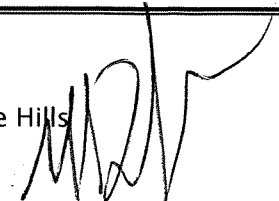


REGIONAL REVIEW FINDING

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: AUGUST 16, 2023

TO: MAYOR TOM REED, City of Chattahoochee Hills
ATTN TO: MIKE MORTON, COMMUNITY DEVELOPMENT DIRECTOR, City of Chattahoochee Hills
FROM: Anna Roach, Executive Director, Atlanta Regional Commission



ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-23-02CH Campbellton Park Camp and Paddle Trail Campsite

Submitting Local Government: City of Chattahoochee Hills

Date Opened: July 27, 2023

Date Closed: August 16, 2023

FINDING: ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: No comments were received.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF DOUGLASVILLE

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
DOUGLAS COUNTY

CHATTAHOOCHEE RIVERKEEPER
CITY OF CHATTAHOOCHEE HILLS
CITY OF SOUTH FULTON

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC website at <https://atlantaregional.org/plan-reviews>.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** CITY OF CHATTAHOOCHEE HILLS
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): CITY OF CHATTAHOOCHEE HILLS
Mailing Address: 6505 RICO ROAD
City: CHATTAHOOCHEE HILLS **State:** GA **Zip:** 30268
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-463-8881 **Fax:** _____
Other Numbers: _____
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): POND & COMPANY
Mailing Address: 3500 PARKWAY LANE SUITE 500
City: PEACHTREE CORNERS **State:** GA **Zip:** 30092
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-395-3305 **Fax:** _____
Other Numbers: 678-761-3558
4. **Proposed Land or Water Use:**
Name of Development: CAMPBELLTON PARK
Description of Proposed Use: CAMP & PADDLE PUBLIC PARK ALONG CHATTAHOOCHEE RIVER
5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: 38; DISTRICT 9C; FULTON COUNTY
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: N/A; N/A; N/A;
8655 COCHRAN ROAD SW CHATTAHOOCHEE HILLS GA 30213; APPROX 1,096 LF TO FAIRBURN CAMPBELLTON RD
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** 16.0 AC
Outside Corridor: (528 7/12/22)
Total: 16.0 AC
Lots: **Inside Corridor:** N/A
Outside Corridor: N/A
Total: N/A
Units: **Inside Corridor:** N/A
Outside Corridor: N/A
Total: N/A
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: N/A
Outside Corridor: N/A
Total: N/A

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? YES

If "yes", please identify the use(s), the review identification number(s), and the date(s)

of the review(s): Boat Ramp, V2006111, [REDACTED] RC-20-01CH (Sme) 7/12/28
Public Access Point Parks at Old Campbellton Park (Sme) 7/22/28

7. How Will Sewage from this Development be Treated?

A. Septic tank ONSITE SEPTIC SYSTEM

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	<u>0 SF</u>	<u>0 SF</u>	<u>0 SF</u>	<u>(90)</u> <u>0%</u> <u>(75)</u> <u>0%</u>	
B	<u>0 SF</u>	<u>0 SF</u>	<u>0 SF</u>	<u>(80)</u> <u>0%</u> <u>(60)</u> <u>0%</u>	
C	<u>0 SF</u>	<u>0 SF</u>	<u>0 SF</u>	<u>(70)</u> <u>0%</u> <u>(45)</u> <u>0%</u>	
D	<u>126,699 SF</u>	<u>63,350 SF</u>	<u>38,010 SF</u>	<u>(50)</u> <u>50%</u> <u>(30)</u> <u>30%</u>	
E	<u>555,743 SF</u>	<u>166,723 SF</u>	<u>83,361 SF</u>	<u>(30)</u> <u>30%</u> <u>(15)</u> <u>15%</u>	
F	<u>15,143 SF</u>	<u>1,514 SF</u>	<u>303 SF</u>	<u>(10)</u> <u>10%</u> <u>(2)</u> <u>2%</u>	
Total:	<u>697,590 SF</u>	<u>231,587 SF</u>	<u>121,674 SF</u>	<u>N/A</u>	<u>N/A</u>

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? YES

If "yes", indicate the 100-year floodplain elevation: 749'

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? YES

If "yes", indicate the 500-year flood plain elevation: 751'

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

See Survey V-101, 102, 103 103 Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

 Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

 Written consent of all owners to this application. (Space provided on this form)

 Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

 Description of proposed use(s). (Space provided on this form)

See Survey V-101, 102, 103 103 Existing vegetation plan.

See Grading Plan CG 101 Proposed grading plan.

See MRPA sheets and site plan Certified as-builts of all existing land disturbance and impervious surfaces.

See ESCP CE Series Approved erosion control plan.

See MRPA sheets Detailed table of land-disturbing activities. (Both on this form and on the plans)

See Survey

V-101, 102, 103

See MRPA sheets

Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.

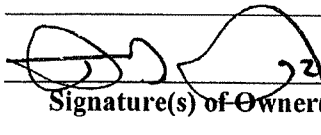
____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)



Signature(s) of Owner(s) of Record

06/01/23

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Brad Jones, PLA, ASLA - Pond and Company

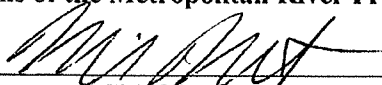


Signature(s) of Applicant(s) or Agent(s)

05/23/2023

Date

14. The governing authority of Chattahoochee Hills requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.



Signature of Chief Elected Official or Official's Designee

6/12/23

Date

FILE PATH: \\ACP3SERVER\POND\CO\COMRESOURCES\PROJECTS\FY22\122057004_CAD_BIM04.02.CAD03_CAMPBELLTON PARK\G-001 PLOTTED BY: GUERRA, SIMONE DATE: 10/21/7

