



ATLANTA REGIONAL COMMISSION

REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: AUGUST 14, 2023

TO: Chairman Phil D. Miller, Douglas County Commission
ATTN TO: Allison Duncan, Planning and Zoning Manager, Douglas County
FROM: Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC23-01-DC Riverview Building 2 Douglas County

MRPA Code: RC23-01-DC

Description: A Metropolitan River Protection Act review of a project to construct a 368,000 SF distribution facility on a 257-acre site off of Highway 166/154 in Douglas County. A total of 125 acres of the site fall within the Chattahoochee River Corridor with the remaining 157 acres outside the Corridor. The scope of work includes the distribution building with associated truck court, auto parking, utilities, and stormwater conveyance system. An existing power line easement on the portion of the site within the Corridor exceeds the allowed land disturbance area on its own. This creates a physical hardship for the property making it eligible for an equivalent consistency finding. Based on an equivalent consistency test, the proposed amounts of disturbed and impervious areas provide a level of land and water resource protection equivalent to a land-disturbing activity that is consistent with the Plan.

Preliminary Finding: ARC's preliminary finding is that the project, while not consistent with the Chattahoochee River Corridor Plan in all respects, provides a level of land and water resource protection equivalent to a land-distrubing activity consistent with the Plan.

Submitting Local Government: Douglas County

Date Opened: August 14, 2023

Deadline for Comments: August 24, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF DOUGLASVILLE

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF CHATTAHOOCHEE HILLS

CHATTAHOOCHEE RIVERKEEPER
CITY OF SOUTH FULTON
DOUGLAS COUNTY

Please email comments to dshockey@atlantaregional.org. For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If no comments are received by August 24, 2023, ARC will assume that your agency has no input and will close the review. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

ALLISON DUNCAN, AICP

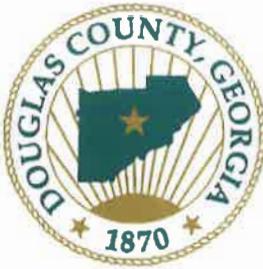
Planning & Zoning Manager

PHIL SHAFER

Zoning Administrator

JACQUALLE JOHNSON

Senior Planner



JOHANNAH WOMACK

*Clerk of the Planning &
Zoning Board*

KIMBERLY WATTERS

Department Secretary

DOUGLAS COUNTY BOARD OF COMMISSIONERS

PLANNING & ZONING DEPARTMENT

8700 Hospital Drive • Douglasville, GA 30134

Telephone (770) 920-7241 • Fax (678) 715-5366

July 18, 2023

Jim Santo
c/o Atlanta Regional Commission
229 Peachtree Street
Ste 100
Atlanta GA 30303

Dear Mr. Santo:

Douglas County is in receipt of an application for Metro River Review for a distribution facility located in Land Lots 146 and 158, District 1, Section 5, off Highway 166/154 - Fairburn Road (Parcel # 01590150001 and 01470150001). I am enclosing information to initiate the required review on Metropolitan River Protection Act, including a completed application, as well as supporting documentation submitted by the applicant. The required review fees have been sent to you directly by the applicant. If you need any additional information at this time, please contact me at your convenience.

Sincerely,

A handwritten signature in blue ink that appears to read "Allison Duncan".

Allison Duncan, AICP
Planning and Zoning Manager

Website: CelebrateDouglasCounty.com

Persons with hearing or speech disabilities who need to contact Douglas County may place their call through the Georgia Relay Center at (800) 255-0056 (Text Telephone) or (800) 255-0135 (Voice Telephone).

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: Douglas County
2. Owner(s) of Record of Property to be Reviewed:
Name(s): PDC Atlanta LPIV, LLC
Mailing Address: 9040 Roswell Road Suite 420
City: Atlanta State: GA Zip: 30350
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-921-2011 Fax:
Other Numbers:
3. Applicant(s) or Applicant's Agent(s):
Name(s): Eberly and Associates
Mailing Address: 2951 Flowers Road South Suite 119
City: Atlanta State: GA Zip: 30341
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-452-7849 Fax:
Other Numbers:
4. Proposed Land or Water Use:
Name of Development: Riverview Site (updated)
Description of Proposed Use: Existing 798,000 S.F. and a new 368,000 S.F. distribution facility with associated truck court, auto parking, utilities and storm water conveyance system.
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County:
146,147,157 & 158, 1st District, 5th Section, Douglas County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:
Georgia Highway 166
Size of Development (Use as Applicable):
Acres: Inside Corridor: 125.0 acres
Outside Corridor: 112.0 acres
Total: 237 acres
Lots: Inside Corridor:
Outside Corridor:
Total:
Units: Inside Corridor:
Outside Corridor:
Total:
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor:
Outside Corridor:
Total:

Memorandum
 August 10, 2023
 Page Two

Using the category areas provided by the applicant, the allowed maximums for each category for the maximum consistent project were calculated:

Maximum Consistent Project:

Category	Total Area	Land Disturbance	Impervious Surface
C	211,011 SF	147,708 SF (70%)	94,955 SF (45%)
D	1,435,626 SF	717,813 SF (50%)	430,688 SF (30%)
E	3,481,444 SF	1,044,433 SF (30%)	522,217 SF (15%)
F	305,583 SF	30,688 SF (10%)	6,112 SF (2%)
TOTALS:	5,433,664 SF	1,940,512 SF	1,053,972 SF

Using the totals from this table, the areas used in the runoff coefficient test were calculated:

$$5,433,664 \text{ SF (total area)} - 1,940,512 \text{ SF (disturbed area)} = 3,493,152 \text{ SF (natural/undisturbed)}$$

$$1,940,512 \text{ SF (disturbed)} - 1,053,972 \text{ SF (impervious)} = 886,540 \text{ SF (landscaped)}$$

$$1,053,972 \text{ (impervious)}$$

Next, the percentage of the total site in each area was calculated, expressed as a decimal. Then, each percentage was multiplied by the appropriate runoff coefficient:

$$3,493,152 / 5,433,664 = 0.643 \times 0.30 = 0.1929$$

$$886,540 / 5,433,664 = 0.163 \times 0.35 = 0.0571$$

$$\underline{1,053,972 / 5,433,664 = 0.194 \times 0.95 = 0.1843}$$

Average weighted runoff coefficient: 0.4343

Using the numbers in the application, the process was repeated for the proposed project:

Proposed Project:

Category	Total Area	Land Disturbance	Impervious Surface
C	211,011 SF	129,301 SF (59%)	0 SF (0%)
D	1,435,626 SF	916,719 SF (64%)	257,597 SF (18%)
E	3,481,444 SF	2,038,315 SF (59%)	670,301 SF (19%)
F	305,583 SF	135,993 SF (45%)	6,112 SF (3%)
TOTALS:	5,433,664 SF	3,220,328 SF	937,977 SF

Again, using the totals from the proposed project table, the areas for this portion of the runoff coefficient test were calculated:

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? Yes

If "yes", indicate the 100-year floodplain elevation: 754

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? Yes

If "yes", indicate the 500-year flood plain elevation: 760

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

Written consent of all owners to this application. (Space provided on this form)

Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

Description of proposed use(s). (Space provided on this form)

Existing vegetation plan.

Proposed grading plan.

Certified as-builts of all existing land disturbance and impervious surfaces.

Approved erosion control plan.

Detailed table of land-disturbing activities. (Both on this form and on the plans)

- Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.
- Documentation on adjustments, if any.
- Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

- Site plan.
- Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

- Concept plan.
- Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Joe Guion - Senior Development Manager

Joe Guion

7/18/2023

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Brian Brumfield, P.E.

05/17/2023

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of Douglas County, GA requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

allied

7/19/23

Signature of Chief Elected Official or Official's Designee

Date

Memorandum

Date: August 10, 2023

To: File

From: Jim Santo, ARC

Subject: Equivalent Consistent Finding for Riverview Logistics Building 2 in Douglas County

This is the second phase of a project that was reviewed under MRPA in early 2023. The total area of the project property is about 237 acres, with 125 acres in the Corridor, which includes land in the C, D, E, and F vulnerability categories. The property is crossed by a power line easement that, under the terms of the Chattahoochee Corridor Plan is automatically considered land disturbance and must be included as part of the total land disturbance proposed in any Corridor (or MRPA) review of the property. The easement area in the D and E category uses up most of the available land disturbance maximum in both categories and does not allow for consistent use on the remainder of the property.

Under the Chattahoochee Corridor Plan, pre-existing legal, physical, biological or hydrological conditions that prevent achievement of consistency are considered hardships, making properties affected by these conditions eligible for an equivalent consistency finding.

It is ARC staff opinion that the power line easement constitutes such a hardship, making the property eligible for equivalent consistency. We use an average weighted runoff coefficient test to determine equivalent consistency.

Average Weighted Runoff Coefficient Test

The average weighted runoff coefficient test compares the proposed project to a hypothetical maximum consistent project, which assumes that the condition causing the hardship does not exist. The test handles disturbance and undisturbed areas differently than in a review.

Undisturbed areas are identified as “natural”, and the non-impervious portion of the disturbed area (impervious is always land disturbance as well) is separated out and called “landscaped”. Impervious is unchanged. The calculations average out the areas and percentages of the natural, landscaped and impervious land across the entire site, combining the totals of each in all categories. The percentages are multiplied by a runoff coefficient (0.30 for natural, 0.35 for landscaped and 0.95 for impervious). The results for each factor are then added together and the resulting sum is the average weighted runoff coefficient for the maximum consistent project. The test is run again for the proposed project. If the proposed average weighted runoff coefficient is the same or lower than the maximum consistent project, then it is determined to be equivalent to a consistent project.

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No
If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? Yes

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s):
RC-22-04DC, River Logistics Park 1, Logistics Center at 3945 Highway 166

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system Tie into Douglas County Sewer System

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb.	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A				(90)	(75)
B				(80)	(60)
C	211,011 s.f.	129,301 s.f.	0 s.f.	(70)	59 (45) 0
D	1,435,626 s.f.	916,719 s.f.	257,597 s.f.	(50)	64 (30) 18
E	3,481,444 s.f.	2,038,315 s.f.	670,301 s.f.	(30)	59 (15) 19
F	305,583 s.f.	135,993 s.f.	10,079 s.f.	(10)	45 (2) 3
Total:	125 acres	73.9 acres	21.5 acres	N/A	N/A

NOTE: The property in this review includes 125 acres in the Chattahoochee River Corridor, with land in the C,D, E and F categories. The Corridor portion of the property is crossed by a power easement, which is land disturbance as defined in the Chattahoochee Corridor Plan and must be included as part of the total land disturbance in any Metropolitan River Protection Act (MRPA) review of the property. In this case, the easement areas in the D and E categories are close to the allowed maximums in these categories, severely limiting what can be done on the parcel.

Part 1.B.9. of the Chattahoochee Corridor Plan allows pre-existing legal, physical, biological or hydrological conditions that prevent achievement of consistency with the standards of the corridor Plan to be considered hardships, allowing properties affected by such conditions to be eligible for an equivalent consistent finding. ARC staff has determined that the existing easement is a hardship under the Corridor Plan.

The proposed project was then determined to be equivalent to a consistent project as provided for in Section 12-5-445(a)(1)(B) of the Metropolitan River Protection Act, using an average weighted runoff coefficient test. This test compares the proposed project to a fully consistent project developed at category maximums on the property, assuming no easement exists. Projects with average weighted runoff coefficients the same or lower than the consistent project are considered to be equivalent to a fully consistent project. The proposed project meets the test and, while not consistent with the Plan in all respects, is equivalent to a consistent project.

The test and determination are described in the memo attached to this application.

Memorandum
August 10, 2023
Page Three

5,433,664 SF (total area) – 3,220,328SF (disturbed area) = 2,213,336 SF (natural/undisturbed)

3,320,328 SF (disturbed) – 937,977 SF (impervious) = 2,282,351 SF (landscaped)

937,977 (impervious)

Next, the percentage of the total site in each area was calculated, expressed as a decimal. Then, each percentage was multiplied by the appropriate runoff coefficient:

$$2,213,336 / 5,433,664 = 0.407 \times 0.30 = 0.1221$$

$$2,282,351 / 5,433,664 = 0.420 \times 0.35 = 0.1470$$

$$\underline{937,977 / 5,433,664 = 0.173 \times 0.95 = 0.1644}$$

Average weighted runoff coefficient: 0.4335

As the average weighted runoff coefficient for the proposed project is less than coefficient for the maximum consistent project, the proposed project passes the coefficient test and will be considered equivalent to a consistent project if submitted as shown.



