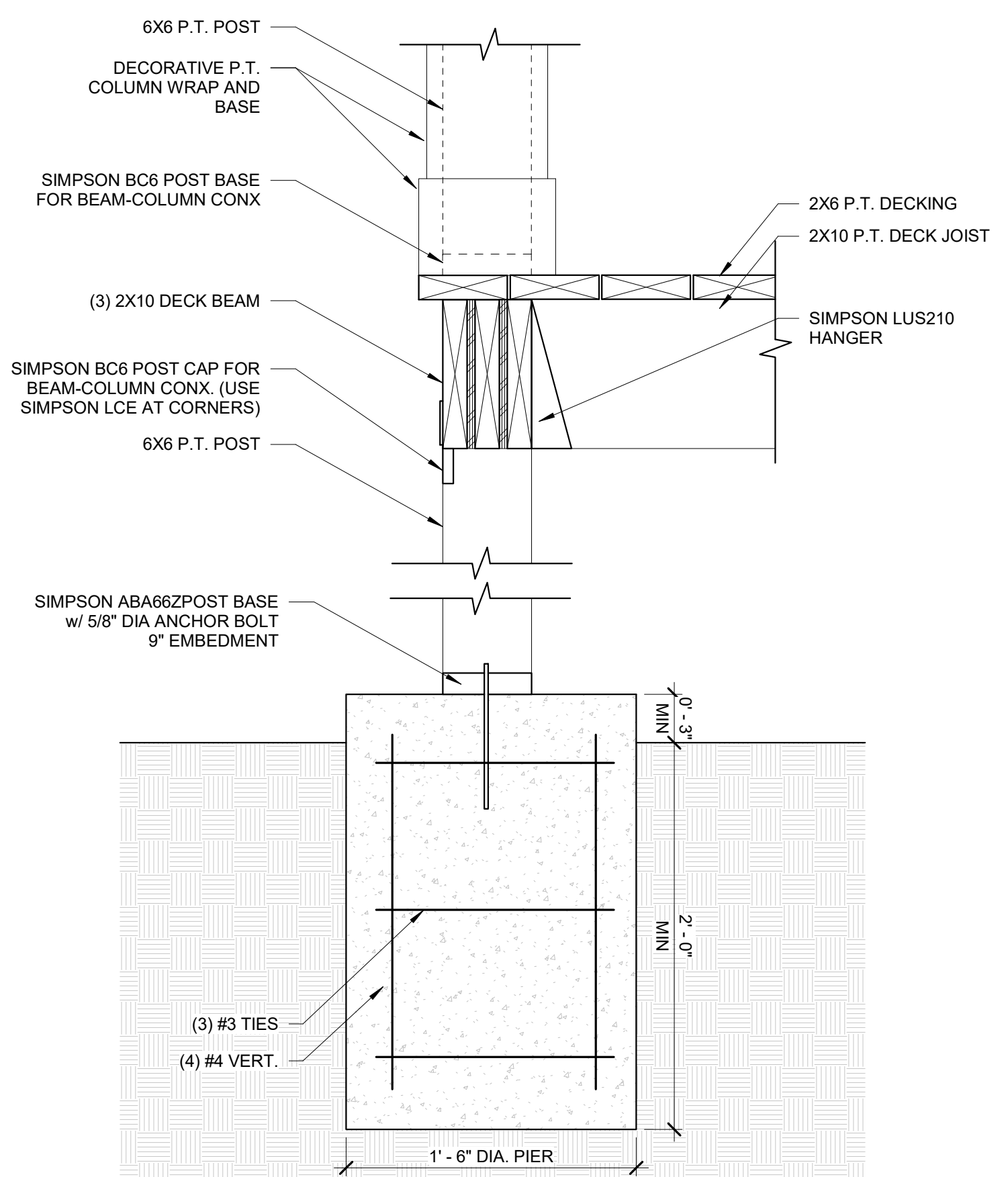


7 SECTION DETAIL - PORCH ROOF RAFTER TO INTERIOR
