

DATE: AUGUST 14, 2023

TO: Chairman Phil D. Miller, Douglas County Commission
ATTN TO: Allison Duncan, Planning and Zoning Manager, Douglas County
FROM: Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC23-01-DC Riverview Building 2 Douglas County

MRPA Code: RC23-01-DC

Description: A Metropolitan River Protection Act review of a project to construct a 368,000 SF distribution facility on a 257-acre site off of Highway 166/154 in Douglas County. A total of 125 acres of the site fall within the Chattahoochee River Corridor with the remaining 157 acres outside the Corridor. The scope of work includes the distribution building with associated truck court, auto parking, utilities, and stormwater conveyance system. An existing power line easement on the portion of the site within the Corridor exceeds the allowed land disturbance area on its own. This creates a physical hardship for the property making it eligible for an equivalent consistency finding. Based on an equivalent consistency test, the proposed amounts of disturbed and impervious areas provide a level of land and water resource protection equivalent to a land-disturbing activity that is consistent with the Plan.

Preliminary Finding: ARC's preliminary finding is that the project, while not consistent with the Chattahoochee River Corridor Plan in all respects, provides a level of land and water resource protection equivalent to a land-disturbing activity consistent with the Plan.

Submitting Local Government: Douglas County

Date Opened: August 14, 2023

Deadline for Comments: August 24, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF DOUGLASVILLE

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF CHATTAHOOCHEE HILLS

CHATTAHOOCHEE RIVERKEEPER
CITY OF SOUTH FULTON
DOUGLAS COUNTY

Please email comments to dshockey@atlantaregional.org For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If no comments are received by August 24, 2023, ARC will assume that your agency has no input and will close the review. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

ALLISON DUNCAN, AICP
Planning & Zoning Manager

PHIL SHAFER
Zoning Administrator

JACQUALLE JOHNSON
Senior Planner



JOHANNAH WOMACK
Clerk of the Planning & Zoning Board

KIMBERLY WATTERS
Department Secretary

DOUGLAS COUNTY BOARD OF COMMISSIONERS
PLANNING & ZONING DEPARTMENT
8700 Hospital Drive • Douglasville, GA 30134
Telephone (770) 920-7241 • Fax (678) 715-5366

July 18, 2023

Jim Santo
c/o Atlanta Regional Commission
229 Peachtree Street
Ste 100
Atlanta GA 30303

Dear Mr. Santo:

Douglas County is in receipt of an application for Metro River Review for a distribution facility located in Land Lots 146 and 158, District 1, Section 5, off Highway 166/154 - Fairburn Road (Parcel # 01590150001 and 01470150001). I am enclosing information to initiate the required review on Metropolitan River Protection Act, including a completed application, as well as supporting documentation submitted by the applicant. The required review fees have been sent to you directly by the applicant. If you need any additional information at this time, please contact me at your convenience.

Sincerely,

Allison Duncan, AICP
Planning and Zoning Manager

Website: CelebrateDouglasCounty.com

Persons with hearing or speech disabilities who need to contact Douglas County may place their call through the Georgia Relay Center at (800) 255-0056 (Text Telephone) or (800) 255-0135 (Voice Telephone).

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: Douglas County
2. Owner(s) of Record of Property to be Reviewed:
Name(s): PDC Atlanta LPIV, LLC
Mailing Address: 9040 Roswell Road Suite 420
City: Atlanta State: GA Zip: 30350
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-921-2011 Fax: _____
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): Eberly and Associates
Mailing Address: 2951 Flowers Road South Suite 119
City: Atlanta State: GA Zip: 30341
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-452-7849 Fax: _____
Other Numbers: _____
4. Proposed Land or Water Use:
Name of Development: Riverview Site (updated)
Description of Proposed Use: Existing 798,000 S.F. and a new 368,000 S.F. distribution facility with associated truck court, auto parking, utilities and storm water conveyance system.
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: _____
146,147,157 & 158, 1st District, 5th Section, Douglas County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Georgia Highway 166
Size of Development (Use as Applicable):
Acres: Inside Corridor: 125.0 acres
Outside Corridor: 112.0 acres
Total: 237 acres
Lots: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

Using the category areas provided by the applicant, the allowed maximums for each category for the maximum consistent project were calculated:

Maximum Consistent Project:

Category	Total Area	Land Disturbance	Impervious Surface
C	211,011 SF	147,708 SF (70%)	94,955 SF (45%)
D	1,435,626 SF	717,813 SF (50%)	430,688 SF (30%)
E	3,481,444 SF	1,044,433 SF (30%)	522,217 SF (15%)
F	305,583 SF	30,688 SF (10%)	6,112 SF (2%)
TOTALS:	5,433,664 SF	1,940,512 SF	1,053,972 SF

Using the totals from this table, the areas used in the runoff coefficient test were calculated:

5,433,664 SF (total area) – 1,940,512 SF (disturbed area) = 3,493,152 SF (natural/undisturbed)

1,940,512 SF (disturbed) – 1,053,972 SF (impervious) = 886,540 SF (landscaped)

1,053,972 (impervious)

Next, the percentage of the total site in each area was calculated, expressed as a decimal. Then, each percentage was multiplied by the appropriate runoff coefficient:

$3,493,152 / 5,433,664 = 0.643 \times 0.30 = 0.1929$

$886,540 / 5,433,664 = 0.163 \times 0.35 = 0.0571$

$1,053,972 / 5,433,664 = 0.194 \times 0.95 = 0.1843$

Average weighted runoff coefficient: 0.4343

Using the numbers in the application, the process was repeated for the proposed project:

Proposed Project:

Category	Total Area	Land Disturbance	Impervious Surface
C	211,011 SF	129,301 SF (59%)	0 SF (0%)
D	1,435,626 SF	916,719 SF (64%)	257,597 SF (18%)
E	3,481,444 SF	2,038,315 SF (59%)	670,301 SF (19%)
F	305,583 SF	135,993 SF (45%)	6,112 SF (3%)
TOTALS:	5,433,664 SF	3,220,328 SF	937,977 SF

Again, using the totals from the proposed project table, the areas for this portion of the runoff coefficient test were calculated:

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? Yes

If "yes", indicate the 100-year floodplain elevation: 754

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? Yes

If "yes", indicate the 500-year flood plain elevation: 760

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

☒ Written consent of all owners to this application. (Space provided on this form)

☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

☒ Description of proposed use(s). (Space provided on this form)

☐ Existing vegetation plan.

☒ Proposed grading plan.

☐ Certified as-builts of all existing land disturbance and impervious surfaces.

☐ Approved erosion control plan.

☐ Detailed table of land-disturbing activities. (Both on this form and on the plans)

____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as

necessary) Joe Guion - Senior Development Manager

Joe Guion

7/18/2023

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Brian Brumfield, P.E.

Brian Brumfield

05/17/2023

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of Douglas County, GA requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

allison

7/19/23

Signature of Chief Elected Official or Official's Designee

Date

Memorandum

Date: August 10, 2023

To: File

From: Jim Santo, ARC

Subject: Equivalent Consistent Finding for Riverview Logistics Building 2 in Douglas County

This is the second phase of a project that was reviewed under MRPA in early 2023. The total area of the project property is about 237 acres, with 125 acres in the Corridor, which includes land in the C, D, E, and F vulnerability categories. The property is crossed by a power line easement that, under the terms of the Chattahoochee Corridor Plan is automatically considered land disturbance and must be included as part of the total land disturbance proposed in any Corridor (or MRPA) review of the property. The easement area in the D and E category uses up most of the available land disturbance maximum in both categories and does not allow for consistent use on the remainder of the property.