TEL 770.452.7849 FAX 770.452.0086
2951 FLOWERS ROAD SOUTH, STE 119 ATLANTA, GEORGIA 30341

WWW.EBERLY.NET

LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



LOCATION MAP
N.T.S.

PANATTONI
PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:

REVISION:

MRPA EXHIBIT

SCALE: 1" = 50'

DATE: 02/22/2023

DRAWN BY: FEULIT

PROJECT ENGINEER: TEAS PATEL

QAQC REVIEWER: BRIAN BRUMFIELD, P.E. LEED

OWNER/DEVELOPER (PRIMARY PERMITTEE):

PANATTONI DEVELOPMENT
300 FLOWERS ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 521-2011

PROJECT ENGINEER:

BRIAN BRUMFIELD, P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7849
B.BRUMFIELD@EBERLY.NET

24 HOUR CONTACT:

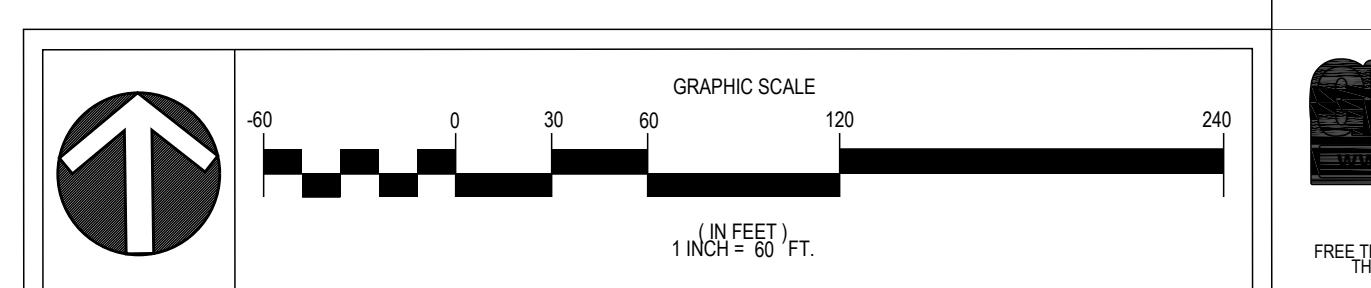
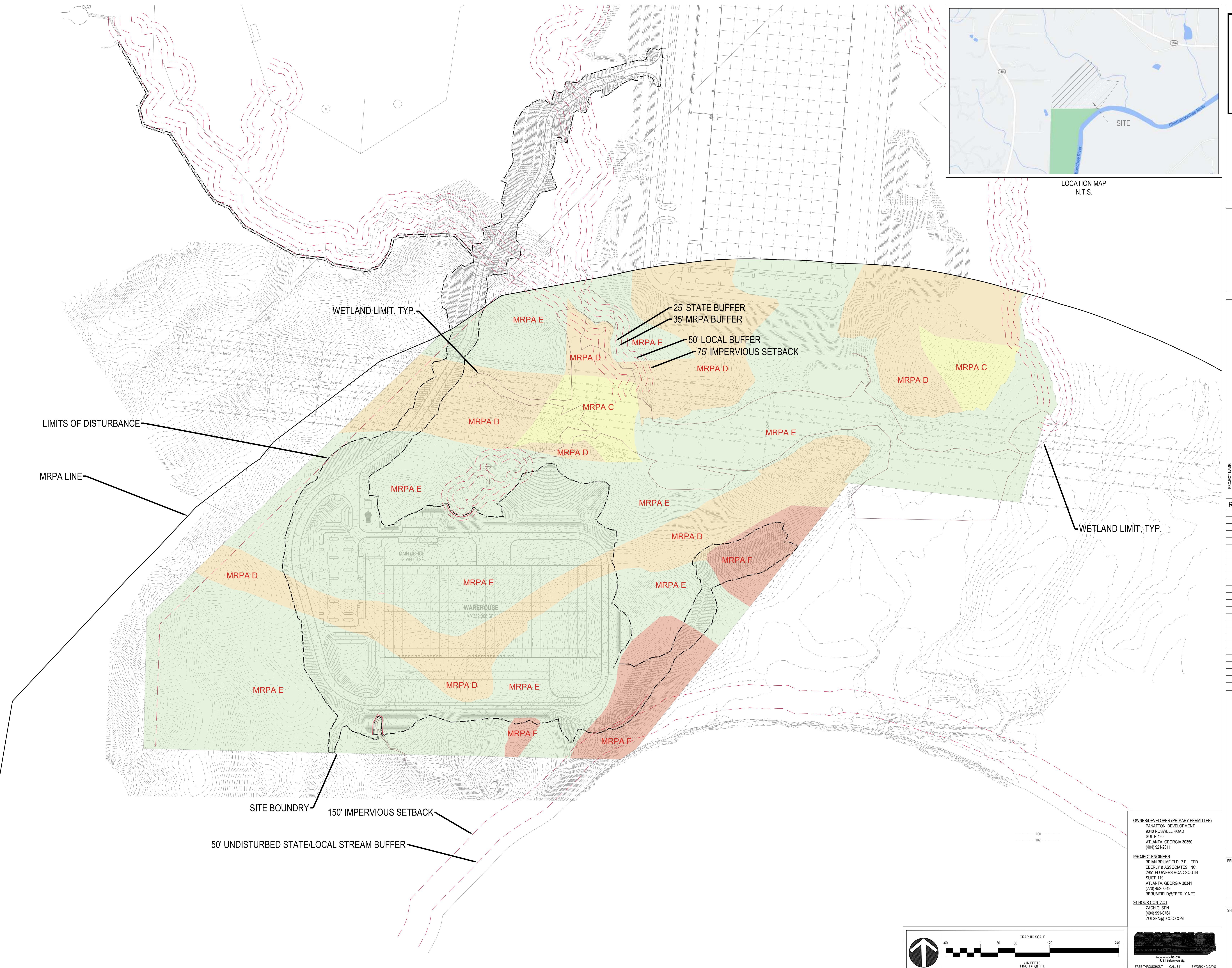
ZACH OLSEN
(404) 521-1704
Z.O.LSEN@GTCO.COM

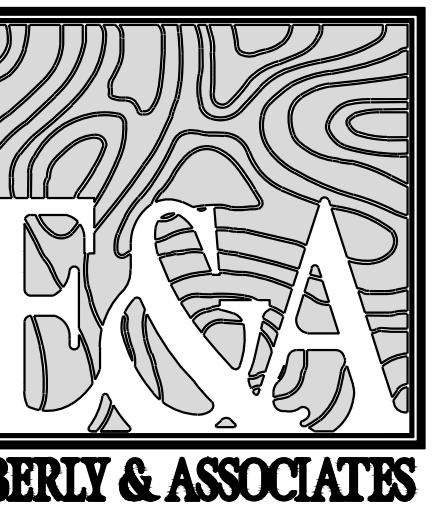
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EBERLY & ASSOCIATES

TEL 770.452.7849 FAX 770.452.0086

2951 FLOWERS ROAD SOUTH, STE

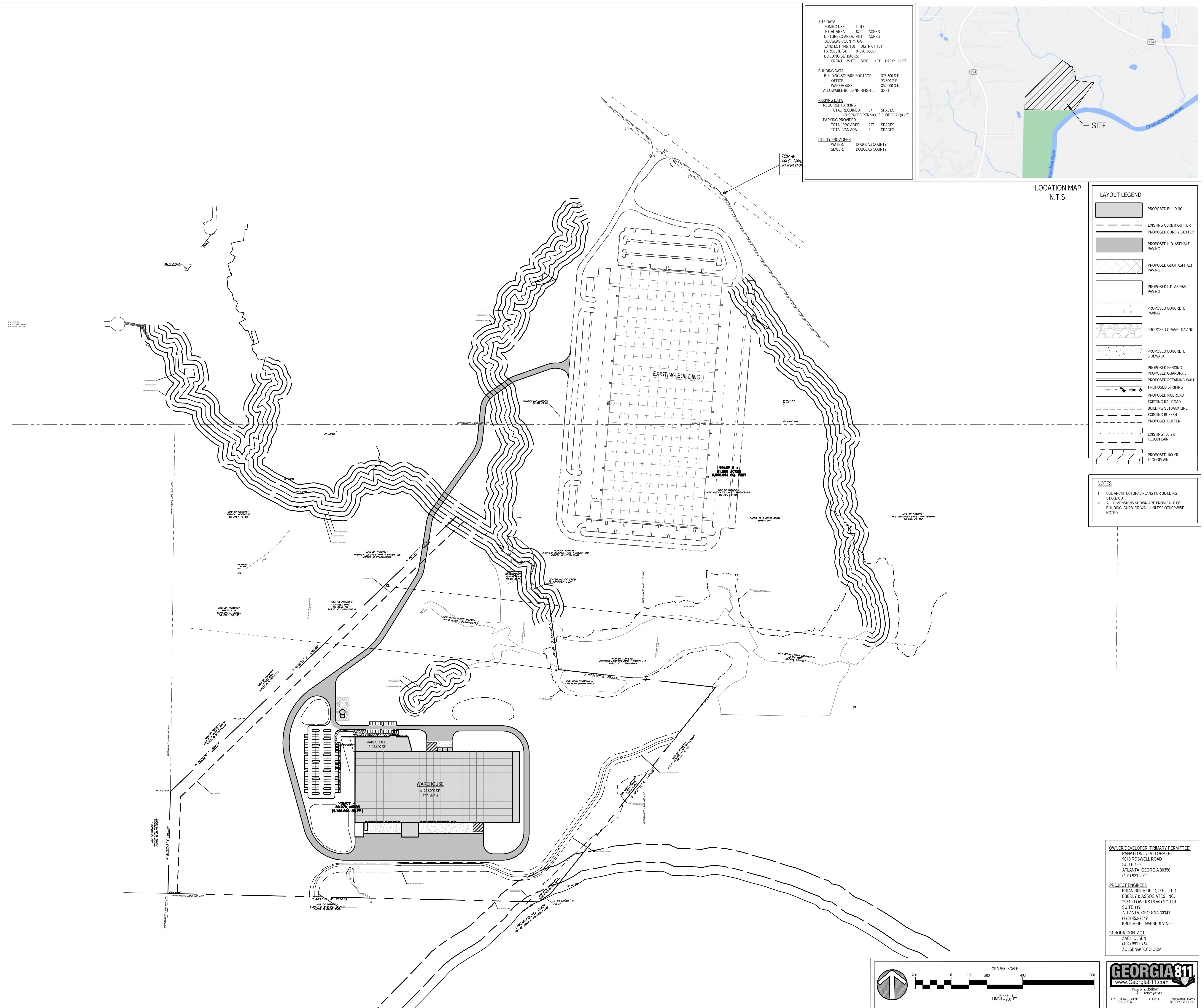
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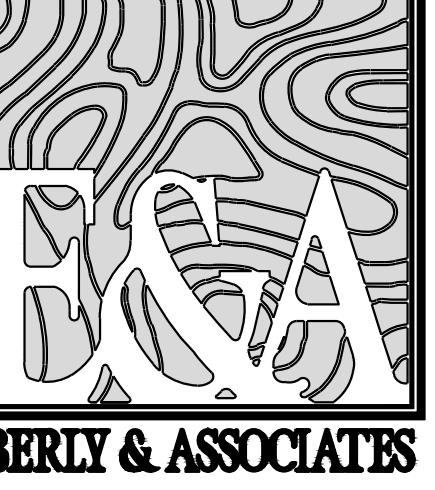
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LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE





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LAND PLANNING

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PANATTONI PROJECT HAMMER

PROJECT NAME:

REVISION	01	02	03
01/05/2023	EROSION		
01/16/2023		MPPA SUBMITTAL	

LAYOUT & STAKING PLAN

SCALE:

DATE:

DRAWING:

PROJECT ENGINEER:

OACOC REVIEWER:

BRIAN BRUMFIELD P.E. LEED

EBERLY & ASSOCIATES, INC.