A3.10 SCALE: 1 1/2" = 1'-0"

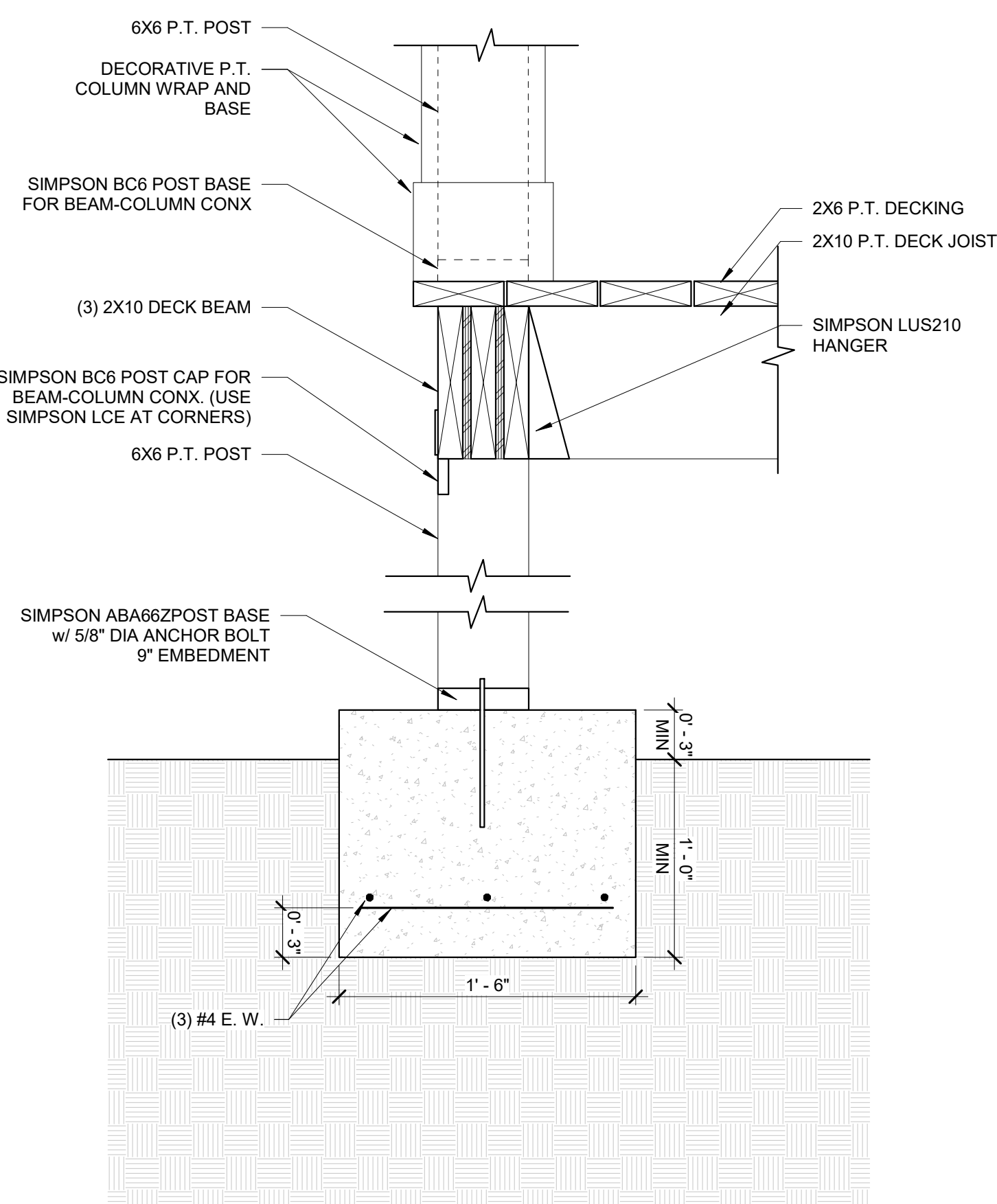


6 WOOD BACK PORCH STEPS
A3.10 SCALE: 3/4" = 1'-0"