Under the Chattahoochee Corridor Plan, pre-existing legal, physical, biological or hydrological conditions that prevent achievement of consistency are considered hardships, making properties affected by these conditions eligible for an equivalent consistency finding.

It is ARC staff opinion that the power line easement constitutes such a hardship, making the property eligible for equivalent consistency. We use an average weighted runoff coefficient test to determine equivalent consistency.

Average Weighted Runoff Coefficient Test

The average weighted runoff coefficient test compares the proposed project to a hypothetical maximum consistent project, which assumes that the condition causing the hardship does not exist. The test handles disturbance and undisturbed areas differently than in a review.

Undisturbed areas are identified as “natural”, and the non-impervious portion of the disturbed area (impervious is always land disturbance as well) is separated out and called “landscaped”. Impervious is unchanged. The calculations average out the areas and percentages of the natural, landscaped and impervious land across the entire site, combining the totals of each in all categories. The percentages are multiplied by a runoff coefficient (0.30 for natural, 0.35 for landscaped and 0.95 for impervious). The results for each factor are then added together and the resulting sum is the average weighted runoff coefficient for the maximum consistent project. The test is run again for the proposed project. If the proposed average weighted runoff coefficient is the same or lower than the maximum consistent project, then it is determined to be equivalent to a consistent project.

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? Yes

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

RC-22-04DC, River Logistics Park 1, Logistics Center at 3945 Highway 166

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system Tie into Douglas County Sewer System

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	<u>211,011 s.f.</u>	<u>129,301 s.f.</u>	<u>0 s.f.</u>	(70) <u>59</u>	(45) <u>0</u>
D	<u>1,435,626 s.f.</u>	<u>916,719 s.f.</u>	<u>257,597 s.f.</u>	(50) <u>64</u>	(30) <u>18</u>
E	<u>3,481,444 s.f.</u>	<u>2,038,315 s.f.</u>	<u>670,301 s.f.</u>	(30) <u>59</u>	(15) <u>19</u>
F	<u>305,583 s.f.</u>	<u>135,993 s.f.</u>	<u>10,079 s.f.</u>	(10) <u>45</u>	(2) <u>3</u>
Total:	<u>125 acres</u>	<u>73.9 acres</u>	<u>21.5 acres</u>	<u>N/A</u>	<u>N/A</u>

NOTE: The property in this review includes 125 acres in the Chattahoochee River Corridor, with land in the C,D, E and F categories. The Corridor portion of the property is crossed by a power easement, which is land disturbance as defined in the Chattahoochee Corridor Plan and must be included as part of the total land disturbance in any Metropolitan River Protection Act (MRPA) review of the property. In this case, the easement areas in the D and E categories are close to the allowed maximums in these categories, severely limiting what can be done on the parcel.

Part 1.B.9. of the Chattahoochee Corridor Plan allows pre-existing legal, physical, biological or hydrological conditions that prevent achievement of consistency with the standards of the corridor Plan to be considered hardships, allowing properties affected by such conditions to be eligible for an equivalent consistent finding. ARC staff has determined that the existing easement is a hardship under the Corridor Plan.

The proposed project was then determined to be equivalent to a consistent project as provided for in Section 12-5-445(a)(1)(B) of the Metropolitan River Protection Act, using an average weighted runoff coefficient test. This test compares the proposed project to a fully consistent project developed at category maximums on the property, assuming no easement exists. Projects with average weighted runoff coefficients the same or lower than the consistent project are considered to be equivalent to a fully consistent project. The proposed project meets the test and, while not consistent with the Plan in all respects, is equivalent to a consistent project.

The test and determination are described in the memo attached to this application.

Memorandum
August 10, 2023
Page Three

$5,433,664 \text{ SF (total area)} - 3,220,328 \text{ SF (disturbed area)} = 2,213,336 \text{ SF (natural/undisturbed)}$

$3,320,328 \text{ SF (disturbed)} - 937,977 \text{ SF (impervious)} = 2,282,351 \text{ SF (landscaped)}$

937,977 (impervious)

Next, the percentage of the total site in each area was calculated, expressed as a decimal. Then, each percentage was multiplied by the appropriate runoff coefficient:

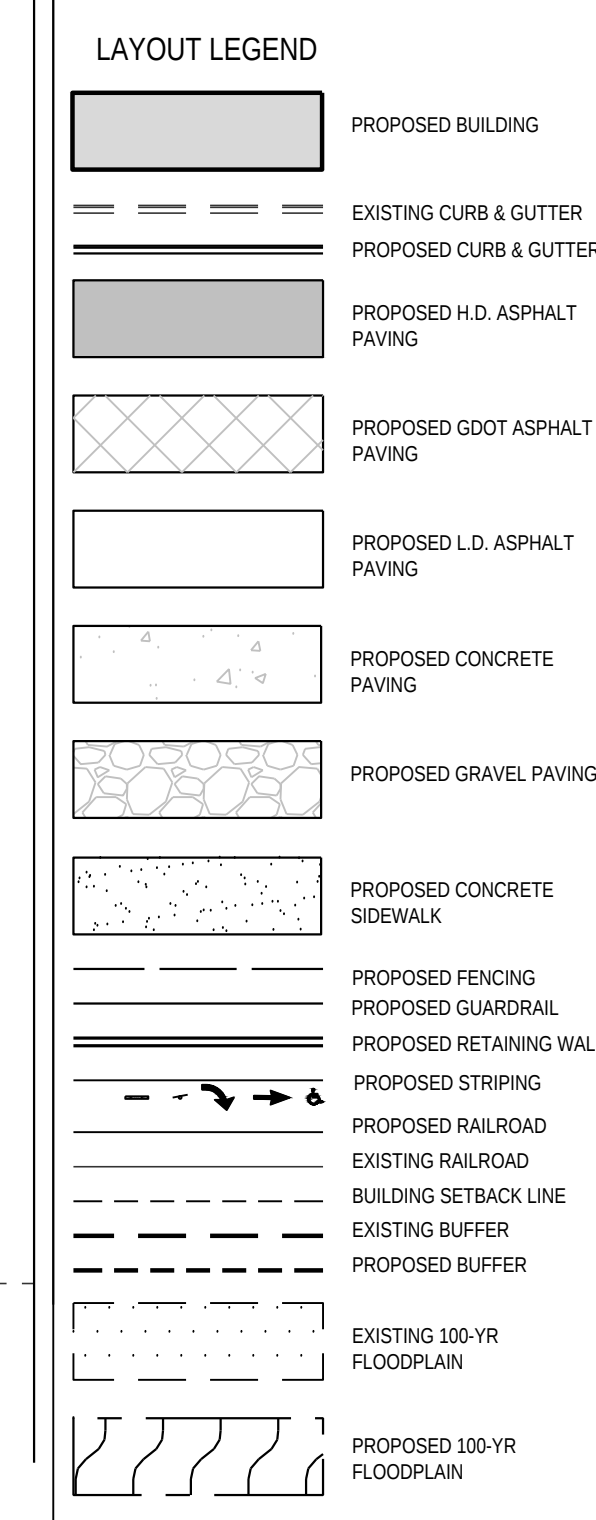
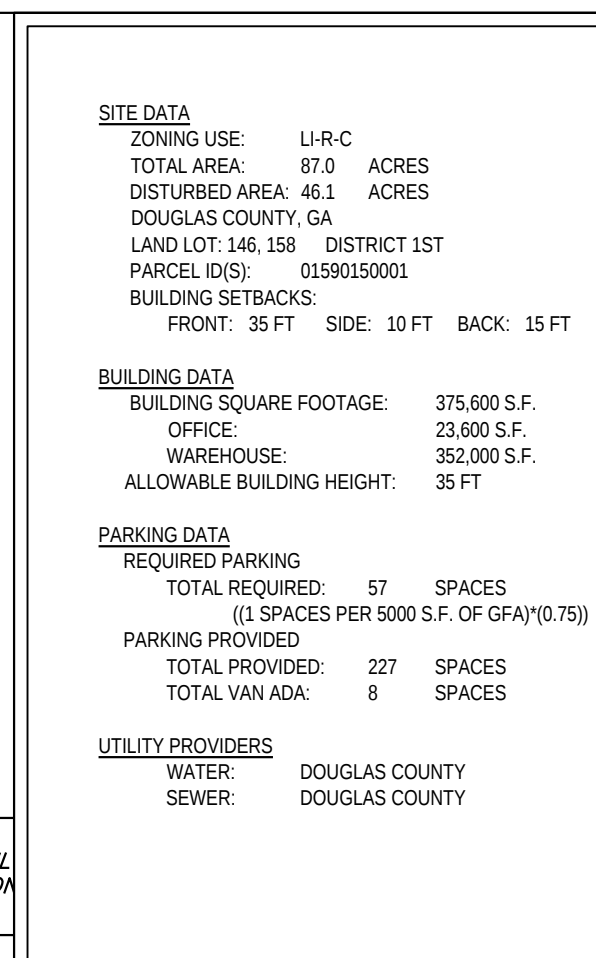
$2,213,336 / 5,433,664 = 0.407 \times 0.30 = 0.1221$