CITY OF CHATTAHOOCHEE HILLS

CAMPBELLTON PARK

CAMP AND PADDLE TRAIL

8655 COCHRAN ROAD SW

CHATTAHOOCHEE HILLS, GA 30213

POND PROJECT NUMBER: 1220570

POND

3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

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CLIENT INFORMATION



PROJECT NAME

CAMPBELLTON PARK

8655 COCHRAN RD
SW,
CHATTAHOOCHEE
HILLS, GA
30213

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

0
MARK

DESIGNED BY:

DRAWN BY:

CHECKED BY:

SUBMITTED BY:

DATE: DATE

PROJECT # NUMBER

SHEET TITLE

COVER SHEET

SHEET NUMBER

G-001

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT INFORMATION

PARCEL: 09 C060100380320
TAX DISTRICT: 65
PROPERTY CLASS: EXEMPT/PUBLIC
LAND LOT: 38, DIST 9C
ZONING DISTRICT: RL (RURAL)

PROJECT SITE

TOTAL ACREAGE: 18 AC
TOTAL DISTURBED AREA: 0.60 AC
GPS COORDINATES OF CONSTRUCTION EXIT:
N33.655494, W84.669280

OWNER INFO.

DAROLD WENDLANDT
CITY OF CHATTAHOOCHEE HILLS
6505 RICO ROAD
CHATTAHOOCHEE HILLS, GEORGIA 30268
(770) 463-8881
DAROLD.WENDLANDT@CHATTHILLSGA.US

DESIGN PROFESSIONAL

POND & COMPANY
3500 PARKWAY LANE SUITE 500
PEACHTREE CORNERS, GA 30092
PH: 404-678-4828
CONTACT: BRAD JONES
JONESB@POND.CO.COM

GENERAL NOTES:

- ALL WATER IMPROVEMENTS INSIDE EXISTING METER (WELL SERVICE). NO ADDITIONAL METER CONNECTIONS REQUIRED.
- PROJECT HAS ON-SITE SEWER SYSTEM PERMITTED BY FULTON COUNTY ENVIRONMENTAL HEALTH. SEE UTILITY PLANS FOR FULTON COUNTY REQUIREMENTS.

PROJECT DESCRIPTION:

PROJECT IS TO IMPLEMENT A PRIMITIVE CAMPGROUND DEVELOPMENT. INCLUDES A COMFORT STATION BUILDING WITH RELATED UTILITIES, WELL INSTALLATION/WATER CONNECTION, ON-SITE SEWER SYSTEM WITH SEPTIC TANKS/FIELD, CONCRETE ADA PARKING AND STAIRS, GRAVEL WALKING PATHS, AND PRIMITIVE CAMPSITES.

24-HOUR LOCAL CONTACT:

24-HOUR EROSION CONTROL CONTACT:

NAME:
COMPANY:
ADDRESS:
PHONE #:
GSWCC #:
EXPIRATION:
TITLE: REPRESENTATIVE FOR PRIMARY PERMITTEE (TO BE FILLED OUT BY CONTRACTOR UPON SELECTION, CONTRACTOR TO PROVIDE LEVEL I CERTIFICATION)

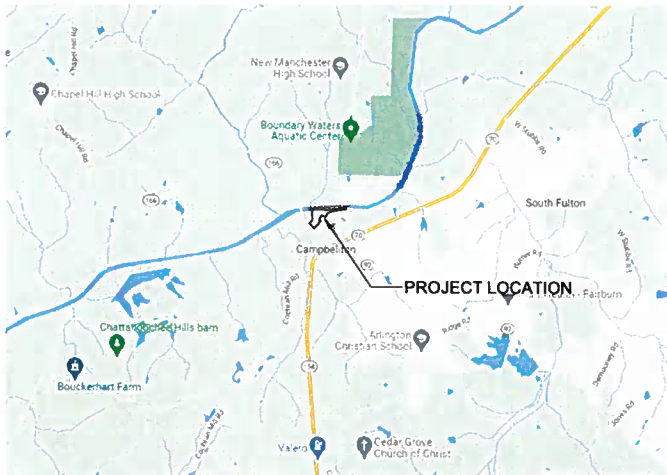
NOTE: THE PRIMARY PERMITTEE IS NOT KNOWN AT THE TIME AND IS TO BE DESIGNATED AS THE EMERGENCY CONTACT AFTER CONTRACT IS AWARDED.

PROJECT SITE MAP



SCALE: N.T.S.

PROJECT SITE MAP



SCALE: N.T.S.