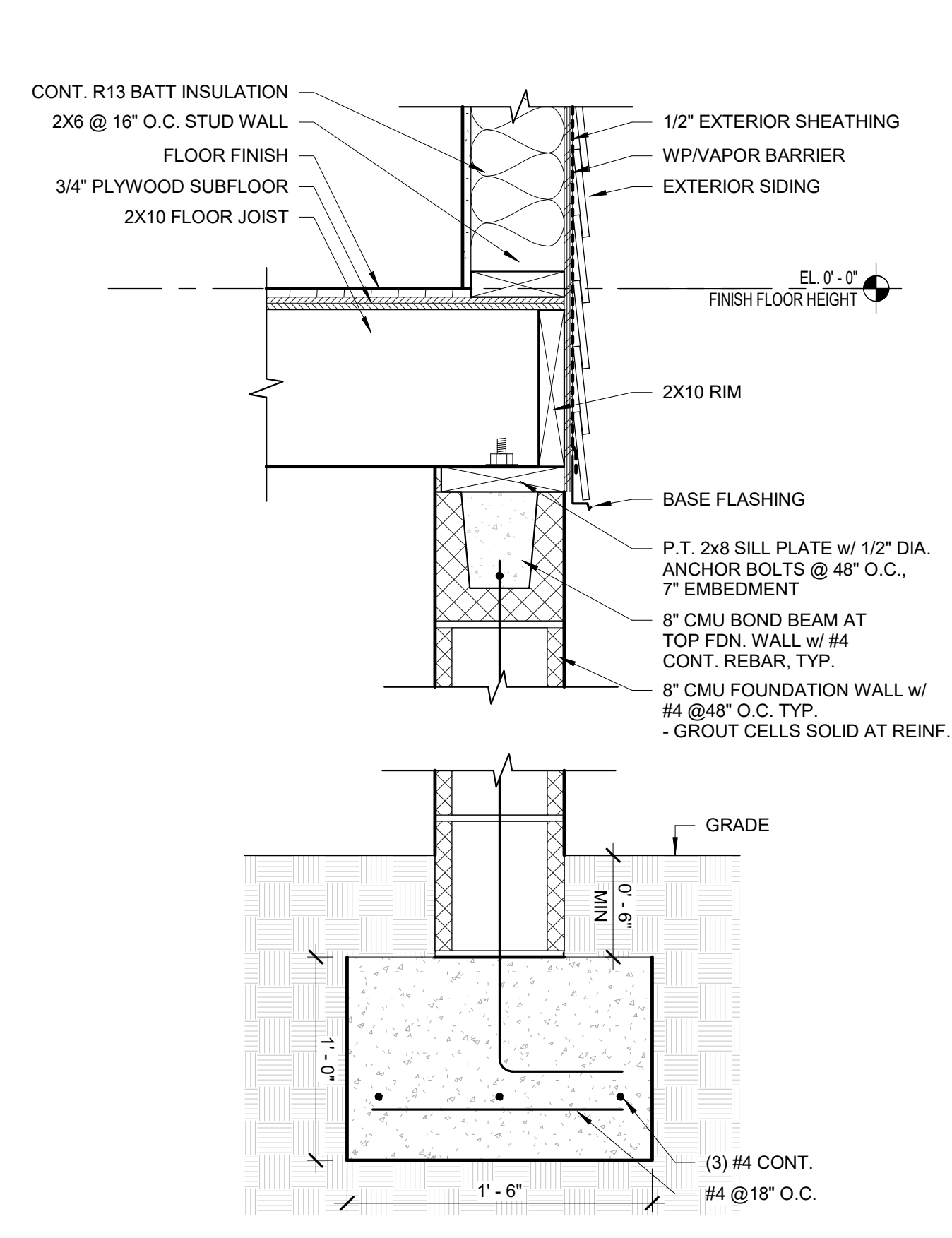
5 WOOD FRONT PORCH STEPS
A3.10 SCALE: 3/4" = 1'-0"