$2,282,351 / 5,433,664 = 0.420 \times 0.35 = 0.1470$

$937,977 / 5,433,664 = 0.173 \times 0.95 = 0.1644$

Average weighted runoff coefficient: 0.4335

As the average weighted runoff coefficient for the proposed project is less than coefficient for the maximum consistent project, the proposed project passes the coefficient test and will be considered equivalent to a consistent project if submitted as shown.



NOTES

1. USE ARCHITECTURAL PLANS FOR BUILDING STAKE OUT.
2. ALL DIMENSIONS SHOWN ARE FROM FACE OF BUILDING, CURB, OR WALL UNLESS OTHERWISE NOTED.

[illegible]

OVERALL LAYOUT & STAKING PLAN	SCALE	1" = 20'
	DATE	02/22/2023
	DRAWN BY:	FEU/J.E.T.
	PROJECT ENGINEER:	TEJAS PATEL
	QA/QC REVIEWER:	BRIAN BRUMFIELD, P.E. / E.D.

EBERLY PROJECT NUMBER:

23-030

SHEET NUMBER:

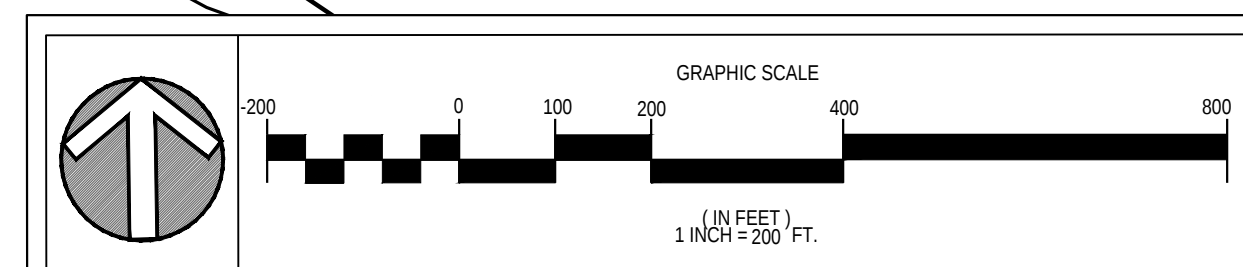
C3.0

NOT ISSUED FOR
CONSTRUCTION

OWNER/DEVELOPER (PRIMARY PERMITTEE)
PANATTONI DEVELOPMENT
9040 ROSWELL ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 921-2011

PROJECT ENGINEER
BRIAN BRUMFIELD, P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7840
BBRUMFIELD@EBERLY.NET

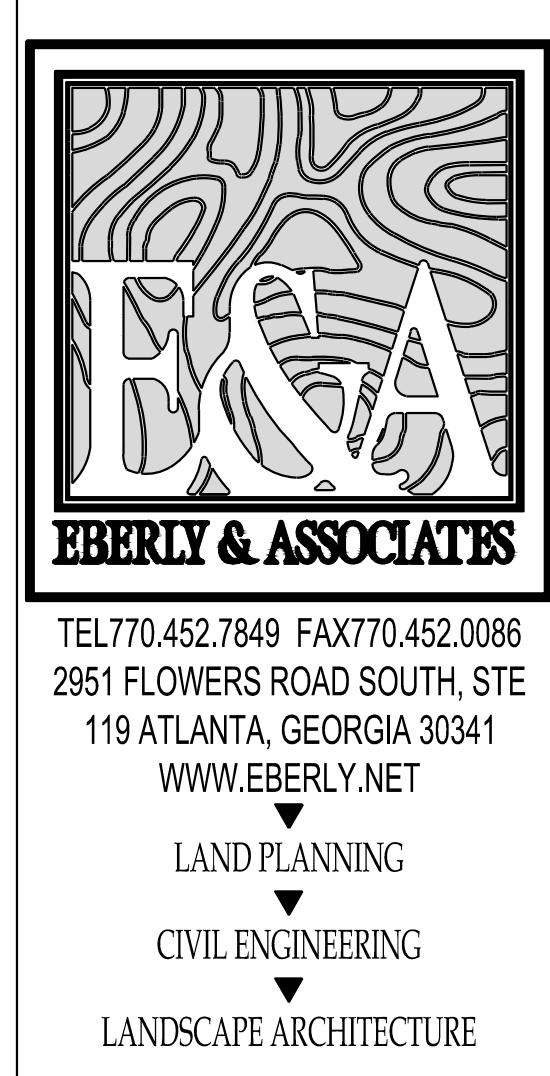
24 HOUR CONTACT
ZACH OLSEN
(404) 991-0764
ZO.OLSEN@TCCO.COM



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PROJECT NAME

[illegible]

LAYOUT & STAKING PLAN	
SCALE	1" = 50'
DATE	02/26/2023
DRAWN BY:	FEHLI E.T.
PROJECT ENGINEER:	TEJASH PATEL
QA/QC REVIEWER:	BRIAN BRUNFIELD P.E. LEED

EBERLY PROJECT NUMBER:	23-030
SHEET NUMBER:	C3.1 NOT ISSUED FOR CONSTRUCTION



LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

[illegible]