2951 FLOWERS ROAD SOUTH

SUITE 119 ATLANTA, GEORGIA 30341

(770) 452-7849

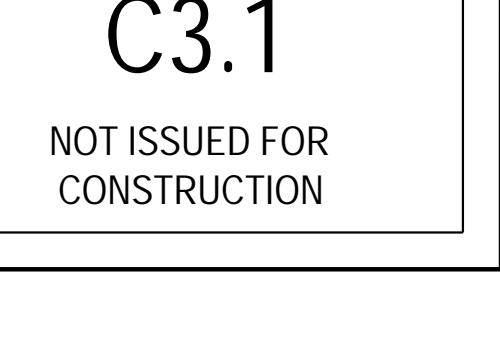
BRIANBRUMFIELD@EBERLY.NET

24 HOUR CONTACT:


ZACH OLSEN

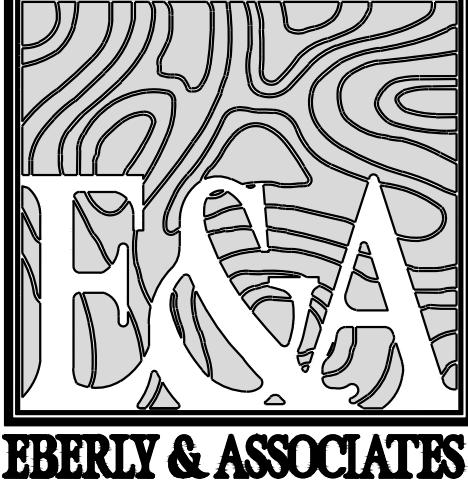
(404) 971-0704

ZOLSEN@TCO.COM



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119 ATLANTA, GEORGIA 30341

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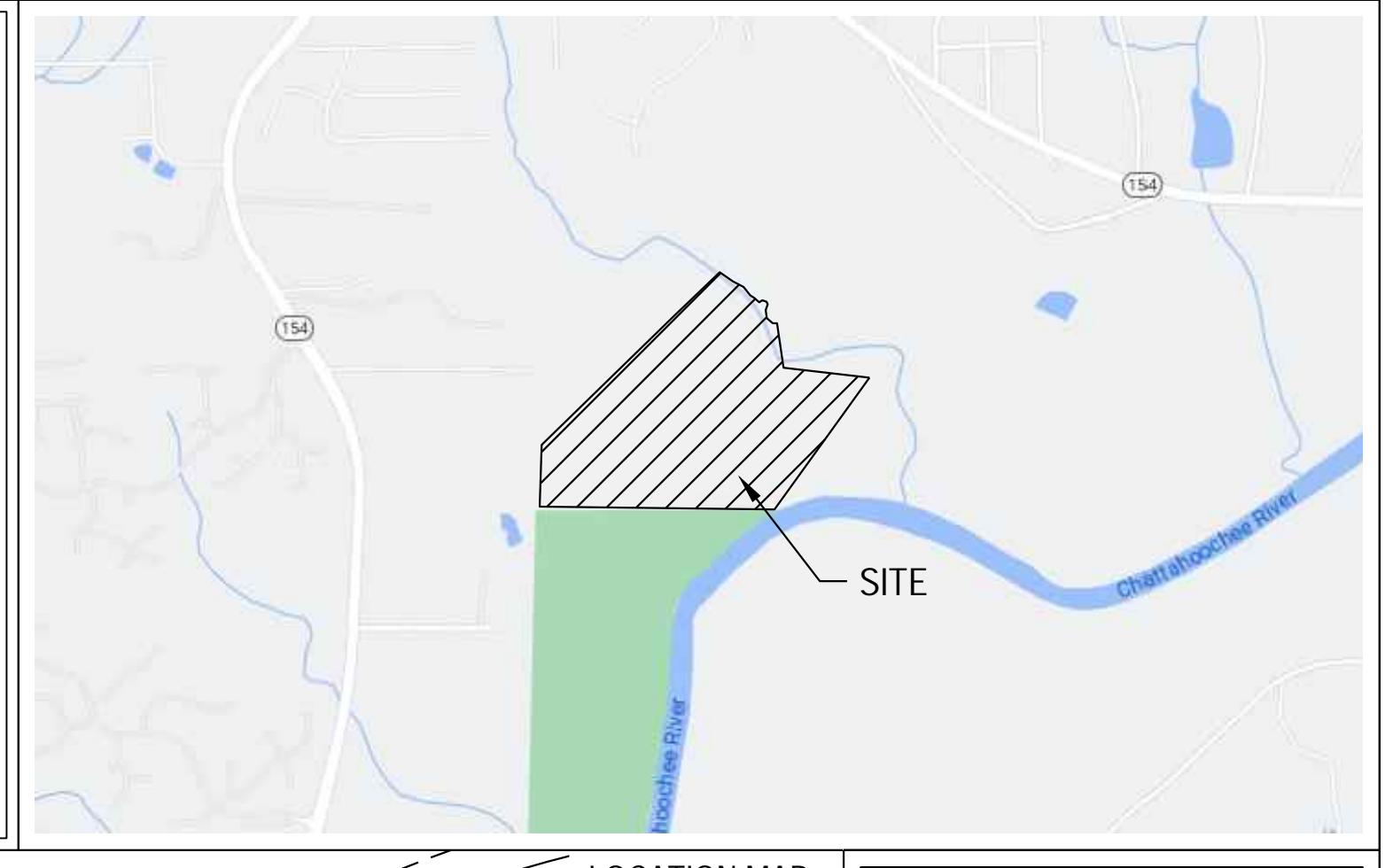
LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

PANATTIONI PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD



LOCATION MAP
N.T.S.
WET DETENT

LAYOUT LEGEND
PROPOSED BUILDING
EXISTING CURB & GUTTER
PROPOSED CURB & GUTTER
PROPOSED H.D. ASPHALT PAVING
PROPOSED GDOT ASPHALT PAVING
PROPOSED L.D. ASPHALT PAVING
PROPOSED CONCRETE PAVING
PROPOSED CONCRETE SIDEWALK
PROPOSED FENCING
PROPOSED GUARDRAIL
PROPOSED RETAINING WALL
PROPOSED STRING
PROPOSED RAILROAD
EXISTING ROAD
BUILDING SETBACK LINE
EXISTING BUFFER
PROPOSED BUFFER
EXISTING 100-YR FLOODPLAIN
PROPOSED 100-YR FLOODPLAIN

NOTES
1. USE ARCHITECTURAL PLANS FOR BUILDING STAKE OUT.
2. ALL DIMENSIONS SHOWN ARE FROM FACE OF BUILDING: CURB OR WALL UNLESS OTHERWISE NOTED

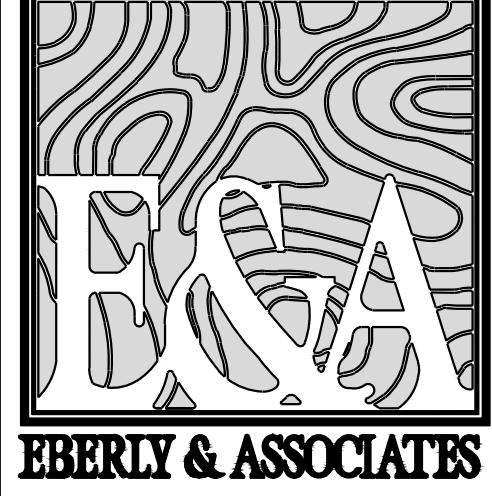
REVISION
01 05/05/2023 BB SET
05/05/2023 EROSION
07/18/2023 MRPA SUBMITAL

LAYOUT & STAKING PLAN
SCALE: 1'-0"
DATE: 07/22/2023
DRAWING: FEUL LT

EBERLY PROJECT NUMBER:
23-030
SHEET NUMBER:
C3.2

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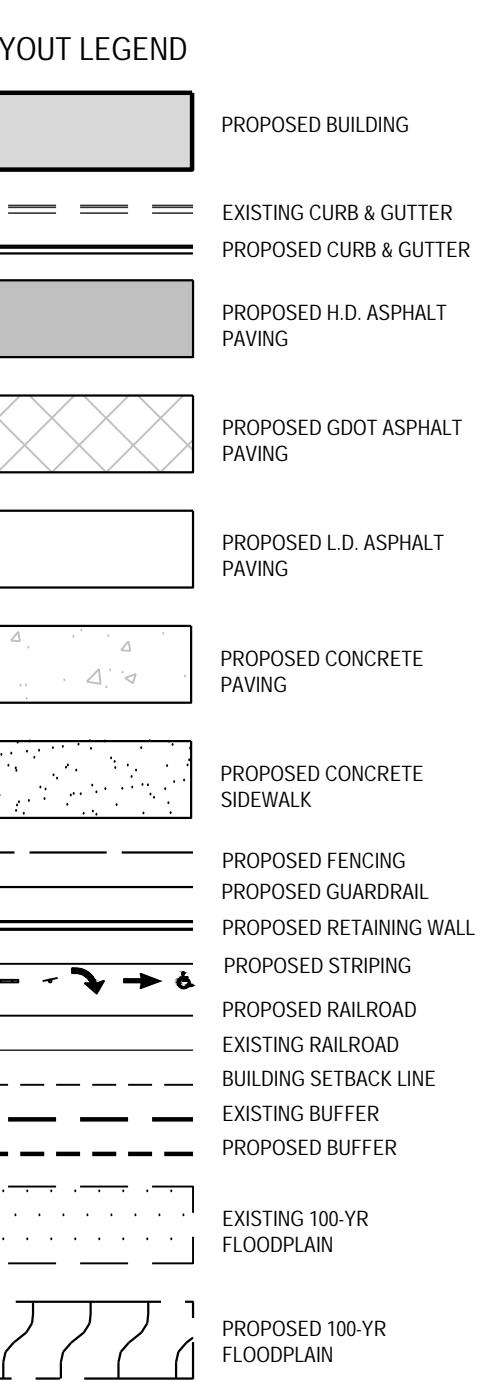
LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

PANATTONI PROJECT HAMMER

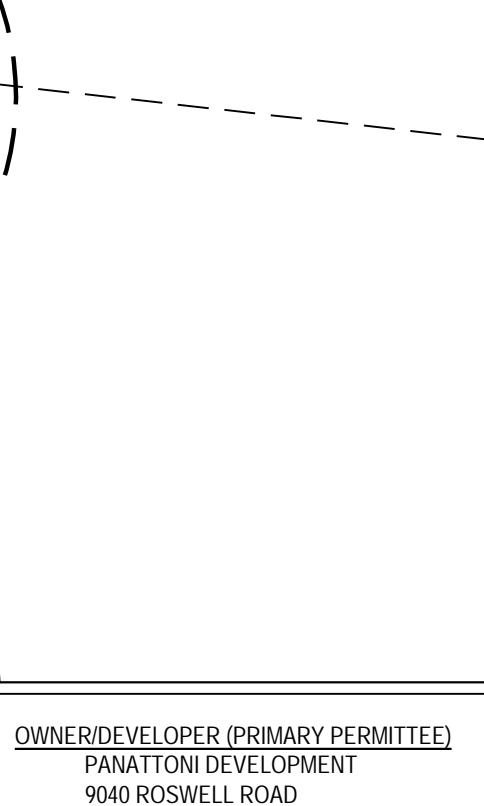
LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD



NOTES
1. USE ARCHITECTURAL PLANS FOR BUILDING STAKE OUT.
2. ALL DIMENSIONS SHOWN ARE FROM FACE OF BUILDING, CURB, OR WALL UNLESS OTHERWISE NOTED.