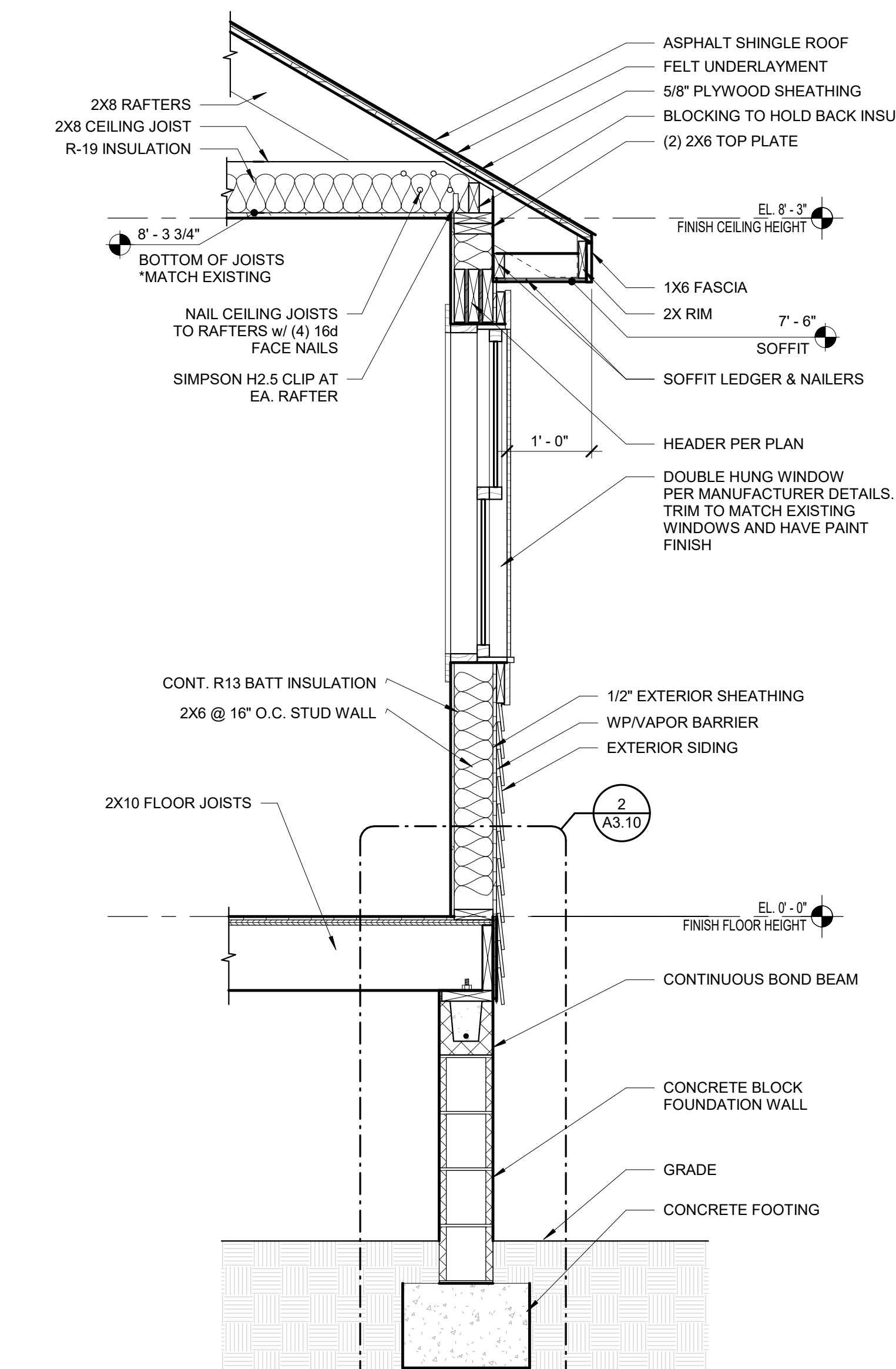
4 TYPICAL DETAIL - ALTERNATE DECK POST FOOTING
A3.10 SCALE: 1 1/2" = 1'-0"



3 TYPICAL DETAIL - DECK POST FOOTING
A3.10 SCALE: 1 1/2" = 1'-0"



2 TYPICAL DETAIL - FOUNDATION WALL
A3 10 SCALE: 1 1/2" = 1'-0"



1 WALL SECTION - TYPICAL
A3 10 SCALE: 3/4" = 1'-0"

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ARCHITECT
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SECTIONS