LAYOUT & STAKING PLAN

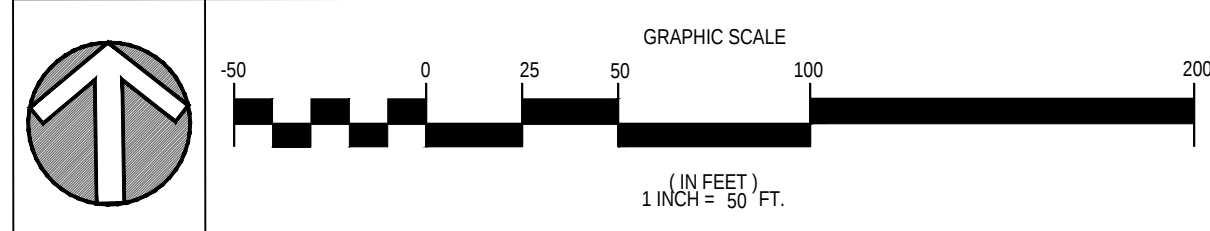
EBERLY PROJECT NUMBER:

23-030

SHEET NUMBER:

C3.3

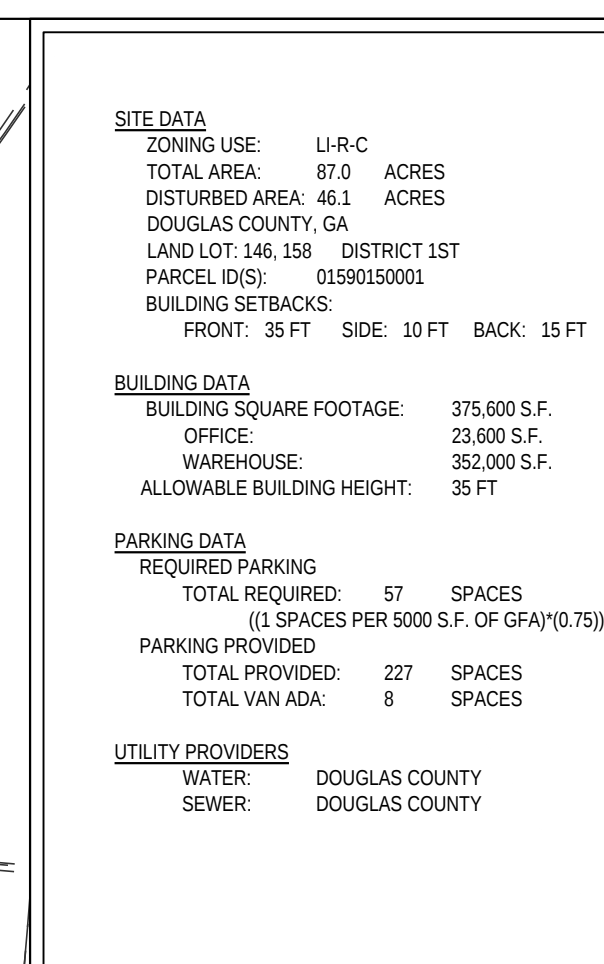
NOT ISSUED FOR
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TEL 770.452.7849 FAX 770.452.0086
2951 FLOWERS ROAD SOUTH, STE
119 ATLANTA, GEORGIA 30341
WWW.EBERLY.NET

LAND PLANNING
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE



LOCATION MAP
N.T.S.

LAYOUT LEGEND

PROPOSED BUILDING

EXISTING CURB & GUTTER

PROPOSED CURB & GUTTER

PROPOSED H.D. ASPHALT PAVING

PROPOSED G.O.T. ASPHALT PAVING

PROPOSED L.D. ASPHALT PAVING

PROPOSED CONCRETE PAVING

PROPOSED CONCRETE SIDEWALK

PROPOSED FENCING

PROPOSED GUARDRAIL

PROPOSED RETAINING WALL

PROPOSED STREETCAR LANE

EXISTING RAILROAD

EXISTING SETBACK LINE

EXISTING BUFFER

EXISTING 100-YR FLOODPLAIN

PROPOSED 100-YR FLOODPLAIN

NOTES

1. USE ARCHITECTURAL PLANS FOR BUILDING STAKE OUT.
2. ALL DIMENSIONS SHOWN ARE FROM FACE OF BUILDING, CURB, OR WALL UNLESS OTHERWISE NOTED.

**PANATTONI
PROJECT HAMMER**

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

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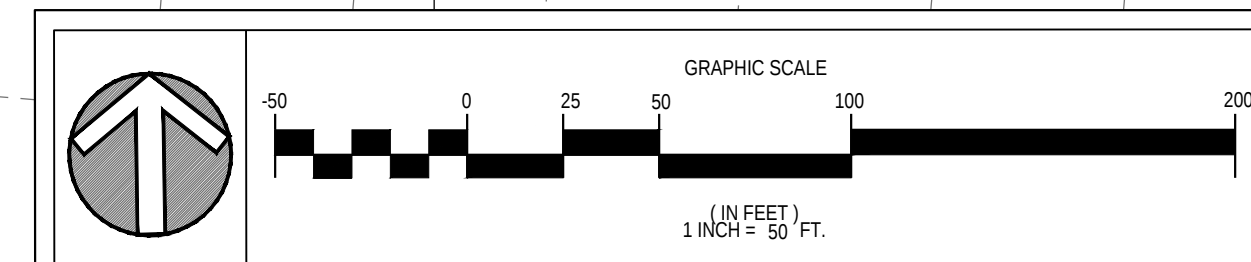
SCALE	1" = 50'
DATE	02/22/2023
DRAWN BY:	FEU/EJT
PROJECT ENGINEER:	TEASH/ATEL
CHECKED BY:	BRADY/BRADY, D. R. 1/27/23

EBERLY PROJECT NUMBER:
23-030

SHEET NUMBER:

C3.4

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OWNER/DEVELOPER (PRIMARY PERMITTEE)
PANATTONI DEVELOPMENT
9040 ROSWELL ROAD
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ATLANTA, GEORGIA 30350
(404) 921-2011