Know what's below.
Call before you dig.
Dial 811
Or Call 800-282-7411

PROJECT SUBMITTAL STAGE

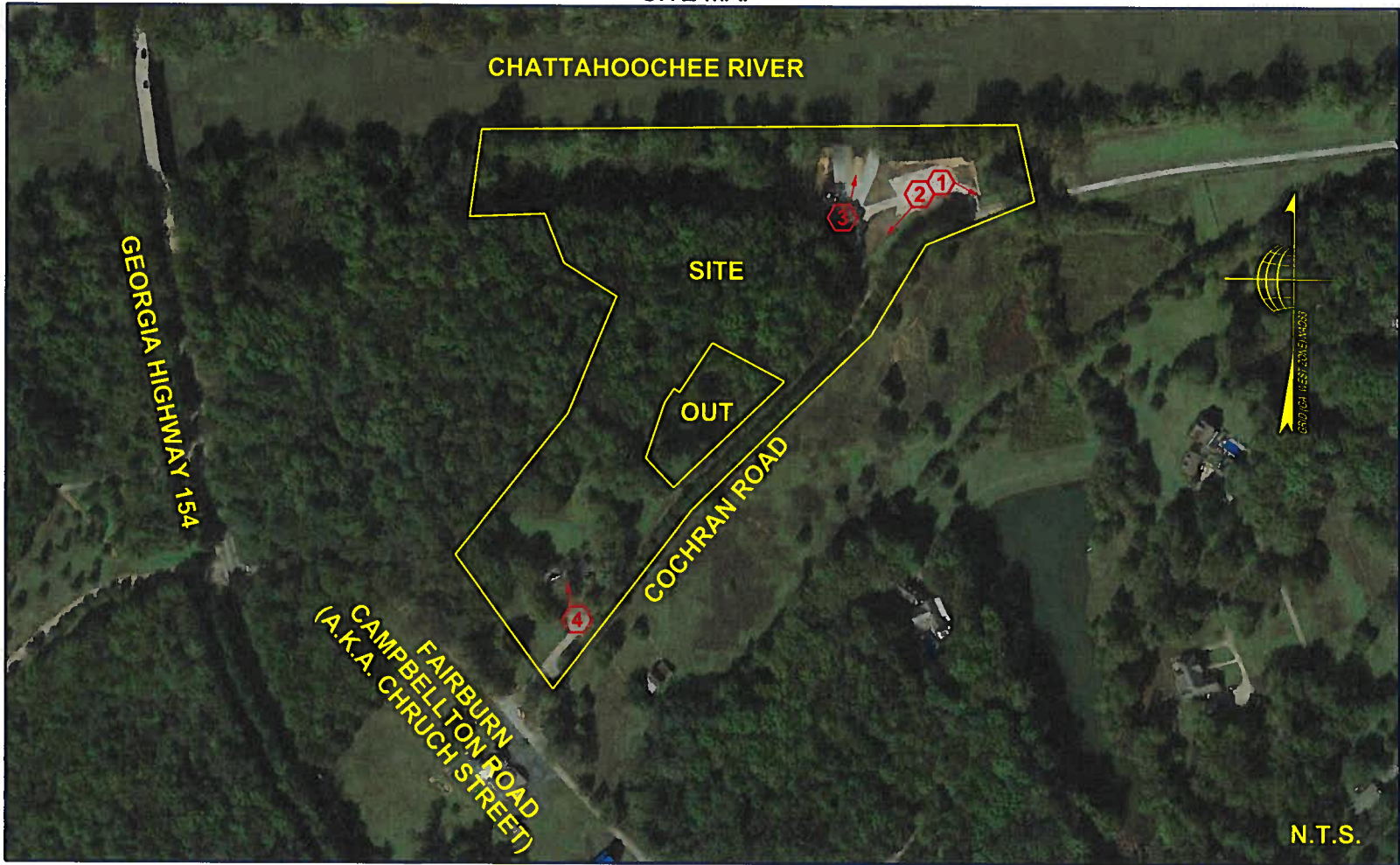
PARTIAL TOPOGRAPHIC SURVEY
FOR
POND & COMPANY, INC.
(CAMPBELLTON PARK)
LOCATED IN
LAND LOT 38, DISTRICT 9C
CITY OF CHATTAHOOCHEE HILLS
FULTON COUNTY, GEORGIA



LOCATION MAP

NOT TO SCALE
LAT - 33°39'21.60"N
LONG - 84°40'10.80"W

SITE MAP



SURVEY NOTES

EQUIPMENT USED:
A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.

A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

CLOSURE STATEMENT:
NO BOUNDARY SURVEY HAS BEEN PERFORMED BY TERRAMARK LAND SURVEYING, INC. AT THIS TIME. BOUNDARY LINES ARE SHOWN FOR GRAPHICAL REFERENCE ONLY.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 95,894 FEET AND AN ANGULAR ERROR OF 04" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT TWO FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 83 DATUM.

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON OCTOBER 26, 2022.

DUE TO VARIANCES IN GPS EQUIPMENT, TECHNIQUES, FEDERAL ADJUSTMENTS TO STATE PLANE MODELS AND DAILY CONDITIONS IMPACTING GPS RECEPTIVITY, GPS SOLUTIONS MAY VARY FROM THOSE PROVIDED ON THIS SURVEY BOTH HORIZONTALLY AND VERTICALLY. ANY AND ALL CONTRACTORS, CONSULTANTS, INDIVIDUALS OR ENTITIES RELYING ON STATE PLANE COORDINATES TO RELATE TO DATA PROVIDED ON THIS SURVEY MUST LOCALIZE TO THE SURVEY CONTROL BENCHMARKS OR PROPERTY MONUMENTATION, ESTABLISHED BY THIS SURVEY IN ORDER TO ENSURE ACCURACY OF DATA. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR ISSUES ENCOUNTERED DUE TO FAILURE TO LOCALIZE DIRECTLY TO THIS SURVEY DATUM.

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY.

THIS SURVEY MAY NOT REPRESENT OFF-SITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAINTING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

TERRAMARK LAND SURVEYING, INC. WAS UNABLE TO DETERMINE THE EXTENT OF PIPES MARKED AS APPROXIMATE DIRECTION ONLY. AFORESAID PIPE IS DRAWN ON THE SURVEY TO REFLECT THE OBSERVED DIRECTION BASED UPON A VISUAL INSPECTION OF THE STRUCTURE ONLY AND IS SHOWN FOR INFORMATIONAL PURPOSES.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.

PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF FULTON COUNTY, GEORGIA (PANEL NUMBERS 131210318F & 131210318F), DATED 8/18/2013, A PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.

SUBJECT PROPERTY APPEARS TO HAVE ACCESS TO THE PUBLIC RIGHT OF WAY OF COCHRAN ROAD.

SITE INFORMATION

CURRENT OWNER: THE CITY OF CHATTAHOOCHEE HILLS
DB 57011 PG. 279

TAX PARCEL ID # 09C060100380320

ADDRESS: 8600 COCHRAN ROAD SW

ZONING: RL (RURAL)
JURISDICTION: CHATTAHOOCHEE HILLS, GEORGIA

REFERENCE MATERIAL

1. DEEDS AND PLATS REFERENCED HEREON

SPECIAL NOTES

- CERTIFICATION AND DECLARATION IS MADE TO THE ENTITIES AS LISTED IN THE TITLE BLOCK AND/OR CERTIFICATIONS. THE CERTIFICATIONS AND DECLARATIONS ON THIS PLAT ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- PURSUANT TO RULE 180-6-09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS, THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
- THIS SURVEY IS NOT PREPARED IN ACCORDANCE TO HB 78 AND SHALL NOT BE RECORDED WITHIN THE APPLICABLE LAND RECORDS.

SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION. THE INFORMATION SHOWN HEREON IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



WILLIAM C. WORKFORD, JR., RLS
REGISTERED NUMBER: 2577

PARTIAL TOPOGRAPHIC SURVEY
FOR
POND & COMPANY, INC.
(CAMPBELLTON PARK)
LOCATED IN
LAND LOT 38, DISTRICT 9C
CITY OF CHATTAHOOCHEE HILLS
FULTON COUNTY, GEORGIA

SHEET NO.

1/2

DRAWING: TM 22-239

CHATTAHOOCHEE RIVER
FEMA FLOOD INSURANCE RATE MAP
(13121C0316F & 13121C0318F)

LEGEND

CURB AND GUTTER (C&G)
FENCE
HANDRAIL
STORM DRAIN LINE
SANITARY SEWER
WATER LINE
GAS LINE
UNDERGROUND POWER LINE
OVERHEAD POWER LINE
COMMUNICATION
TOPOGRAPHIC CONTOUR
PROPERTY LINE
CATCH BASIN (DWCB)
CATCH BASIN (SWCB)
DROP INLET (DI)
JUNCTION BOX (JB)
HEAD WALL (HW)
CURB INLET (CI)
FLARED END SECTION (FES)
OUTLET CONTROL STRUCTURE
YARD DRAIN INLET
SS MANHOLE (MH)
CLEAN OUT (CO)
GREASE TRAP (GT)
IRRIGATION CONTROL VALVE
FIRE HYDRANT (FH)
WATER VALVE (WV)
WATER METER (WM)
FIRE DEPT. CONNECTION (FDC)
WATER VALVE MARKER
TRANSFORMER BOX (TX)
AIR CONDITIONER (AC)
ELECTRIC METER (EM)
ELECTRIC UTILITY
LIGHT POLE (LP)
POWER POLE WITH LIGHT
POWER POLE (PP)
UTILITY MANHOLE (UM)
SPOTLIGHT
GAS METER (GM)
GAS VALVE (GV)
TELEPHONE PEDESTAL
COMMUNICATION BOX
TRAFFIC SIGNAL
PIN FLAG
MAIL BOX
SIGN
CROSSWALK SIGNAL
SPOT ELEVATION
CONCRETE AREA
OVERHANG AREA
RIP-RAP AREA
BRICK AREA
TREELINE

ABBREVIATIONS

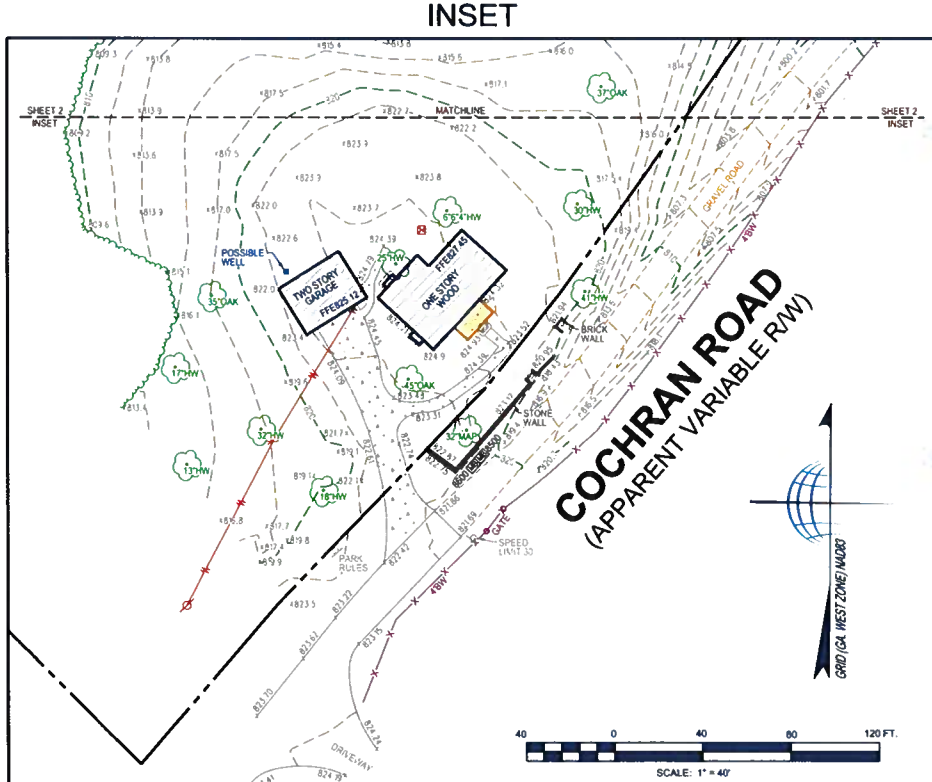
AC	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AE	ACCESS EASEMENT	MP	MONUMENT
BSL	BUILDING SETBACK LINE	OTF	OPEN TOP PIPE
CH	CHORD LENGTH	PB	PAGE
CLF	CHAIN LINK FENCE	POB	POINT OF BEGINNING
CME	CONCRETE MONUMENT FOUND	POC	POINT OF COMMENCEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS LENGTH
CONC	CONCRETE	RM	RIGHT OF WAY MONUMENT
CTP	CRIMP TOP PIPE	RB	REBAR
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	SDE	STORM DRAINAGE EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	SQ. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDPE	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
IPF	IRON PIN FOUND		

TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR	BIRCH	HLV	HOLLY
CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
	CA	CRANE MYRTLE	MAG	MAGNOLIA
	CH	CHERRY	MAP	MAPLE
	CYP	CYPRESS	OAK	OAK
	FIR	FIR	ORN	ORNAMENTAL
	GINKGO	GINKGO	PEAR	PEAR
	GUM	SWEET GUM	POP	POPLAR
	HIC	HICKORY	SYC	SYCAMORE

FLOOD ZONE LEGEND

Zone "X"	0.2% ANNUAL CHANCE FLOOD HAZARD
Zone "AE"	1% ANNUAL CHANCE FLOOD HAZARD
	FLOODWAY AREA WITHIN ZONE "AE"



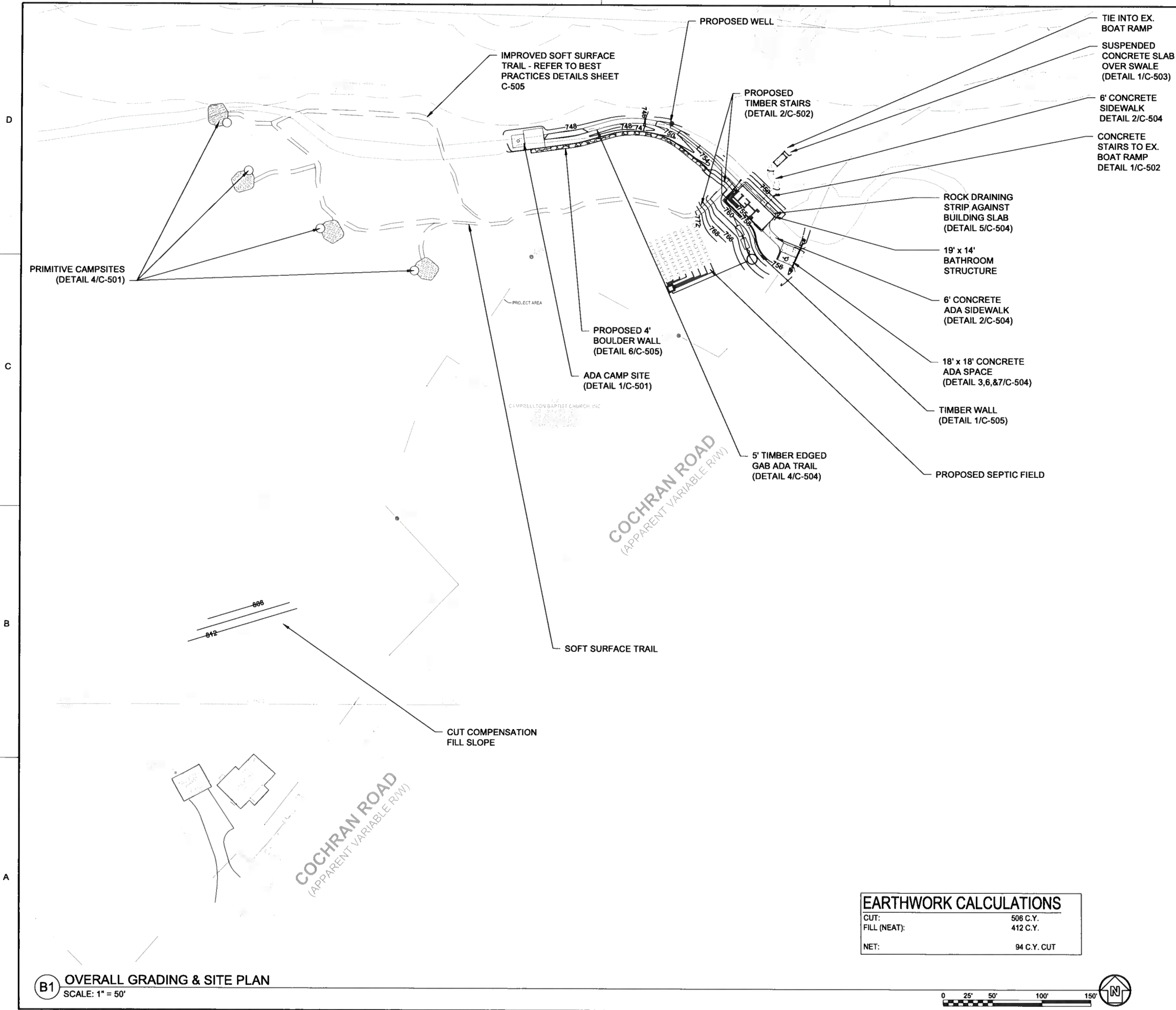
TerraMark
Professional Land Surveying C.O. A.L.S. 000810

1396 Bell Ferry Road
Marietta, Georgia 30066
Phone No. (770) 421-1827
Fax No. (770) 421-0552
www.terra-mark.com

PARTIAL TOPOGRAPHIC SURVEY FOR
POND & COMPANY, INC.
(CAMPBELLTON PARK)
LOCATED IN
LAND LOT 38, DISTRICT 9C
CITY OF CHATTAHOOCHEE HILLS
FULTON COUNTY, GEORGIA

SHEET NO.
2/2
DRAWING TM 22-239

FILE PATH: \\ACP3SERVER\POND\CO.COM\RESOURCES\PROJECTS\FY22\1220570\04_CAD_BIM\04.02_CAD\03_CAMPBELLTON PARK\CS101 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17



B1 OVERALL GRADING & SITE PLAN
SCALE: 1" = 50'