A3.10

Drawing No. _____

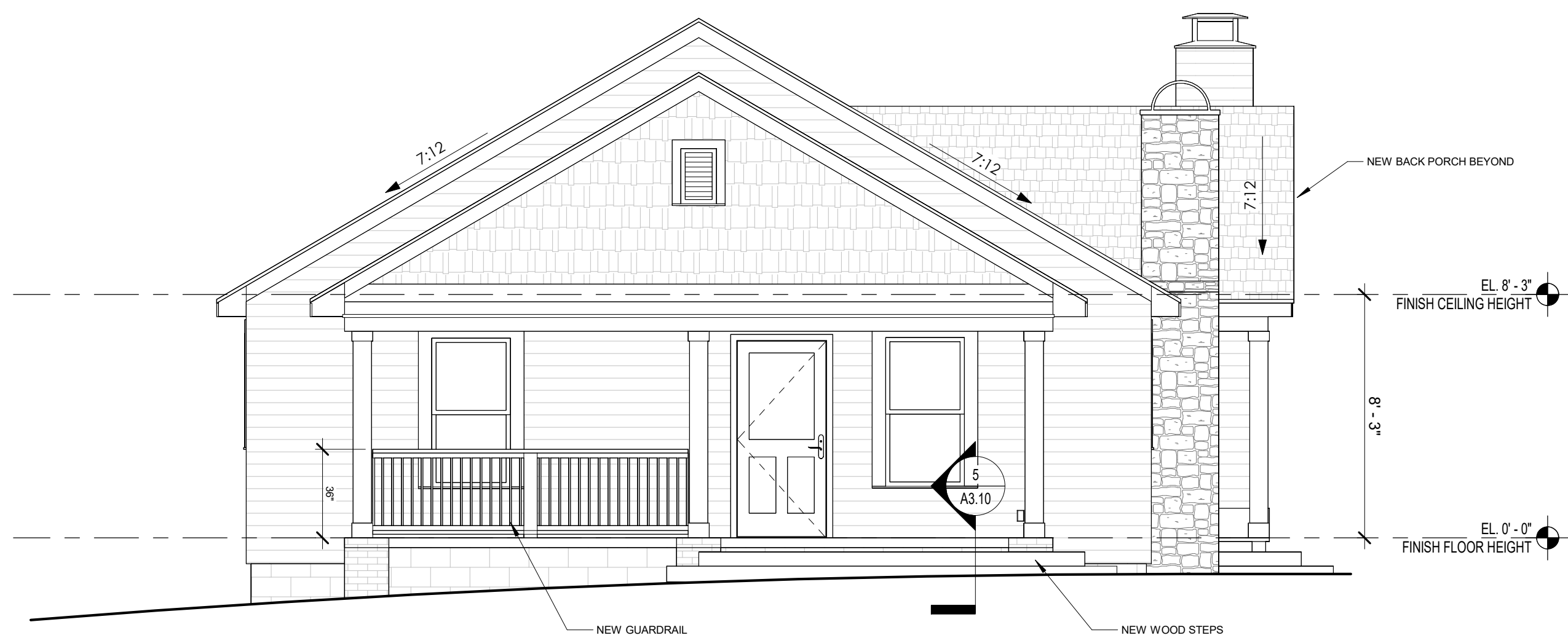
ISSUED FOR CONSTRUCTION

ISSUANCES		
No.	Drawing Issue Description	Date
1	PERMIT V1	06/30/23

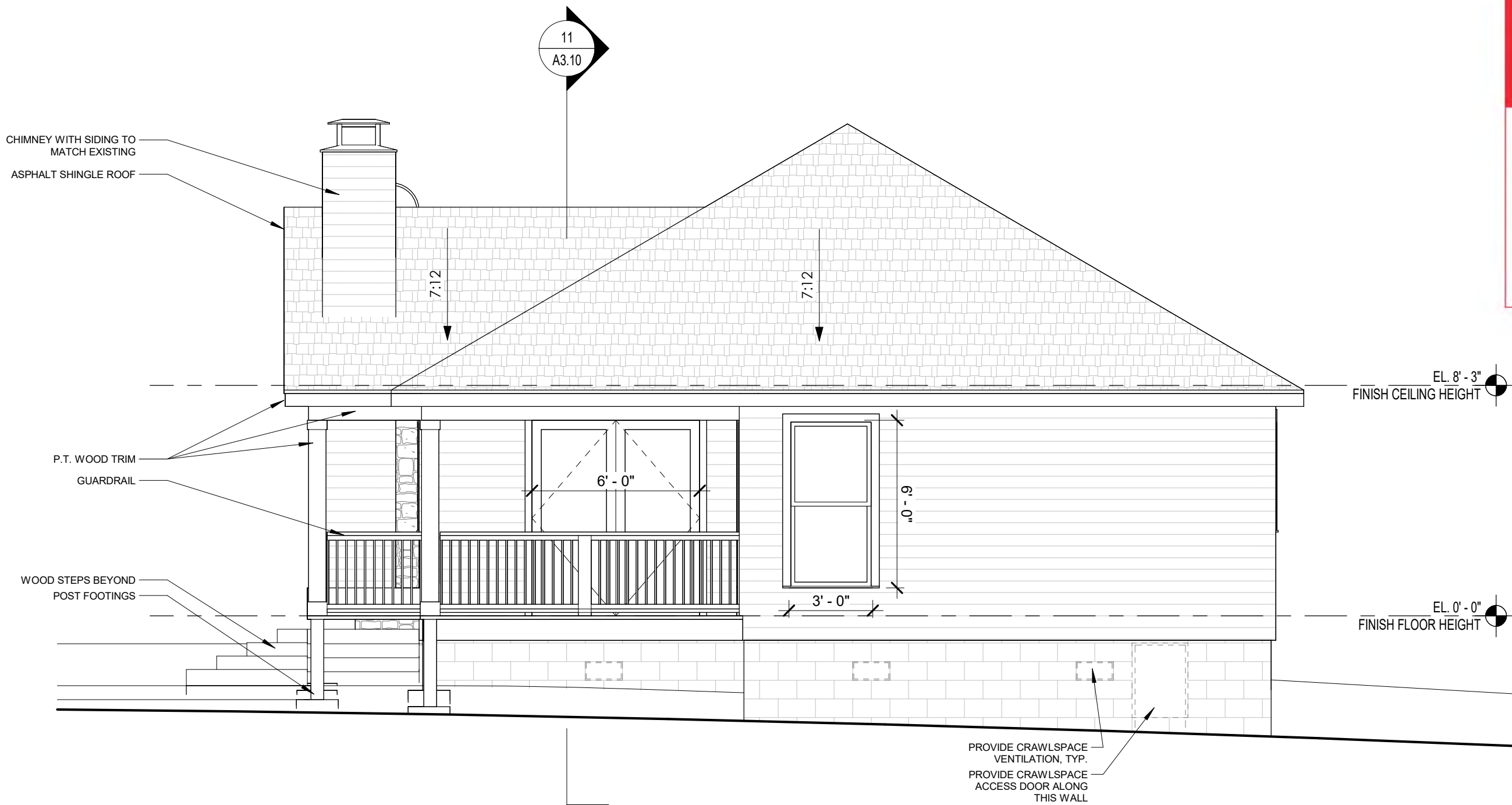