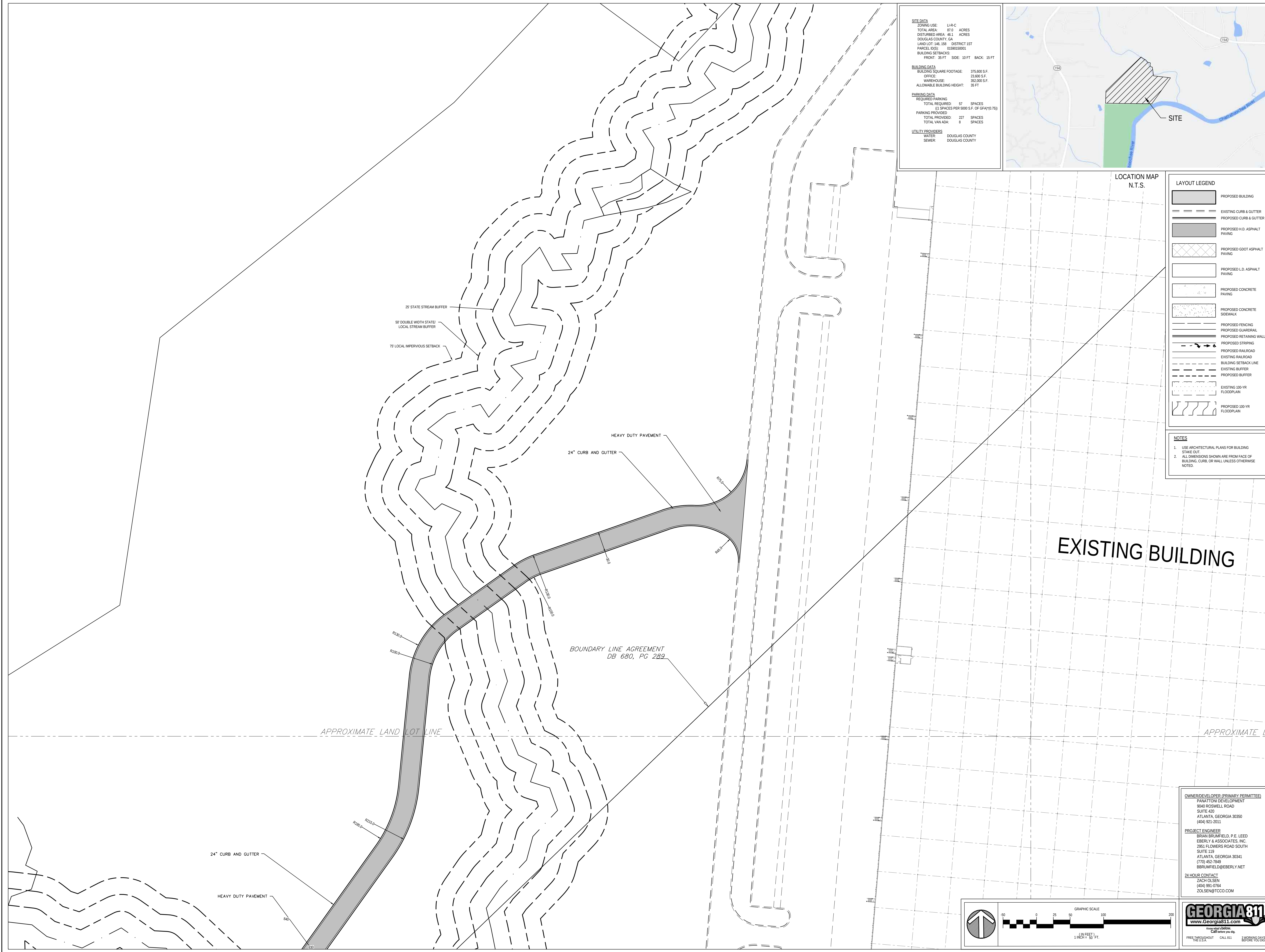
PROJECT ENGINEER
BRIAN BRUMFIELD, P.E. LEED
EBERLY & ASSOCIATES, INC.
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**PANATTONI
PROJECT HAMMER**

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

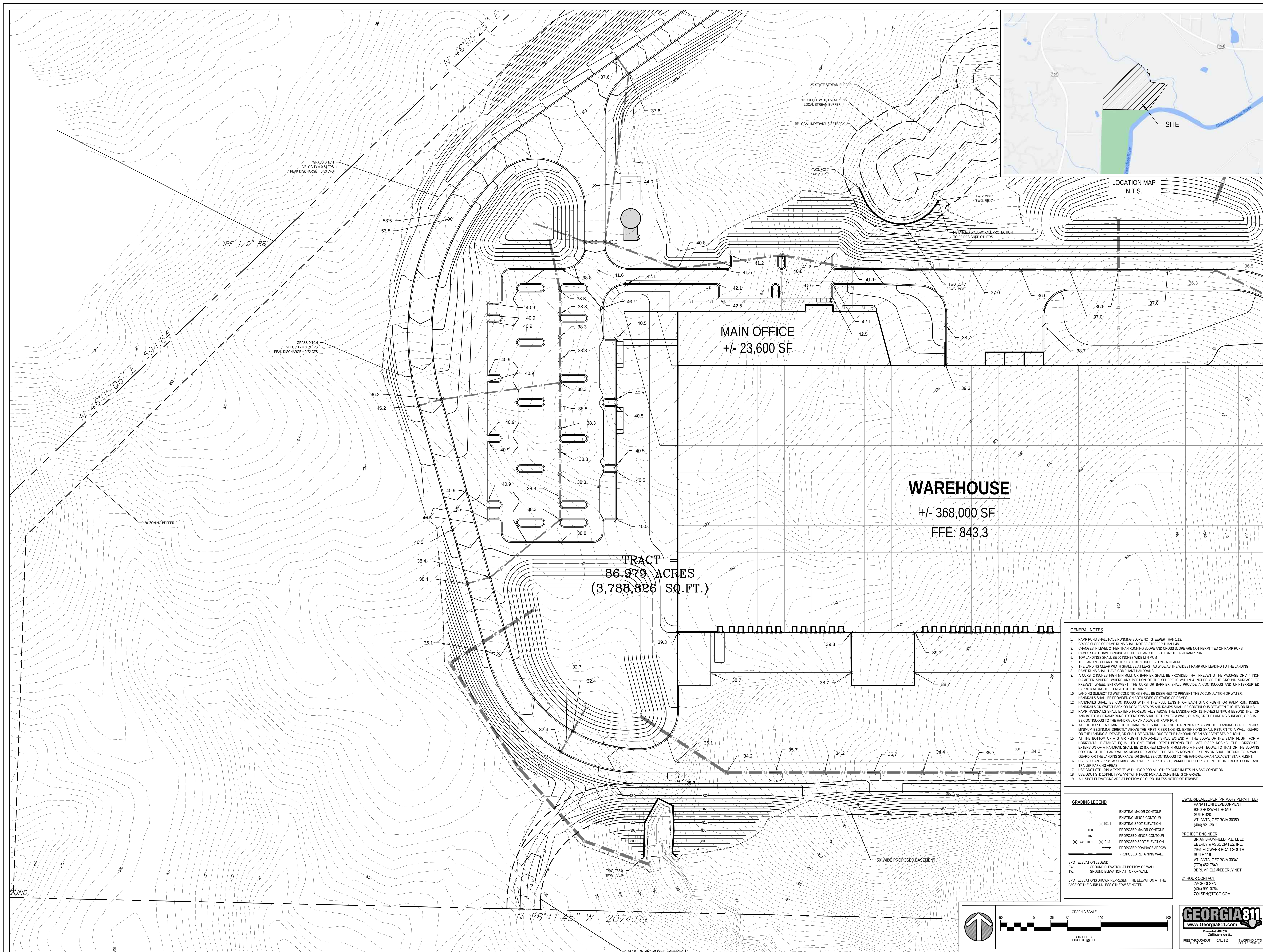
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GRADING PLAN

EBERLY PROJECT NUMBER:
23-030

SHEET NUMBER

C4.2



G:\PROJECTS\2023\23-030 Panattoni Project Hammer\5.0 Drawing\23-030 Base.dwg July 18, 2023



LOCATION
N.T.S.



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2951 FLOWERS ROAD SOUTH, STE
119 ATLANTA, GEORGIA 30341
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LAND PLANNING
↓
CIVIL ENGINEERING
↓
LANDSCAPE ARCHITECTURE

**PANATTONI
PROJECT HAMMER**

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

PROJECT NAME:

REVISION

01	02/28/2023	DO SET
	05/25/2023	EROSION
	07/18/2023	MRPA SUBMITTAL

[illegible]

GRADING PLAN

SCALE	1" = 50'
DATE	02/22/2023
DRAWN BY	FEIJU E.I.T.
PROJECT ENGINEER	TEJASH PATEL
CHECKED BY	DR. J. S. K. J. S. K.

EBERLY PROJECT NUMBER

23-030

SHEET NUMBER

C4.3

NOT ISSUED FOR
CONSTRUCTION

G:\PROJECTS\2023\23-030 Panattoni Project Hammer\5.0 Drawings\23-030 Base.dwg July 18, 2023



LOCATION MAP
N.T.S.