PROJECT NAME:
REVISION

01 05/06/2023 05 SET
05/05/2023 EROSION
07/16/2023 MRPA SUBMITTAL



EBERLY PROJECT NUMBER:
23-030

SHEET NUMBER:
C3.3



NOT ISSUED FOR CONSTRUCTION

SITE DATA
ZONING USE: U-I-C
TOTAL AREA: 87.0 ACRES
DISTRICT AREA: 87.0 ACRES
DOUGLAS COUNTY, GA
LAND LOT: 146, 158 DISTRICT 1ST
PARCEL ID: 05011501050001
BUILDING METRICS:
FRONT: 35 FT SIDE: 10 FT BACK: 15 FT
BUILDING DATA
BUILDING SQUARE FOOTAGE: 375,600 S.F.
OFFICE: 23,600 S.F.
WAREHOUSE: 352,000 S.F.
ALLOWABLE BUILDING HEIGHT: 35 FT
PARKING DATA
REQUIRED PARKING: 57 SPACES
PERMITTED SPACES PER 5000 S.F. OF GFA (0.75)
PARKING PROVIDED: 227 SPACES
TOTAL VAN ADA: 8 SPACES
UTILITY PROVIDERS
WATER: DOUGLAS COUNTY
SEWER: DOUGLAS COUNTY



LOCATION MAP
N.T.S.

NOW OR FORMERLY
RIVERVIEW LOGISTICS PARK 1 OWNER, LLC
PARCEL ID 01470150001

NOW OR FORMERLY
CHARLES WARD
DB 3418, PG 1
PARCEL ID 01460150009

355 GEORGIA POWER EASEMENT
DB 116, PG 314

FORMERLY
WARD
1150005

AREA WITHIN POWER EASEMENT
9.172 ACRES (399,544 SQ.FT.)

355 GEORGIA POWER EASEMENT
DB 116, PG 314

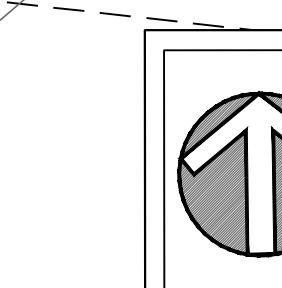
OWNER/DEVELOPER (PRIMARY PERMITTEE):
PANATTONI DEVELOPMENT
900 PINEWOOD WELL ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 921-2011

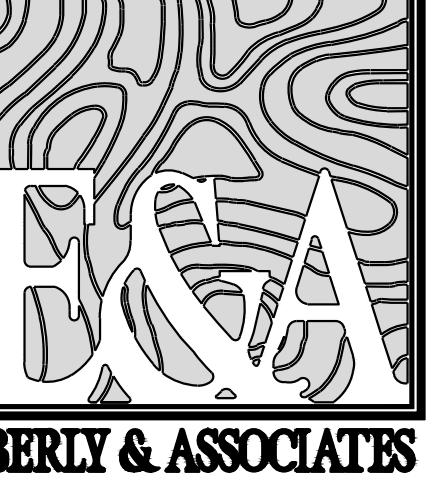
PROJECT ENGINEER:
BRIAN BRUMFIELD, P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7849
BRIANBRUMFIELD@EBERLY.NET

24 HOUR CONTACT:
ZACH OLSEN
(404) 971-0704
ZOLSEN@TCO.COM

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LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

PANATTONI PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:
NOTES:

REVISION:
01 06/09/2023 BB SET
06/09/2023 EROSION
07/16/2023 MRPA SUBMITTAL

SCALE: 1'-0"
DATE: 07/22/2023
DRAWING: FEUL LIT
PROJECT ENGINEER: TEAS PATEL
QA/QC REVIEWER: BRIAN BRUMFIELD P.E. LEED

EBERLY PROJECT NUMBER: 23-030

SHEET NUMBER:

C3.4

NOT ISSUED FOR CONSTRUCTION

GRAPHIC SCALE: 0 25 50 100 200 IN FEET
1 INCH = 50 FT.

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SITE DATA
ZONING USE: LI-R-C
TOTAL AREA: 81.0 ACRES
DISTRICT AREA: 81.0 ACRES
LAND LOT: 146, 158 DISTRICT IST
PARCEL ID: 025-1059150001
BUILDING METRICS:
FRONT: 35 FT SIDE: 10 FT BACK: 15 FT

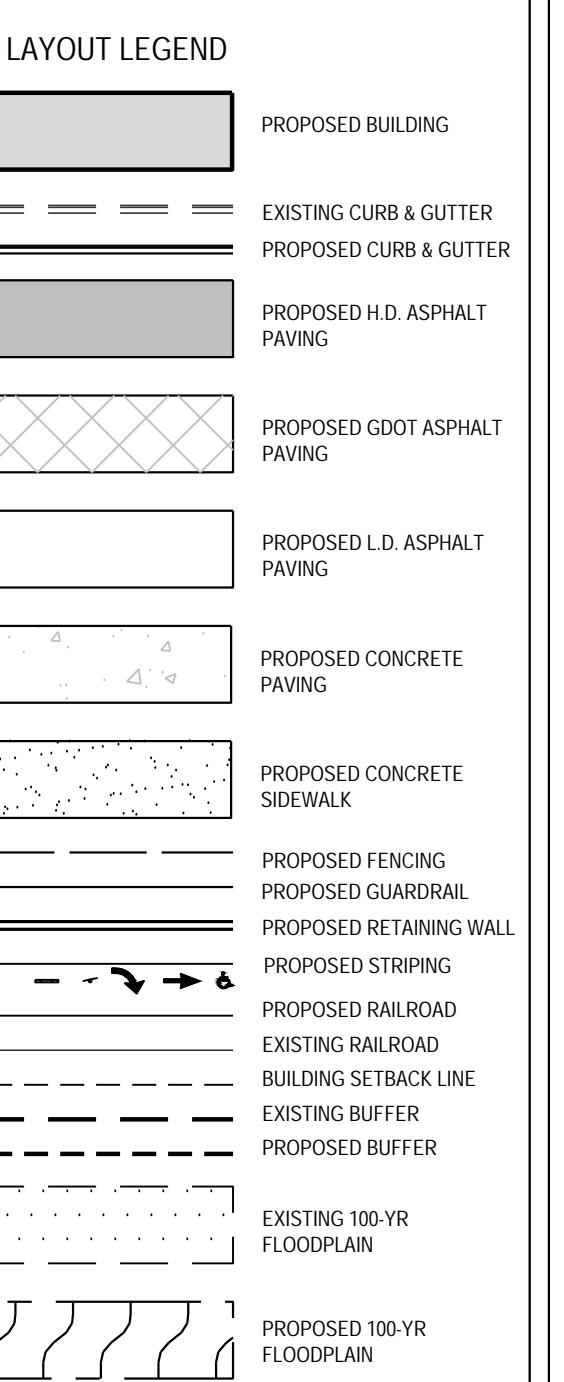
BUILDING DATA
BUILDING SQUARE FOOTAGE: 375,600 S.F.
OFFICE: 23,600 S.F.
WAREHOUSE: 352,000 S.F.
ALLOWABLE BUILDING HEIGHT: 35 FT

PARKING DATA
REQUIRED PARKING
TOTAL REQUIRED: 57 SPACES
NUMBER OF SPACES PER 5000 S.F. OF GFA (0.75)
PARKING PROVIDED
TOTAL PROVIDED: 227 SPACES
TOTAL VAN ADA: 8 SPACES

UTILITY PROVIDERS
WATER: DOUGLAS COUNTY
SEWER: DOUGLAS COUNTY



LOCATION MAP
N.T.S.



NOTES:
1. USE ARCHITECTURAL PLANS FOR BUILDING STAKE OUT.
2. ALL DIMENSIONS SHOWN ARE FROM FACE OF BUILDING CURB OR WALL UNLESS OTHERWISE NOTED

EXISTING BUILDING

APPROXIMATE LAND LOT LINE

APPROXIMATE LA

BOUNDARY LINE AGREEMENT
DB 680, PG 289

24" CURB AND GUTTER

HEAVY DUTY PAVEMENT

640

830

R1000

R1050

R1100

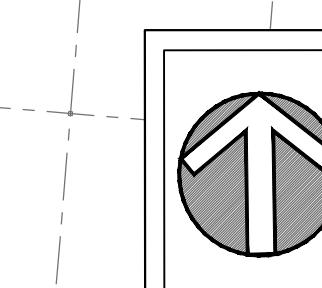
R1150

R1200

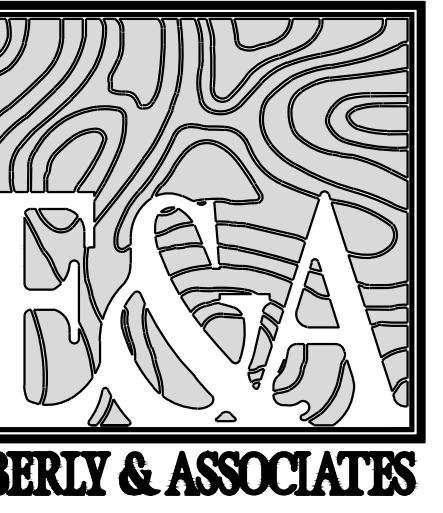
R1250

R1300

R1350



GRAPHIC SCALE
0 25 50 100 200 IN FEET
1 INCH = 50 FT.



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2951 FLOWERS ROAD SOUTH, STE

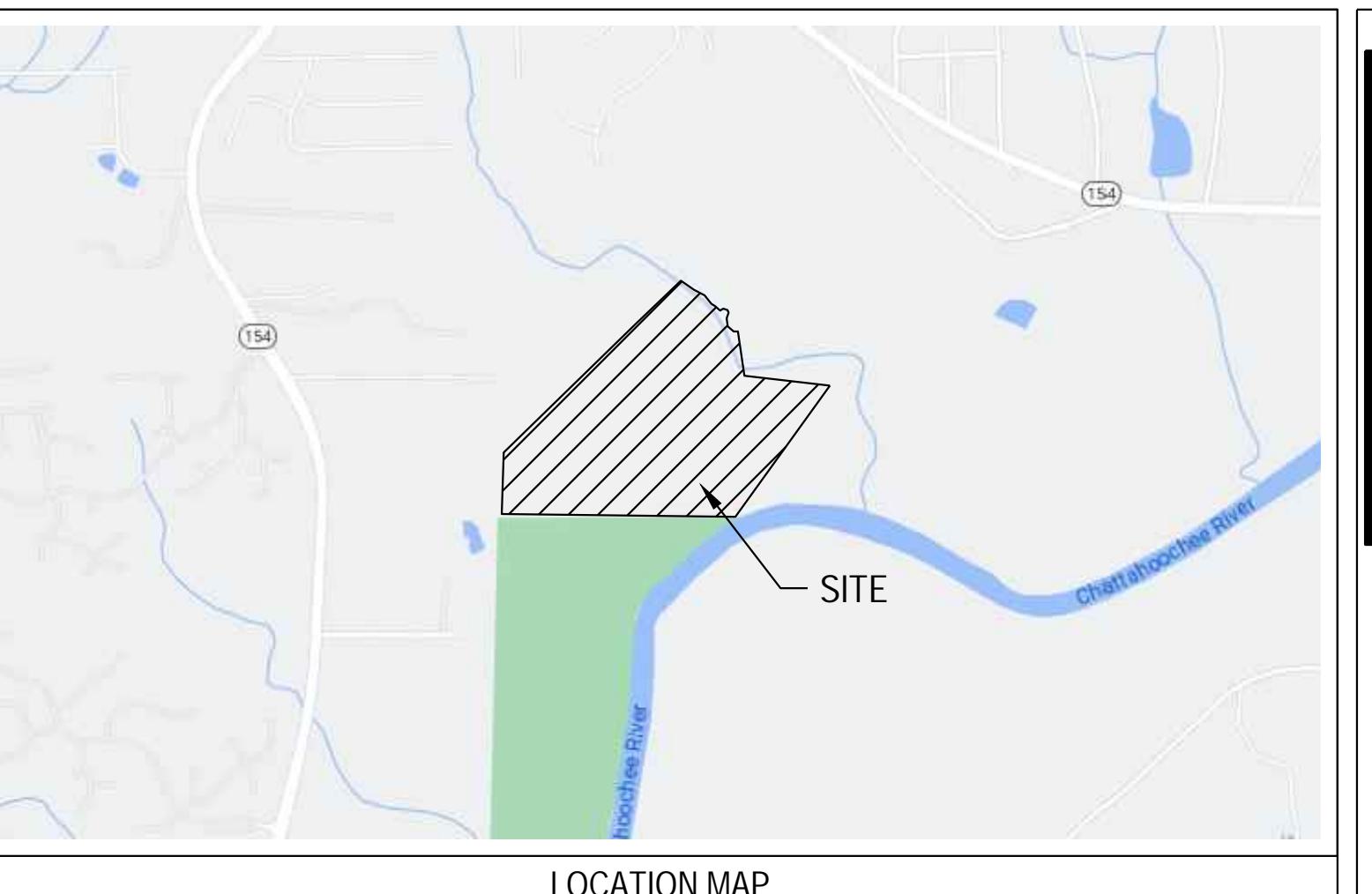
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LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



PANATTONI PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:

REVISION

01

02 SET

05/25/2023

EROSION

07/16/2023

MPPA SUBMITTAL

OVERALL GRADING PLAN

SCALE

DATE:

DRAWN BY:

PROJECT ENGINEER:

OACOC REVIEWER:

BRIAN BRUMFIELD P.E. LEED

07/22/2023

FULL LIT.