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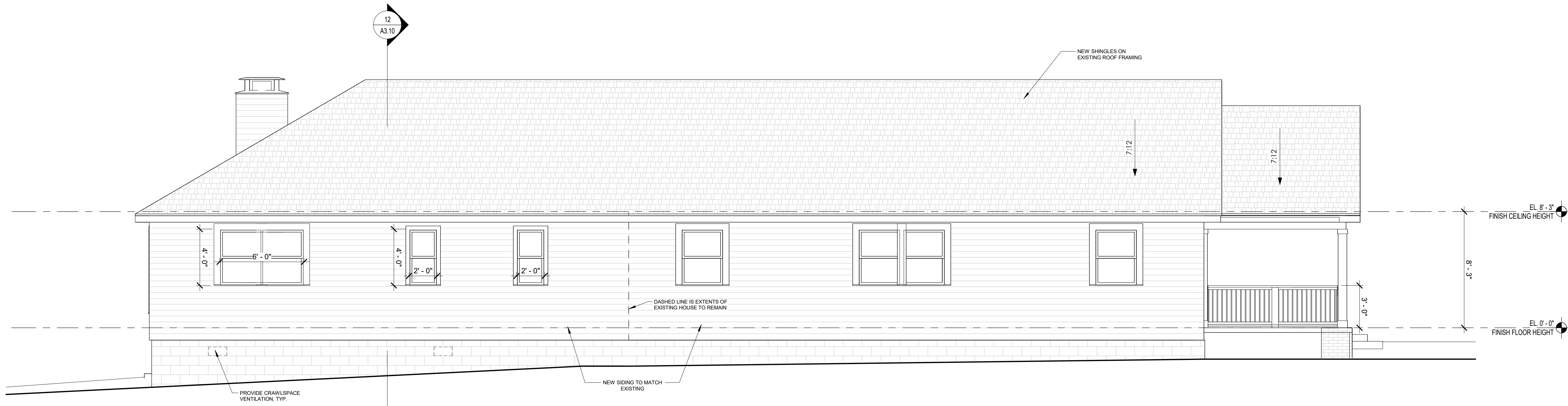
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ATLANTA, GA 30318