25' STATE STREAM BUFFER

50' DOUBLE WIDTH STATE/
LOCAL STREAM BUFFER

75' LOCAL IMPERVIOUS SETBACK

EXISTING BUILDING

BOUNDARY LINE AGREEMENT
DB 680, PG 289

GENERAL NOTES

- [illegible]

GRADING LEGEND

---	100	---	EXISTING MAJOR CONTOUR
---	102	---	EXISTING MINOR CONTOUR
		× 101.1	EXISTING SPOT ELEVATION
---	100	---	PROPOSED MAJOR CONTOUR
---	102	---	PROPOSED MINOR CONTOUR
×	5W: 101.1	×	PROPOSED SPOT ELEVATION
		→	PROPOSED DRAINAGE ARROW
---		---	PROPOSED RETAINING WALL

SPOT ELEVATION LEGEND
BW: GROUND ELEVATION AT BOTTOM OF WALL
TW: GROUND ELEVATION AT TOP OF WALL
SPOT ELEVATIONS SHOWN REPRESENT THE ELEVATION AT THE FACE OF THE CURB UNLESS OTHERWISE NOTED

SPOT ELEVATIONS SHOWN REPRESENT THE ELEVATION AT THE FACE OF THE CURB UNLESS OTHERWISE NOTED

OWNER/DEVELOPER (PRIMARY PERMITTEE)
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(770) 452-7849
BBRUMFIELD@EBERLY.NET

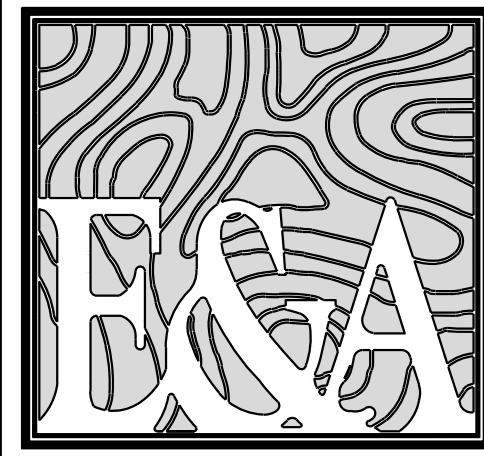
24 HOUR CONTACT
ZACH OLSEN
112.5.221.57

ZOLSEN@TCCO.COM

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LAND PLANNING
▼
CIVIL ENGINEERING
▼
LANDSCAPE ARCHITECTURE

**PANATTONI
PROJECT HAMMER**

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

REVISION

01	02/28/2023	DO SET
	05/25/2023	EROSION
	07/18/2023	MRPA SUBMITTAL

GRADING PLAN

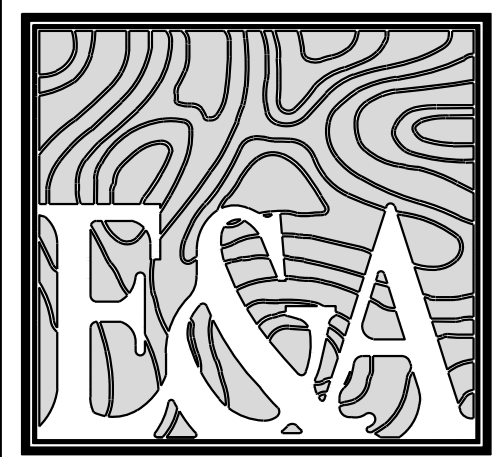
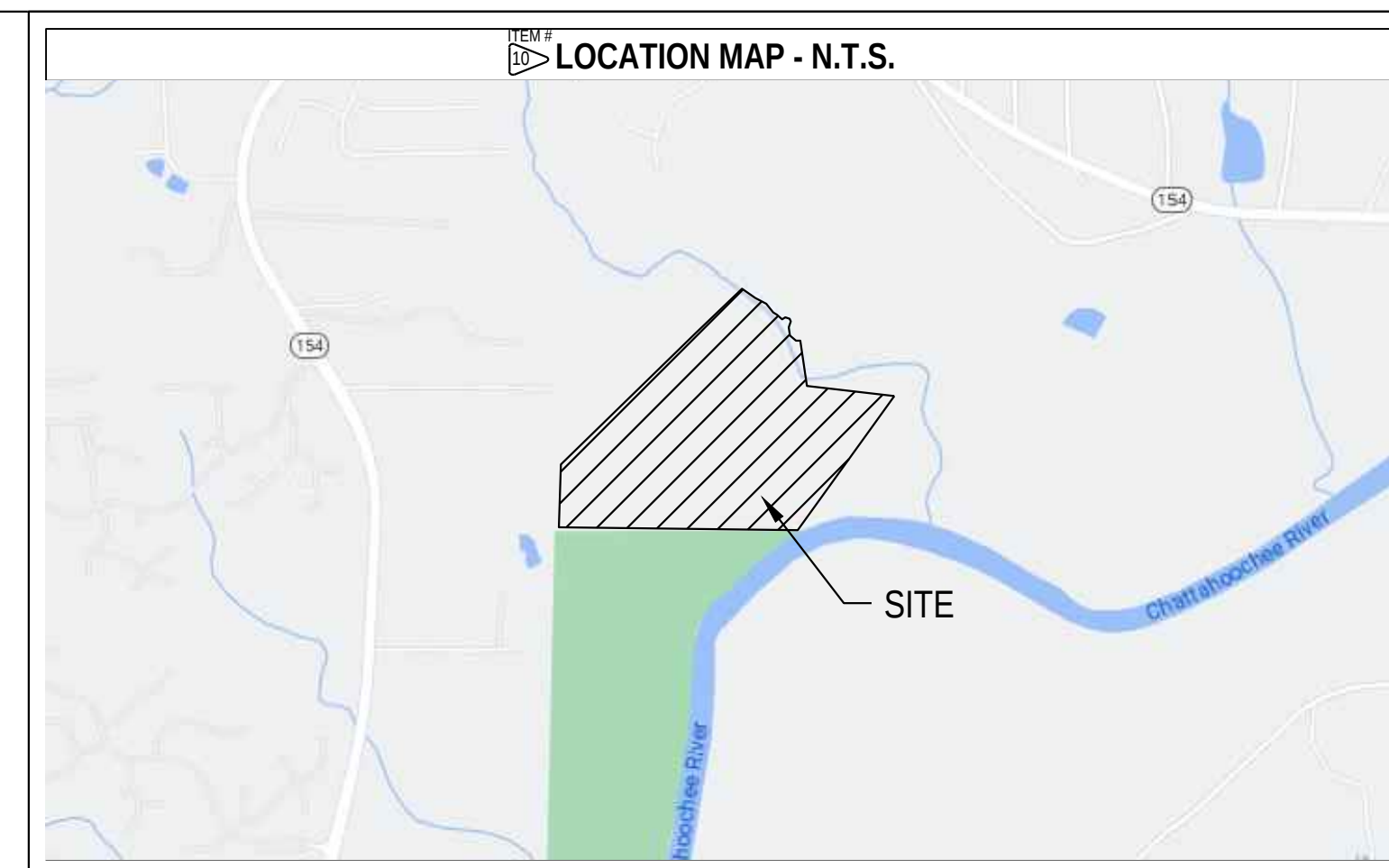
NUMBER:

23-030

SHEET NUMBER

C4.4

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**PANATTONI
PROJECT HAMMER**