TEASER PAPER

BRIAN BRUMFIELD P.E. LEED

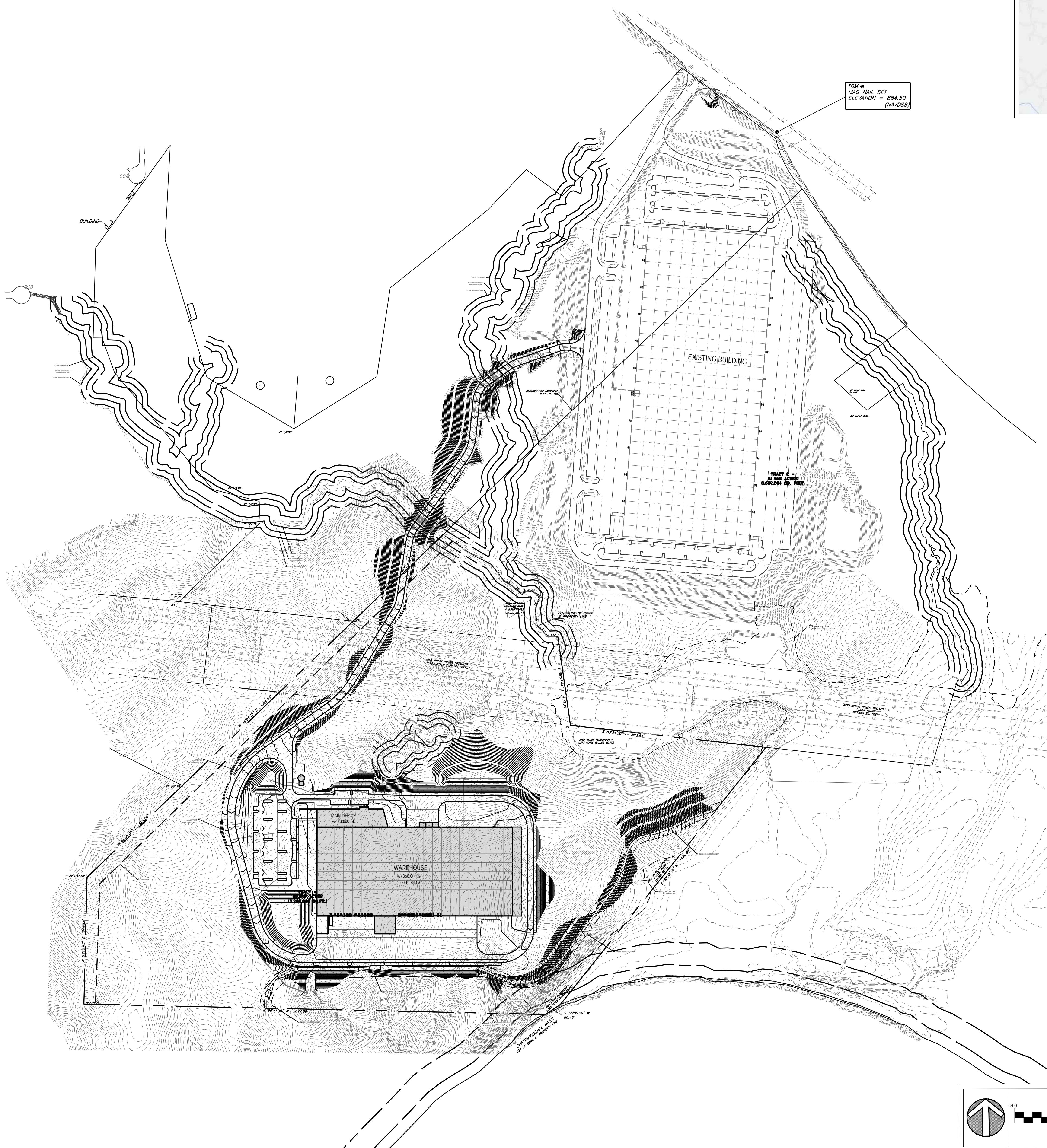
23-030

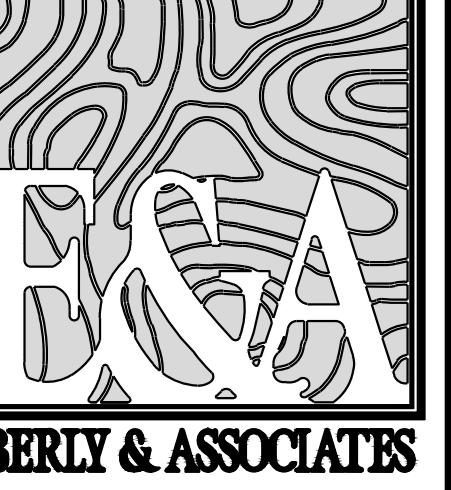
SHEET NUMBER:

C4.0

NOT ISSUED FOR
CONSTRUCTION

PROJECT TS202302409 Panattoni Project Hammer 5D Drawing 27/30 Base Drawing 3/10/2023





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LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



LOCATION MAP
N.T.S.

MAIN OFFICE
+/- 23,600 SF

WAREHOUSE
+/- 368,000 SF
FFE: 843.3

GENERAL NOTES

- RAMP RUNS SHALL HAVE RUNNING SLOPE NOT STEEPER THAN 1:12.
- CROSS SLOPES OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:6.
- SWITCHBACKS OR DOGLEG STAIRS AND RAMPS WITH A SLOPE ARE NOT PERMITTED ON RAMP RUNS.
- RAMPS SHALL HAVE LANDING AT THE TOP AND THE BOTTOM OF EACH RAMP RUN.
- TOP LANDINGS SHALL BE 40 INCHES WIDE MINIMUM.
- THE LANDING CLEAR WIDTH SHALL BE 36 INCHES WIDE MINIMUM.
- THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING.
- RAMP RUNS SHALL HAVE COMPLIANT HANDRAILS.
- ALL CURB BARRIERS SHALL BE PROVIDED TO PREVENT THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCHES OF THE GROUND SURFACE, TO PREVENT WHEEL ENTRAPMENT. THE CURB BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER.
- LANDING SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.
- HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS OR RAMPS.
- MANUAL HANDRAILS SHALL BE PROVIDED ON EACH FLIGHT OF EACH STAR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS AND RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RAMPS.
- RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF THE RAMP RUN, OR BE CONTINUOUS WITH THE WALL GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.
- AT THE TOP OF A STAR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES BEYOND THE TOP OF THE STAR FLIGHT, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAR FLIGHT.
- AT THE BOTTOM OF A STAR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAR FLIGHT FOR A HORIZONTAL DISTANCE EQUAL TO ONE AND ONE-HALF TIMES THE TOTAL LENGTH OF THE STAR FLIGHT, OR THE EXTENSION OF A HANDRAIL SHALL BE 12 INCHES LONG MINIMUM AND AS HIGH AS EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL AS MEASURED ABOVE THE STAIRS NOSING. EXTENSION SHALL RETURN TO A WALL GUARD OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAR FLIGHT.
- USE VERTICAL HANDRAILS ASSOCIATED WITH THE LANDING SURFACE, OR ALL INLETS IN TRUCK COURT AND TRAILER PARKING AREAS.
- USE GOOD DRAINAGE TYPE "T" WITH HOOD FOR ALL OTHER Curb INlets IN SAC CONDITION.
- USE GOOD DRAINAGE TYPE "X" WITH HOOD FOR ALL Curb inlets ON GRADE.
- ALL SPOT ELEVATIONS ARE AT BOTTOM OF CURB UNLESS NOTED OTHERWISE.

GRADING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED MAJOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED DRAINAGE ARROW
- PROPOSED RETAINING WALL

SPOT ELEVATION LEGEND
BW: GROUND ELEVATION AT BOTTOM OF WALL
TW: GROUND ELEVATION AT TOP OF WALL

SPOT ELEVATIONS SHOWN REPRESENT THE ELEVATION AT THE FACE OF THE CURB UNLESS OTHERWISE NOTED

OWNER/DEVELOPER (PRIMARY PERMITTEE)
PANATTONI DEVELOPMENT
900 FLOWERS ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 921-2011

PROJECT ENGINEER:
BRIAN BRUMFIELD P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7849
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PANATTONI
PROJECT HAMMER
LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

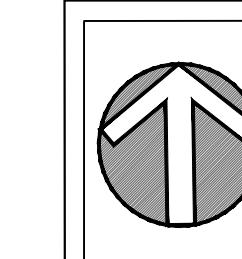
PROJECT NAME:	
REVISION	
01	05/26/2023
	BB SET
05/26/2023	EROSION
07/18/2023	MPPA SUBMITTAL

SCALE	1'-0"
DATE:	07/22/2023
DRAWING:	FEULLT
PROJECT ENGINEER:	TEASPAEL
QA/QC REVIEWER:	BRIAN BRUMFIELD P.E. LEED

GRADING PLAN	
SCALE	1'-0"
DATE:	07/22/2023
DRAWING:	FEULLT
PROJECT ENGINEER:	TEASPAEL
QA/QC REVIEWER:	BRIAN BRUMFIELD P.E. LEED

EBERLY PROJECT NUMBER:
23-030

SHEET NUMBER:
C4.1
NOT ISSUED FOR
CONSTRUCTION



GRAPHIC SCALE
1 IN FEET
1 INCH = 50 FT.

PANATTONI PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:	
REVISION	01 02/06/2023 03 SET
	02/06/2023 EROSION
	07/18/2023 MRPA SUBMITTAL


GRADING PLAN	
SCALE	1'-0"
DATE:	02/22/2023
DRAWN BY:	FEUL LIT
PROJECT ENGINEER:	TEAS PATEL
QA/QC REVIEWER:	BRIAN BRUMFIELD P.E. LEED

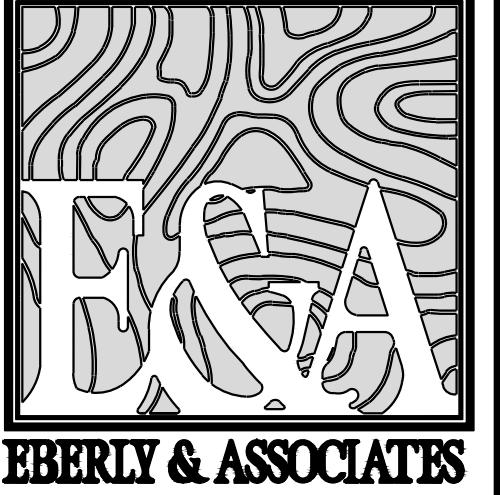
EBERLY PROJECT NUMBER: 23-030

SHEET NUMBER: C4.2
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PROJECT NUMBER: 23-030 Panattoni Project Hammer 5D Drawing 2/03 Base Drawing 3/03





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CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

PANATTONI
PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:	
REVISION	
01	05/26/2023
	05/26/2023
	EROSION
	07/18/2023
	MPPA SUBMITTAL

GRADING PLAN

SCALE: 1" = 50'
DATE: 07/22/2023
DRAWING: FEULLT
PROJECT ENGINEER: TEASPAEL
QA/QC REVIEWER: BRIAN BRUMFIELD P.E. LEED

OWNER/DEVELOPER (PRIMARY PERMITTEE):
PANATTONI DEVELOPMENT
900 FLOWERS ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 921-2011

PROJECT ENGINEER:
BRIAN BRUMFIELD P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7849
BRIEFLD@EBERLY.NET

24 HOUR CONTACT:
ZACH OLSEN
(404) 971-0704
ZOLSEN@TCCO.COM

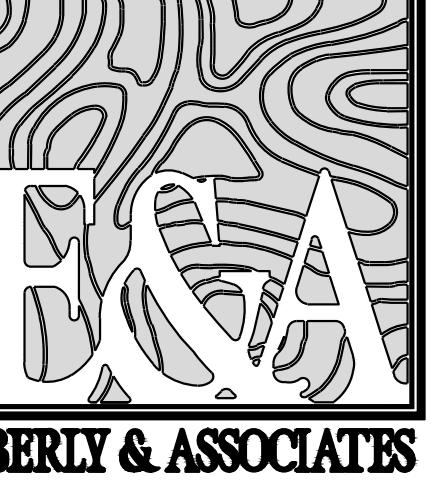
EBSR PROJECT NUMBER: 23-030

SHEET NUMBER:

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CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



LOCATION MAP
N.T.S.