EARTHWORK CALCULATIONS	
CUT:	506 C.Y.
FILL (NEAT):	412 C.Y.
NET:	94 C.Y. CUT

GENERAL SHEET NOTES

1. REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET LEGEND

	CONCRETE ADA SPACE AND SIDEWALK
	TIMBER EDGED GAB TRAIL
	BOULDER WALL



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CLIENT INFORMATION



PROJECT NAME

**CAMPBELLTON
PARK**

8655 COCHRAN RD
SW,
CHATTAHOOCHEE
HILLS, GA
30213

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

0
MARK

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: DATE
PROJECT # NUMBER

SHEET TITLE

SITE PLAN

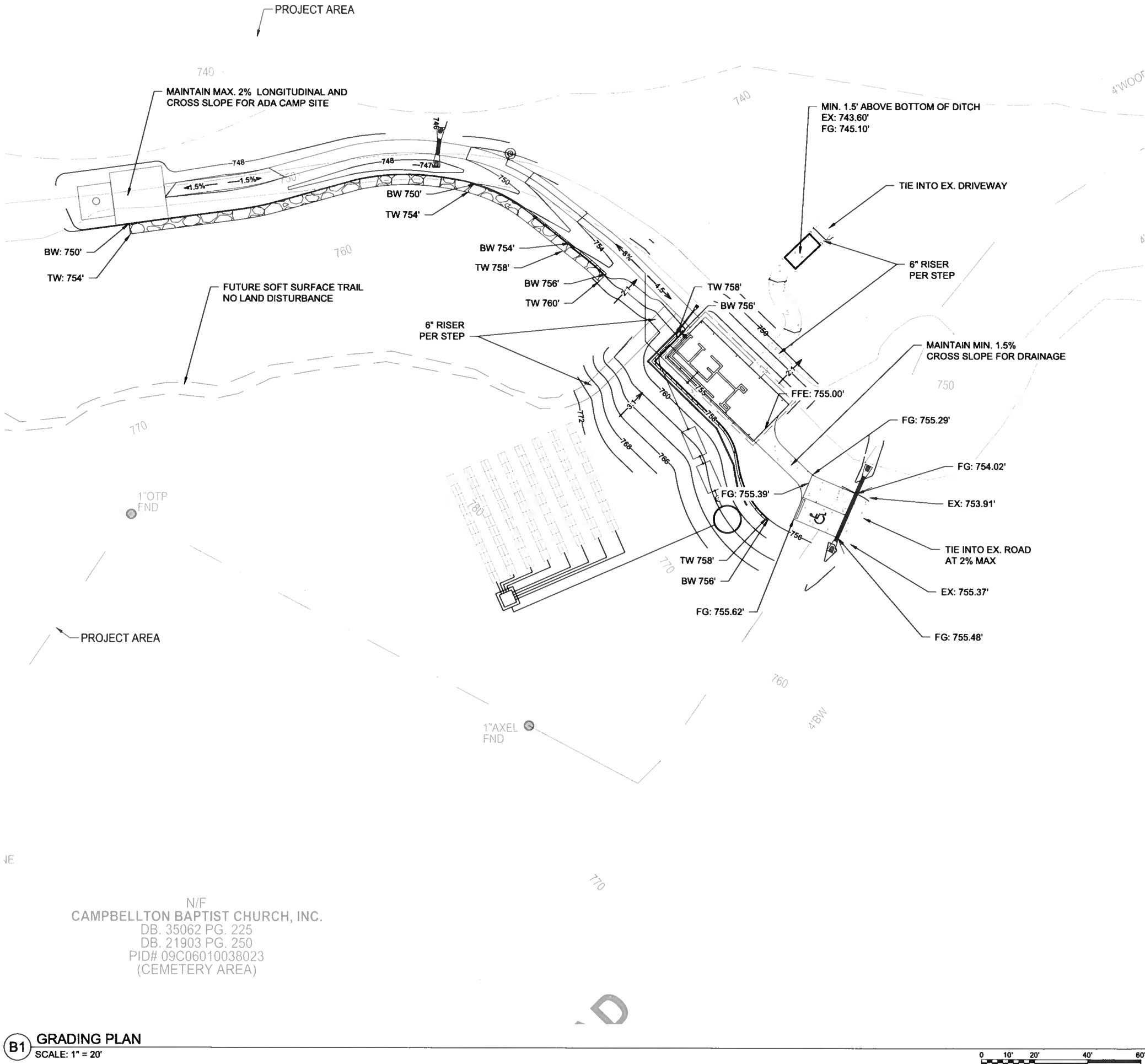
SHEET NUMBER

CS101

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\POND\CO.COM\RESOURCES\PROJECTS\FY22\122057\004 CAD_BIM\04.02 CAD\03_CAMPBELLTON PARK\CG101 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17



GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET LEGEND

	CONCRETE ADA SPACE AND SIDEWALK
	TIMBER EDGED GAB TRAIL
	BOULDER WALL
	TIMBER WALL



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DATE

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DESCRIPTION

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DESIGNED BY:

DRAWN BY:

CHECKED BY:

SUBMITTED BY:

DATE: DATE

PROJECT # NUMBER

SHEET TITLE

**GRADING
PLAN**

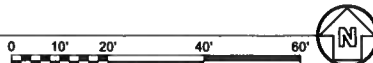
CG101

ORIGINAL SHEET SIZE:
22" X 34"