LAND LOT 146, 158
1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

REVISION

[illegible]

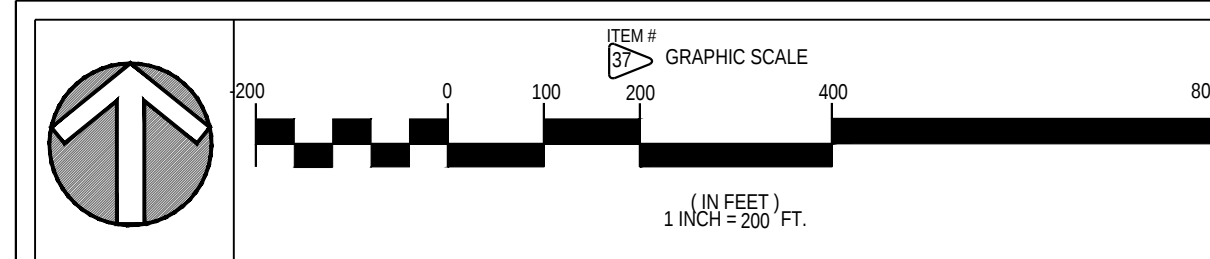
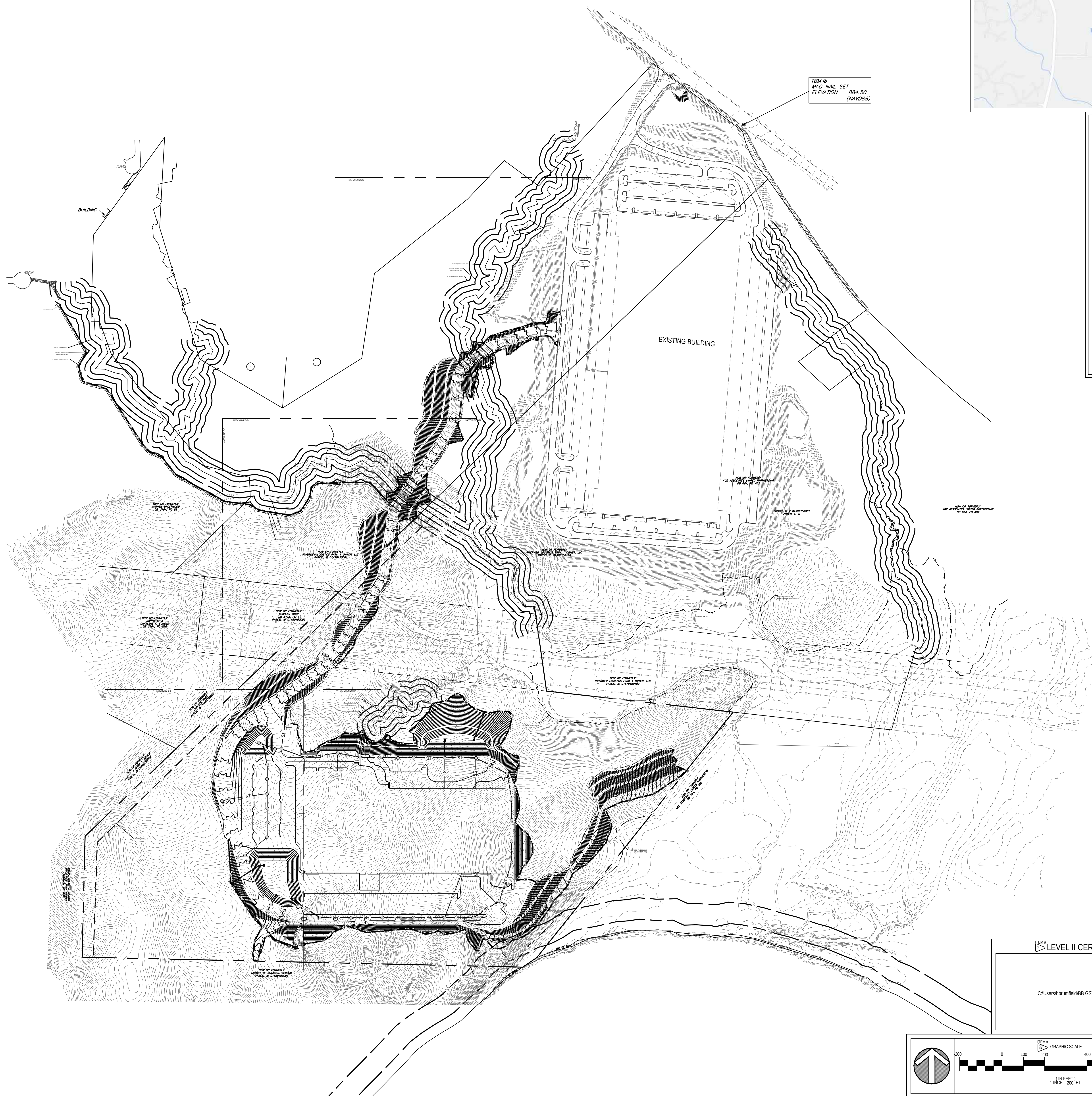
INTERMEDIATE ES&PC PLAN

SCALE	1" = 200'
DATE:	03/22/2023
DRAWN BY:	FEI/E.I.T.
PROJECT ENGINEER:	TEJASH PATEL
CHECKED BY:	ARUN K. PATEL, P.E., EIT

23

SHEET NUMBER

EC3.0
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ITEM # 6 TOTAL SITE AREA = 83.8 ACRES
DISTURBED AREA = 43.3 ACRES

OWNER/DEVELOPER (PRIMARY PERMITTEE)	
ITEM #	PANATTONI DEVELOPMENT
5	9040 ROSWELL ROAD
	SUITE 420
	ATLANTA, GEORGIA 30350
	(404) 921-2011

PROJECT ENGINEER
BRIAN BRUMFIELD, P.E. LEED
EBERLY & ASSOCIATES, INC.
2951 FLOWERS ROAD SOUTH
SUITE 119
ATLANTA, GEORGIA 30341
(770) 452-7849
BBRUMFIELD@EBERLY.NET