PANATTONI
PROJECT HAMMER
LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:
REVISION
01 02/05/2023 03 SET
02/05/2023 EROSION
07/16/2023 MRPA SUBMITTAL

GRADING PLAN
SCALE: 1'-0"
DATE: 02/22/2023
DRAWING: FEULLT
PROJECT ENGINEER: TEAS PATEL
QA/QC REVIEWER: BRIAN BRUMFIELD P.E. LEED

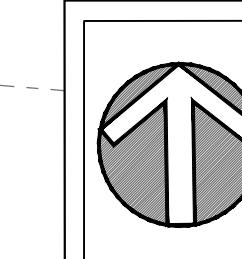
EBERLY PROJECT NUMBER:
23-030
SHEET NUMBER:

C4.4
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CONSTRUCTION
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GENERAL NOTES
1. RAMP RUNS SHALL HAVE RUNNING SLOPE NOT STEEPER THAN 1:12.
2. CROSS SLOPES OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:6.
3. CURVED RAMP RUNS THAT DO NOT FOLLOW THE SLOPES OF THE CURVES ARE NOT PERMITTED ON RAMP RUNS.
4. RAMPS SHALL HAVE LANDING AT THE TOP AND BOTTOM OF EACH RAMP RUN.
5. TOP LANDINGS SHALL BE 40 INCHES WIDE MINIMUM.
6. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING.
7. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING.
8. RAMP RUNS SHALL HAVE COMPLIANT HANDRAILS.
9. A CURB BARRIER SHALL BE PROVIDED ON THE GROUND SURFACE WHICH PREVENTS THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCHES OF THE GROUND SURFACE. TO PREVENT WHEEL ENTRAPMENT, THE CURB BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER ALONG THE GROUND SURFACE.
10. LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.
11. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS OR RAMPS.
12. HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE STAIR FLIGHT OR RAMP RUN INSIDE HANDRAILS ON SWITCHBACK OR DOUBLE LEG STAIRS AND RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RAMPS.
13. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF THE RAMP RUN. THE HANDRAIL SHALL BE ATTACHED TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.
14. AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES BEYOND THE TOP OF THE STAIR FLIGHT. THE HANDRAIL SHALL BE ATTACHED TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
15. AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE EQUAL TO ONE AND ONE-HALF TIMES THE TOTAL LENGTH OF THE STAIR FLIGHT. THE HORIZONTAL EXTENSION OF A HANDRAIL SHALL BE 12 INCHES LONG MINIMUM AND AS HIGH AS EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL AS MEASURED ABOVE THE STAIRS NOSING. EXTENSION SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
16. USE VERTICAL STANCHIONS ASSEMBLED WITH SWIVELING TOPS FOR TRUCK COURT AND TRAILER PARKING AREAS.
17. USE GOOD DRAINAGE TYPE "T" WITH HOOD FOR ALL OTHER CURB INLETS IN A SAC CONDITION.
18. USE GOOD DRAINAGE TYPE "X" WITH HOOD FOR ALL CURB INLETS ON GRADE.
19. ALL SPOT ELEVATIONS ARE AT BOTTOM OF CURB UNLESS NOTED OTHERWISE.

GRADING LEGEND
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED MAJOR CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED DRAINAGE ARROW
PROPOSED RETAINING WALL
SPOT ELEVATION LEGEND
BW: GROUND ELEVATION AT BOTTOM OF WALL
TW: GROUND ELEVATION AT TOP OF WALL
SPOT ELEVATIONS SHOWN REPRESENT THE ELEVATION AT THE FACE OF THE CURB UNLESS OTHERWISE NOTED

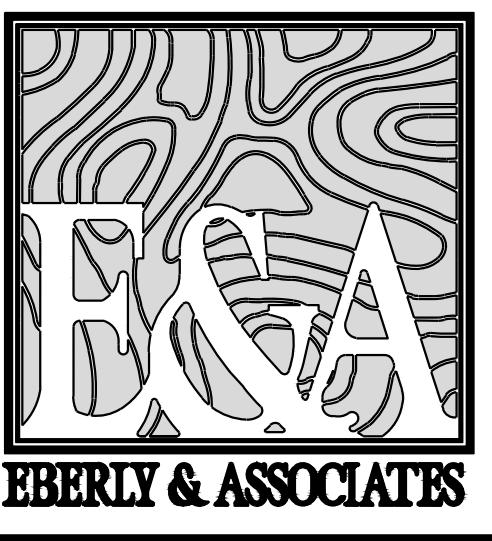
OWNER/DEVELOPER (PRIMARY PERMITTEE)
PANATTONI DEVELOPMENT
900 FLOWERS ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 921-2011
PROJECT ENGINEER
BRIAN BRUMFIELD P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7849
BRIAN.BRUMFIELD@EBERLY.NET
24 HOUR CONTACT
ZACH OLSEN
(404) 971-0704
ZOLSEN@FTCCO.COM



GRAPHIC SCALE
-50 0 25 50 100 200
(IN FEET)
1 INCH = 50 FT.

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PROJECT TS2023023030 Panattoni Project Hammer 5 Drawing 2/3 Base Drawing 3/3



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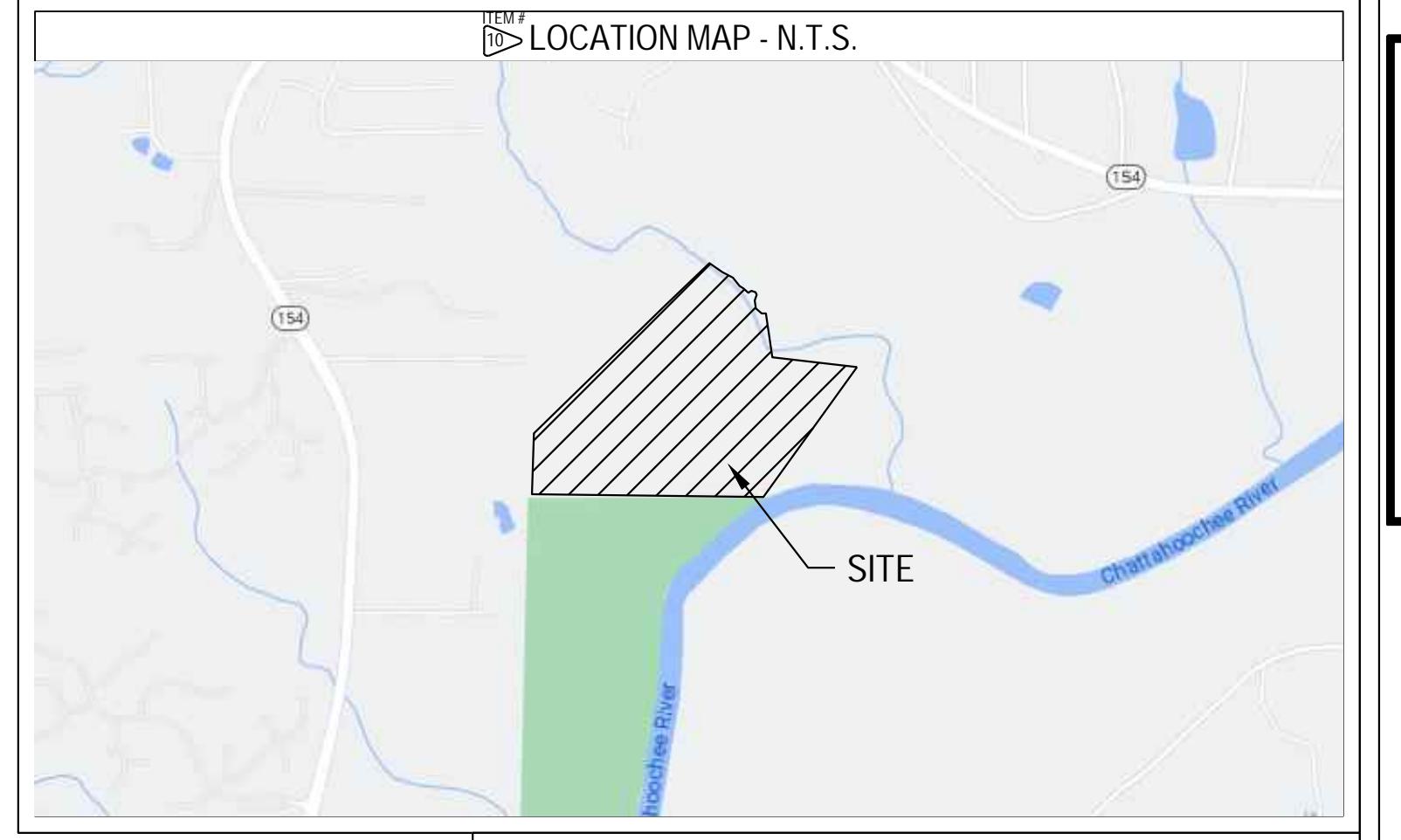
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LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



LOCATION MAP - N.T.S.

PANATTONI PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:

REVISION

01 02/26/2023 DB SET

02/26/2023 EROSION

07/16/2023 MRPA SUBMITTAL

INITIAL ES&PC PLAN

SCALE:

1"=200'

02/27/2023 DRAWING

FEUL LIT:

TEASER PATEL

BRIAN BRUMFIELD, P.E. LEED

PROJECT ENGINEER:

OACOC REVIEWER:

23-030

DATE:

DRAWN BY:

PROJECT ENGINEER:

OACOC REVIEWER:

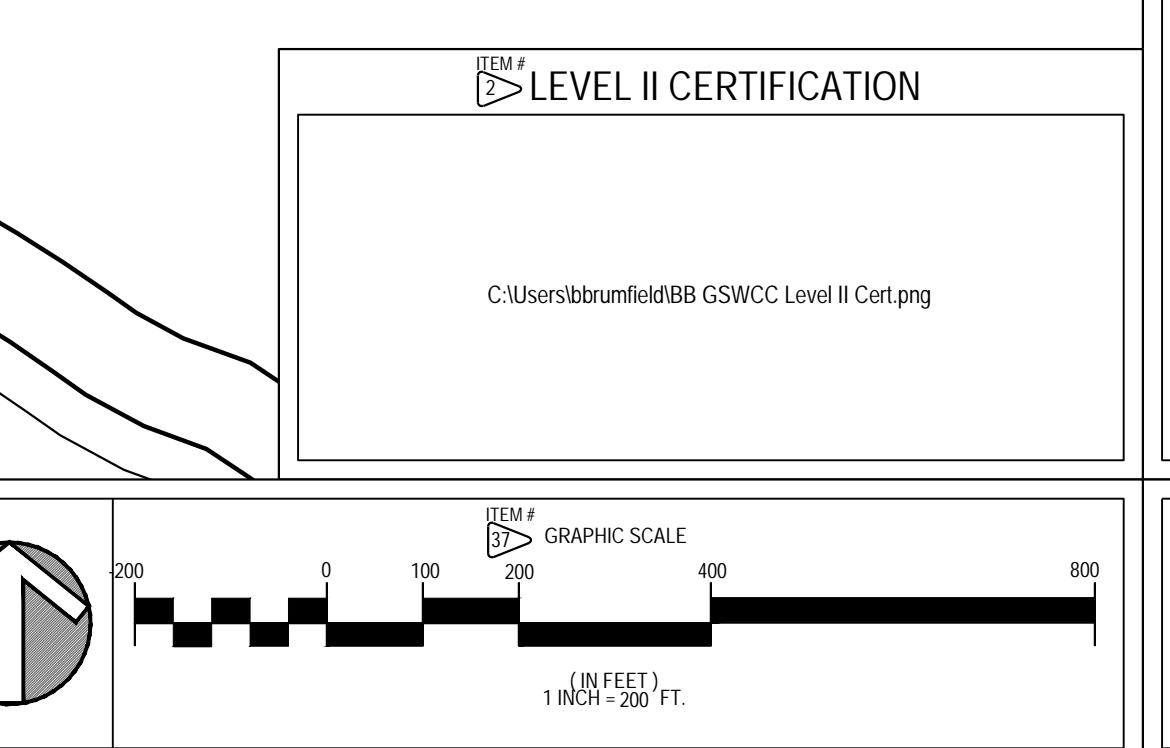
23-030

SHEET NUMBER:

EC2.0

NOT ISSUED FOR

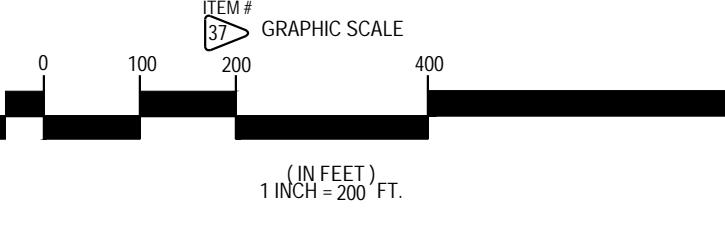
CONSTRUCTION



TOTAL SITE AREA = 83.8 ACRES
DISTURBED AREA = 43.3 ACRES

LEVEL II CERTIFICATION

C:\Users\bbrumfield\BBB GSWC Level II Cert.png



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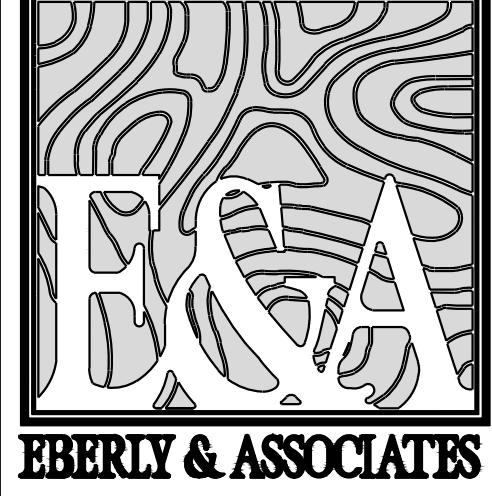
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Call 811

Free throughout

3 working days

before you dig



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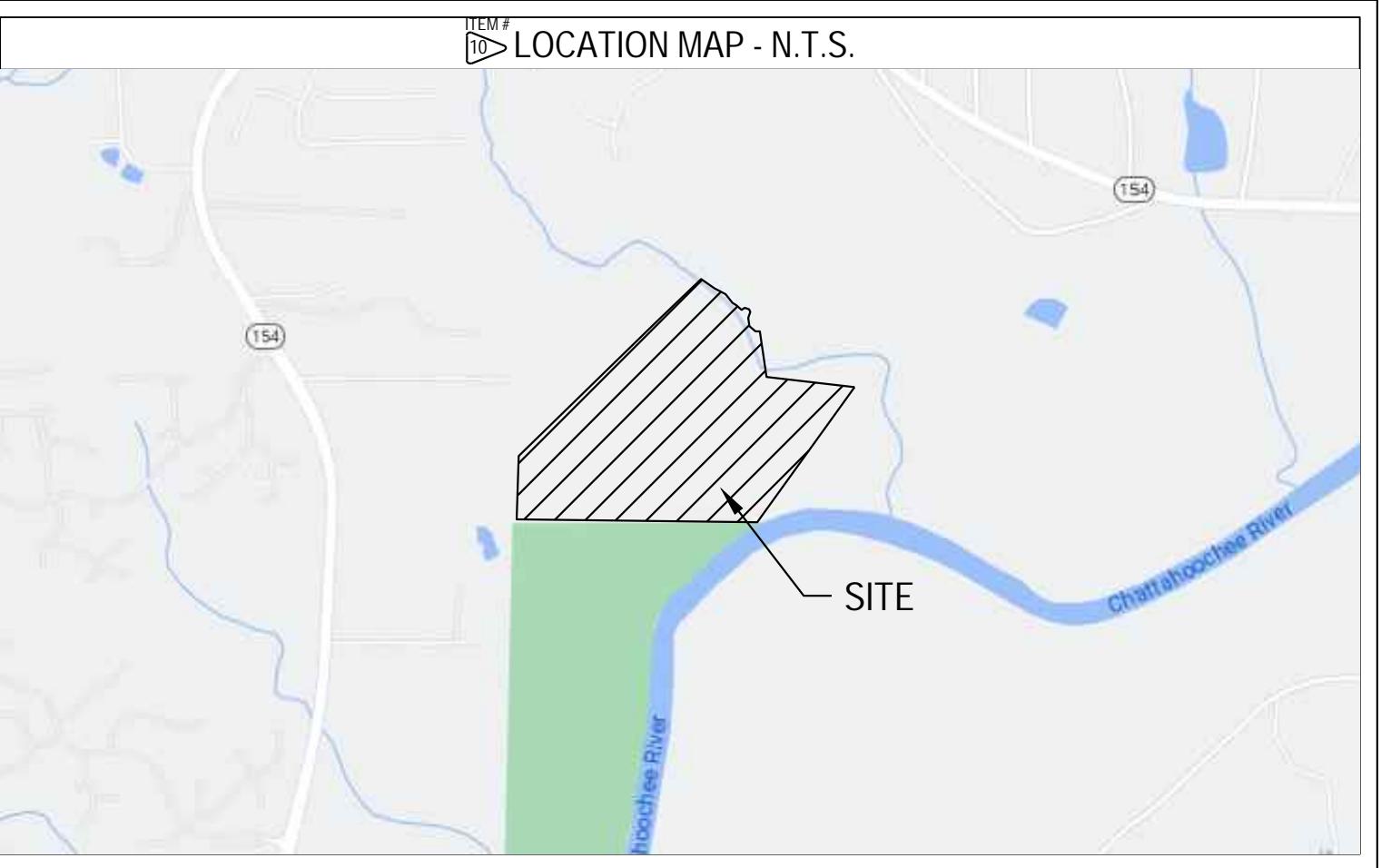
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WWW.EBERLY.NET

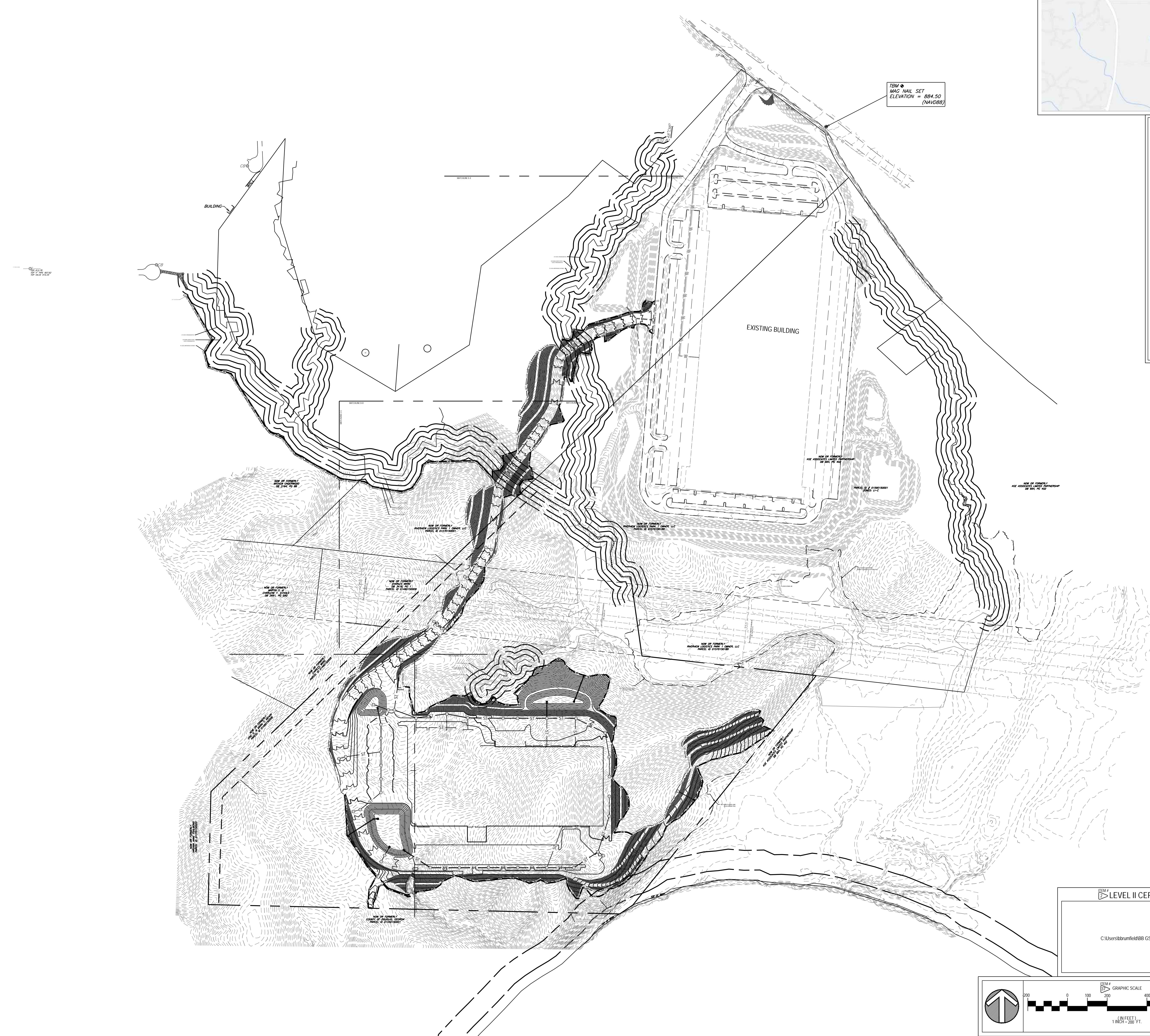
LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE



TBM #
MAG NAIL SET
ELEVATION = 884.50
(NAVD88)



EROSION CONTROL NOTES

1. SEDIMENT AND EROSION CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
3. CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V.
4. ALL STUMP REMOVAL SHALL BE CONDUCTED WITH A CHAINSAW OR similar equipment.
5. ALL STUMPS, LIMBS, AND TOPS ARE TO BE DISPOSED OF OFF-SITE AND THE SOIL IS TO BE CLEANED BY USE OF A ROOT RAKE OR SIMILAR IMPLEMENT.
6. ALL TOPSOIL IS TO BE RE-Spread AND RE-COMPACTED AS SOON AS POSSIBLE.
7. AFTER ROUGH GRADING IS COMPLETE, THE TOPSOIL IS TO BE RE-SPREAD IN THE FRONT AND REAR YARD SLOPES, AND OTHER NON-LOAD-BEARING LOCATIONS. CARE MUST BE TAKEN TO ENSURE THAT THE TOPSOIL IS NOT APPLIED OVER EXISTING CONCRETE SURFACES.
8. ALL TOPSOIL IS TO BE COMPACTED AND WALKED IN PRIOR TO APPLICATION OF SEED OR SOIL.
9. STATE WATERS WERE LOCATED ON THE SITE.
10. SEE ATTACHED ESRP FOR THE SITE PER INVESTIGATION CONDUCTED BY ALTANRIS LAND TITLE SURVEY DATED 3/17/2023.
11. SEE TREE PROTECTION AND REPLACEMENT PLAN FOR TREE REMOVAL WITHIN THE LIMITS OF THE APPROVED PLAN.
12. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADJUSTMENTS MAY BE MADE AS NECESSARY. EROSION CONTROL MEASURES ARE REQUIRED TO CONTROL OR TREAT THE SEDIMENT SOURCE. PRACTICES WILL BE CHECKED DAILY.
13. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE RE-SEDED OR RE-GRASSED AS SOON AS POSSIBLE.
14. THE DESIGN PROFESSIONAL WHO PREPARED THE ESRP PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER FENCE.
15. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF BREASTED VEGETATION OR WHERE THE STREAM COULD MAKE A BUFFER AND REACH THE JURISDICTIONAL DETERMINATIVE LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
16. UTILITIES LOCATED ON THE SITE ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND CONTACT THE UTILITY COMPANIES TO HAVE THEM RELOCATED WHEN NECESSARY OR ADAPTED FOR THE INC.
17. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES.
18. RESTORE DETENTION PONDS TO ORIGINAL DESIGN CONDITIONS ONCE SITE HAS BEEN STABILIZED AND TEMPORARY SEDIMENT PONDS AND RETROITS HAVE BEEN REMOVED. THIS INCLUDES REMOVING SILT AND MUCK FROM THE BOTTOM OF THE PONDS AND INSTALLING PERMANENT GRASS.