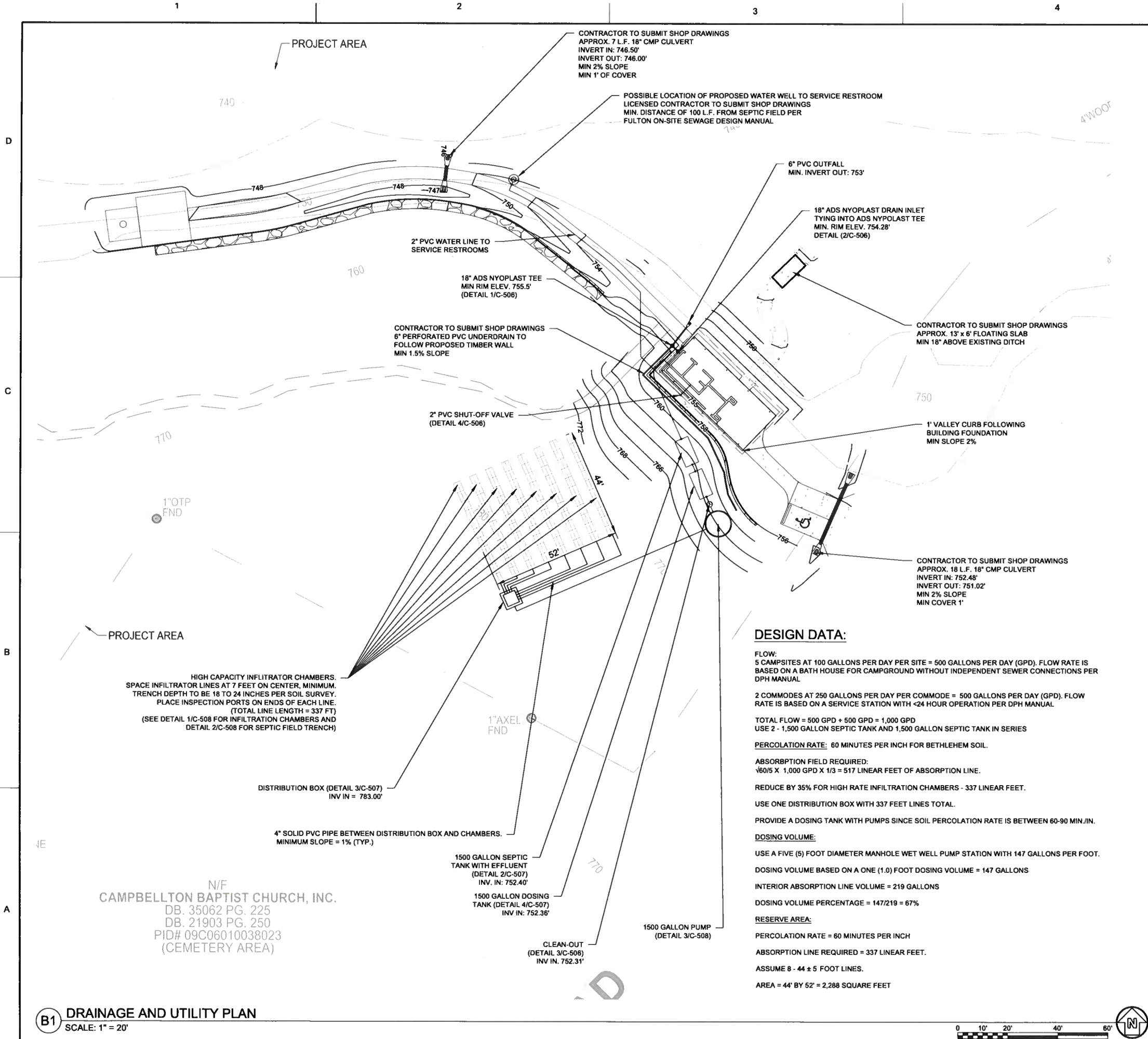
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B1 GRADING PLAN
SCALE: 1" = 20'



PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\PONDGO.COM\RESOURCES\PROJECTS\FY22\122057004.CAD_BIM04.02.CAD03_CAMPBELLTON PARK\CU101 PLOTTED BY: BONNO, ANDRES DATE: 10/21/17



GENERAL SHEET NOTES

1. REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET LEGEND

	CONCRETE ADA SPACE AND SIDEWALK
	TIMBER EDGED GAB TRAIL
	BOULDER WALL

DESIGN DATA:

FLOW:
5 CAMPSITES AT 100 GALLONS PER DAY PER SITE = 500 GALLONS PER DAY (GPD). FLOW RATE IS BASED ON A BATH HOUSE FOR CAMPGROUND WITHOUT INDEPENDENT SEWER CONNECTIONS PER DPH MANUAL.

2 COMMUNES AT 250 GALLONS PER DAY PER COMMUNE = 500 GALLONS PER DAY (GPD). FLOW RATE IS BASED ON A SERVICE STATION WITH <24 HOUR OPERATION PER DPH MANUAL.

TOTAL FLOW = 500 GPD + 500 GPD = 1,000 GPD
USE 2 - 1,500 GALLON SEPTIC TANK AND 1,500 GALLON SEPTIC TANK IN SERIES

PERCOLATION RATE: 60 MINUTES PER INCH FOR BETHLEHEM SOIL.

ABSORPTION FIELD REQUIRED:
 $\sqrt{60/5} \times 1,000 \text{ GPD} \times 1/3 = 517 \text{ LINEAR FEET OF ABSORPTION LINE.}$

REDUCE BY 35% FOR HIGH RATE INFILTRATION CHAMBERS - 337 LINEAR FEET.

USE ONE DISTRIBUTION BOX WITH 337 FEET LINES TOTAL.

PROVIDE A DOSING TANK WITH PUMPS SINCE SOIL PERCOLATION RATE IS BETWEEN 60-90 MIN./IN.

DOSING VOLUME:

USE A FIVE (5) FOOT DIAMETER MANHOLE WET WELL PUMP STATION WITH 147 GALLONS PER FOOT.

DOSING VOLUME BASED ON A ONE (1.0) FOOT DOSING VOLUME = 147 GALLONS

INTERIOR ABSORPTION LINE VOLUME = 219 GALLONS

DOSING VOLUME PERCENTAGE = $147/219 = 67\%$

RESERVE AREA:

PERCOLATION RATE = 60 MINUTES PER INCH

ABSORPTION LINE REQUIRED = 337 LINEAR FEET.

ASSUME 8 - 44' ± 5 FOOT LINES.