24 HOUR CONTACT
ITEM # ZACH OLSON
4 (404) 991-0764
ZOLSEN@TCCO.COM

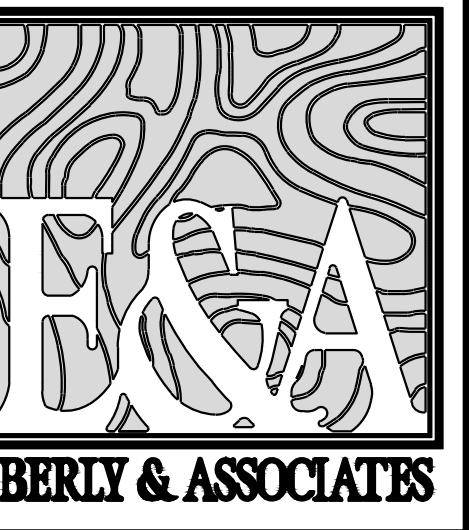
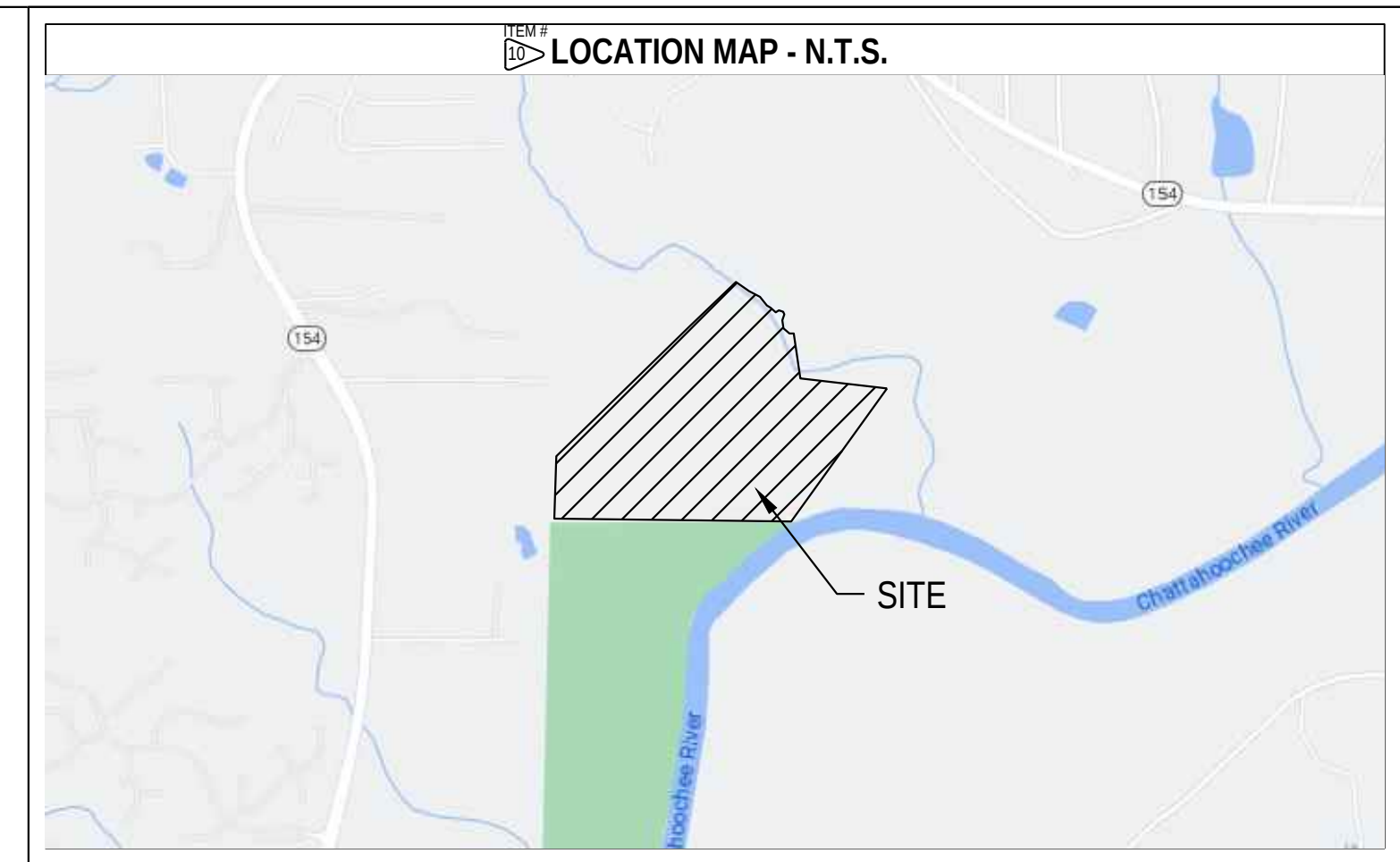
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CIVIL ENGINEERING
▼
SCAPE ARCHITECTURE

PROJECT HAMMER

1ST DISTRICT, 5TH SECTION
DOUGLAS COUNTY, GEORGIA
HWY 166 - FAIRBURN RD

EROSION CONTROL NOTES

1. SEDIMENT AND EROSION CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
2. ALL DISTURBED AREAS TO BE GRASSED SOON AFTER CONSTRUCTION PASSES PERMIT.
3. CITY OF CHICAGO TO MONITOR AND INSPECT ALL EROSION CONTROL MEASURES.
4. WITHIN THE CLEARING LIMITS IT SHALL BE TO BE THREADED.
5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THE SOIL IS TO BE CLEARED UP OF A ROOT RAKE OR SIMILAR EQUIPMENT.
6. ALL TPOSS TO BE MOVED TO THE NEAREST TRUCK OR TRAILER CASE AND BE TAKEN TO REMOVE THE TPOSS FROM AREAS WHERE DRIPWAYS AND PATIOS OCCUR.
8. ALL TPOSS TO BE LOADED AND MAILED IN-PRIORITY TO APPLICATION OF SEED OR SOIL.
9. THERE ARE WEETLINES LOCATED ON THE SITE FOR PEST INVESTIGATION CONDUCTED BY THE CITY OF CHICAGO.
11. SEE TREE PROTECTION AND REPLACEMENT PLAN FOR TREE REMOVAL WITHIN THE LIMITS OF THE PROJECT.
12. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, THE CITY OF CHICAGO WILL REQUIRE THE CONTRACTOR TO TAKE ADDITIONAL EROSION CONTROL OR TREAT THE SEDIMENT SOURCE. PRACTICES WILL BE CHECKED DAILY.
13. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THE SOIL IS TO BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
14. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED. THE EAPC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERMITTER TO BE NOTIFIED OF ANY VIOLATIONS.
15. NON EXHAUSTED STREAM BUFFERS SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WASTED VESSEL DRAINAGE OR THE POINT OF WASTEWATER DISCHARGE. THE CITY OF CHICAGO HAS JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY PERMITS.
16. THE UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY UTILITIES THAT MAY BE LOCATED NEARBY AND ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD REPRESENTATIVE PRESENT AT ALL TIMES TO IDENTIFY ANY UTILITIES COMPANIES THAT HAVE BEEN RELOCATED WHEN NECESSARY OR ADAPTED FOR THE AREA.
17. THE ESCAPE OF SEED FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF A SEDIMENT CONTROL MEASURE TO PREVENT SEED FROM BEING WASHED AWAY DURING RAINY ACTIVITIES.
18. ALL SEDIMENT DETENTION POND TO ORIGINAL DESIGN CONDITIONS ONCE SITE HAS BEEN STABILIZED AND THE TEMPORARY SEDIMENT POND AND BOTTOM HAS BEEN REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SEDIMENT FROM THE POND AND INSTALLING PERMANENT GRASS.

VISION

[illegible]

FINAL ES&PC PLAN

SCALE	1" = 5'
DATE	07/27/2023
DRAWN BY	FEU/E.I.T.
PROJECT ENGINEER	TEJASH PATEL
QA/QC REVIEWER	BRIAN BRUMFIELD, P.E., LEED

PROJECT NUMBER:
23-03

NUMBER:

EC4.0

NOT ISSUED FOR
CONSTRUCTION

TBM
MAG NAIL SET
ELEVATION = 884.50
(NAVD88)

EXISTING BUILDING

WAREHOUSE

LEVEL II CERTIFICATION

Users\bbbrumfield\BB GSWCC Level II Cert.prn

TOTAL SITE AREA = 83.8 ACRES
DISTURBED AREA = 43.3 ACRES

OWNER/DEVELOPER (PRIMARY PERMITTEE)
PANATTONI DEVELOPMENT
9040 ROSWELL ROAD
SUITE 420
ATLANTA, GEORGIA 30350
(404) 921-2011

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