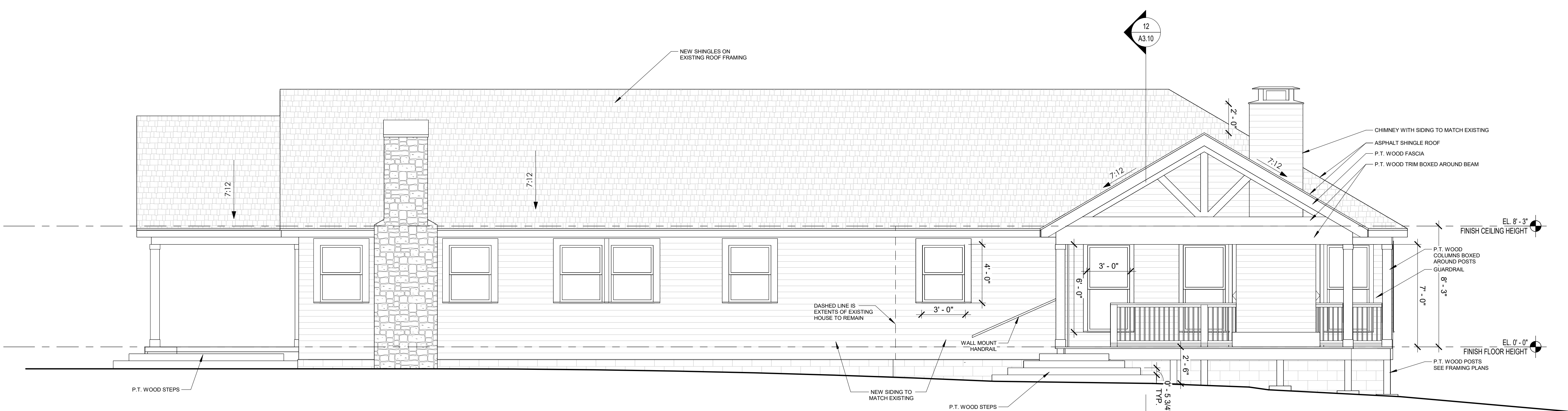
4 FRONT ELEVATION
A4.10 SCALE: 1/4" = 1'-0"



3 BACK ELEVATION
A4.10 SCALE: 1/4" = 1'-0"



2 SIDE 2 ELEVATION
A4.10 SCALE: 1/4" = 1'-0"



1 SIDE 1 ELEVATION
A2.11 A4.10 SCALE: 1/4" = 1'-0"



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ARCHITECT
404.625.9567

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EXTERIOR ELEVATIONS

A4.10