PANATTONI PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:	
REVISION	
01	03 SET

02/25/2023 EROSION

07/16/2023 MRPA SUBMITTAL

INTERMEDIATE ES&PC PLAN

SCALE	1"-200'
DATE:	02/22/2023
DRAWING:	LEVEL II CERTIFICATION
PROJECT ENGINEER:	BRIAN BRUMFIELD, P.E. LEED

QA/QC REVIEWER:

ZACH OLSON
ZOLSON@EBERLY.COM

PROJECT NUMBER:

23-030

SHEET NUMBER:

EC3.0

NOT ISSUED FOR CONSTRUCTION



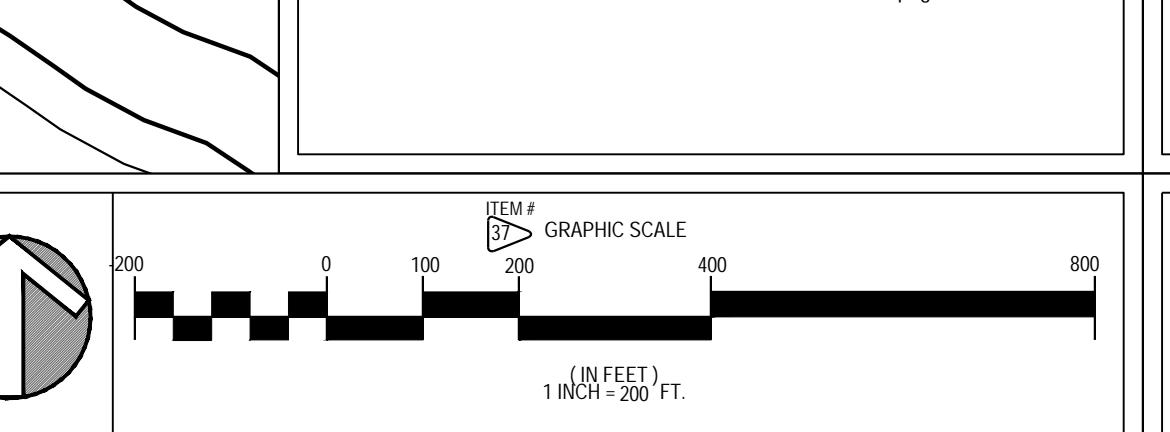
PROJECT TS2023024/03 Panattoni Project Hammer 5C Drawing

July 18, 2023

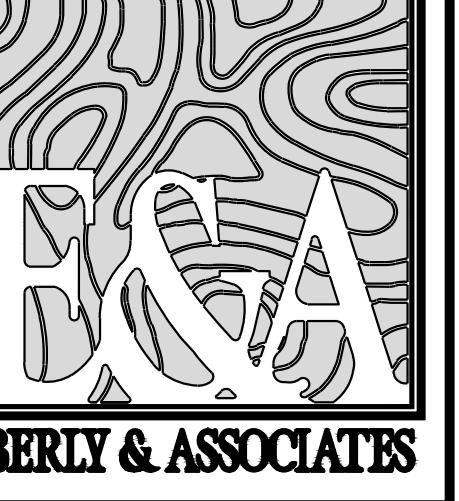
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ITEM # 200 0 100 200 400 800
GRAPHIC SCALE
(IN FEET)
1 INCH = 200 FT.



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119 ATLANTA, GEORGIA 30341

WWW.EBERLY.NET

LAND PLANNING

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

PROJECT NAME:

PANATTONI
PROJECT HAMMER

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NUMBER:

REVISION
01 06/26/2023 DB SET
06/26/2023 EROSION
07/16/2023 MRPA SUBMITTAL

TOTAL SITE AREA = 83.8 ACRES
DISTURBED AREA = 43.3 ACRES

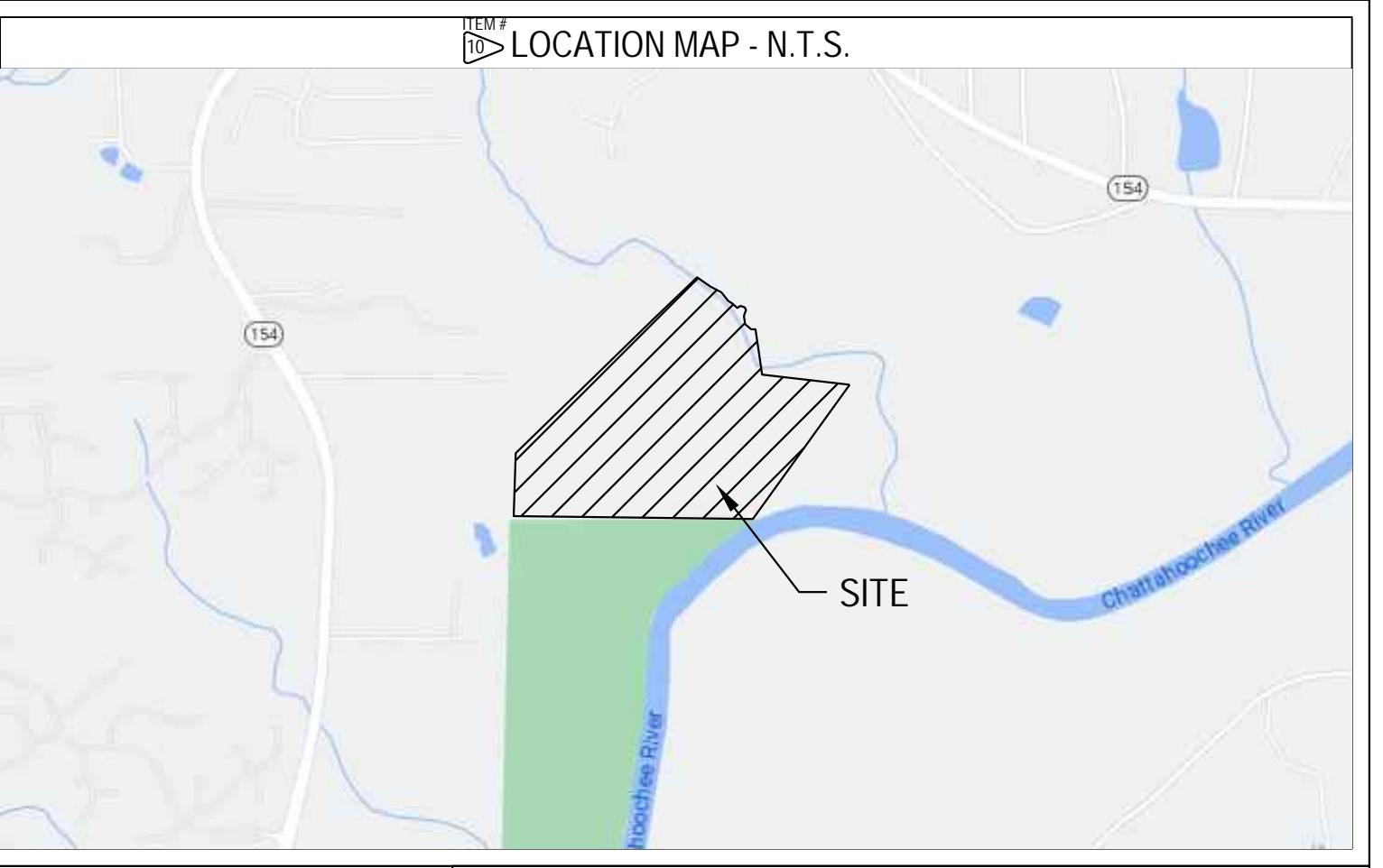
DRAWN BY:
PROJECT ENGINEER:
QA/QC REVIEWER:

EBERLY PROJECT NUMBER:
23-030

SHEET NUMBER:

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EROSION CONTROL NOTES

1. SEDIMENT AND EROSION CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
3. CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V.
4. ALL STUMP REMOVAL SHALL BE CONDUCTED WITH A CHAINSAW OR similar timbered.
5. ALL STUMPS, LIMBS, AND TOPS ARE TO BE DISPOSED OF OFF-SITE AND THE SOIL IS TO BE CLEANED BY USE OF A ROOT RAKE OR SIMILAR IMPLEMENT.
6. ALL TOPSOIL IS TO BE RE-Spread AND GRADED IN A MANNER THAT IS TIMBERED.
7. AFTER ROUGH GRADING IS COMPLETE, THE TOPSOIL IS TO BE RE-SPREAD IN THE FRONT AND REAR YARD, SLOPES, AND OTHER NON-LOAD-BEARING LOCATIONS. CARE MUST BE TAKEN TO ENSURE THAT THE TOPSOIL IS NOT APPLIED ON THE EXISTING SURFACE.
8. ALL TOPSOIL IS TO BE COMPACTED AND WALKED IN PRIOR TO APPLICATION OF SEED OR SOIL.
9. STATE WATERS WERE LOCATED ON THE SITE.
10. SEE ATTACHED EROSION CONTROL PLAN FOR SITE PER INVESTIGATION CONDUCTED BY ALTARISPS LAND TITLE SURVEY DATED 3/17/2023.
11. SEE TREE PROTECTION AND REPLACEMENT PLAN FOR TREE REMOVAL WITHIN THE LIMITS OF THE APPROVED PLAN.
12. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADJUSTMENTS SHALL BE MADE AS NECESSARY. EROSION CONTROL MEASURES ARE REQUIRED TO CONTROL OR TREAT THE SEDIMENT SOURCE. PRACTICES WILL BE CHECKED DAILY.
13. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE RE-SEDED OR RE-COVERED AS SOON AS POSSIBLE.
14. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER FENCE.
15. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF VRESTED VEGETATION OR WHERE THE STREAM CROSSING MARKS AND BUFFER ARE REACHABLE. THE JURISDICTIONAL DETERMINATIVE LINE, WHETHER FIRM OR SOFT, DETERMINES THE NECESSARY VARIANCES AND PERMITS.
16. UTILITIES LOCATED ON THE SITE ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND CONTACT THE UTILITY COMPANIES TO HAVE THEM RELOCATED WHEN NECESSARY OR ADAPTED FOR THE INC.
17. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES.
18. RESTORE DETENTION PONDS TO ORIGINAL DESIGN CONDITIONS ONCE SITE HAS BEEN STABILIZED AND TEMPORARY SEDIMENT PONDS AND RETROFITS HAVE BEEN REMOVED. THIS INCLUDES REMOVING SILT AND MUCK FROM THE BOTTOM OF THE PONDS AND INSTALLING PERMANENT GRASS.