AREA = 44' BY 52' = 2,288 SQUARE FEET



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DESIGNED BY:

DRAWN BY:

CHECKED BY:

SUBMITTED BY:

DATE: DATE

PROJECT # NUMBER

SHEET TITLE

UTILITY PLAN

CU101

ORIGINAL SHEET SIZE:
22" X 34"



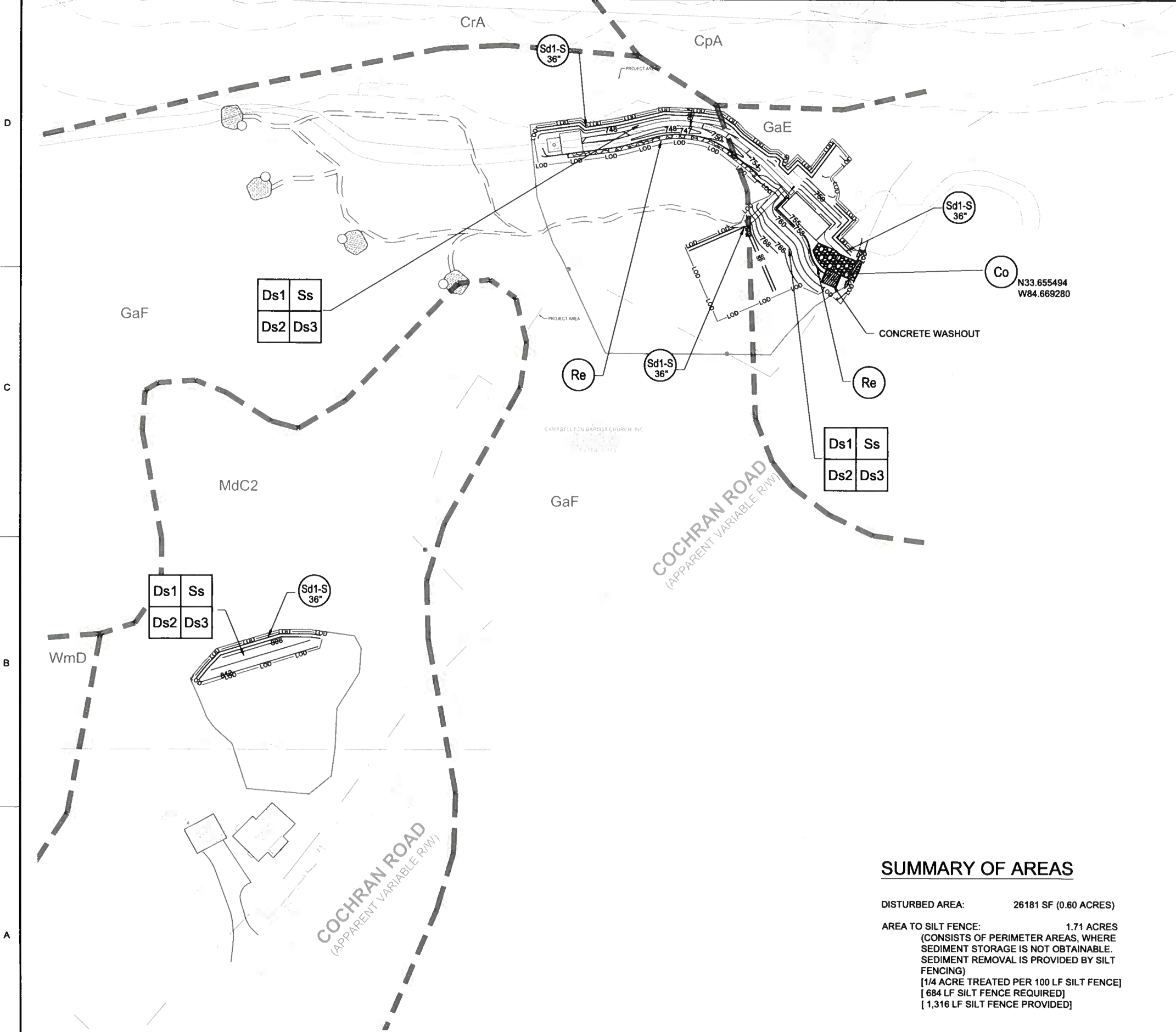
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B1 DRAINAGE AND UTILITY PLAN
SCALE: 1" = 20'



PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\POND\COO.COM\RESOURCES\PROJECTS\FY22\122057004.CAD_BIM04.02.CAD\03_CAMPBELLTON PARK\01 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17



SUMMARY OF AREAS

DISTURBED AREA: 26181 SF (0.60 ACRES)
AREA TO SILT FENCE: 1.71 ACRES
(CONSISTS OF PERIMETER AREAS, WHERE SEDIMENT STORAGE IS NOT OBTAINABLE. SEDIMENT REMOVAL IS PROVIDED BY SILT FENCING)
[1/4 ACRE TREATED PER 100 LF SILT FENCE]
[684 LF SILT FENCE REQUIRED]
[1,316 LF SILT FENCE PROVIDED]

GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- THERE ARE NO KNOWN WETLANDS LOCATED WITHIN 200 FEET OF PROJECT AREA.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25- OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY DISTURBED AREA LEFT IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.
- ROADS MUST BE SWEEPED ROUTINELY AND KEPT CLEAN.

SHEET LEGEND

- LOD LOD LIMITS OF DISTURBANCE
- SOIL DELINEATION
- DRAINAGE BASIN DELINEATION

DESIGN PROFESSIONAL:
BRAD JONES, PLA
LEVEL II CERTIFICATION
No.: 0000031792
EXPIRES : 01/12/2025

24-HOUR EROSION AND
SEDIMENTATION CONTROL
CONTACT:
Mr. DAROLD WENDLANDT
PHONE: M: 770-463-8881

SEE ANNOTATED EROSION CONTROL
CHECKLIST ON SHEET CE002.



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DESCRIPTION

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DESIGNED BY:
DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: DATE
PROJECT # NUMBER

SHEET TITLE

**EROSION &
SEDIMENT
CONTROL
PLAN - INITIAL
PHASE**

SHEET NUMBER

CE101

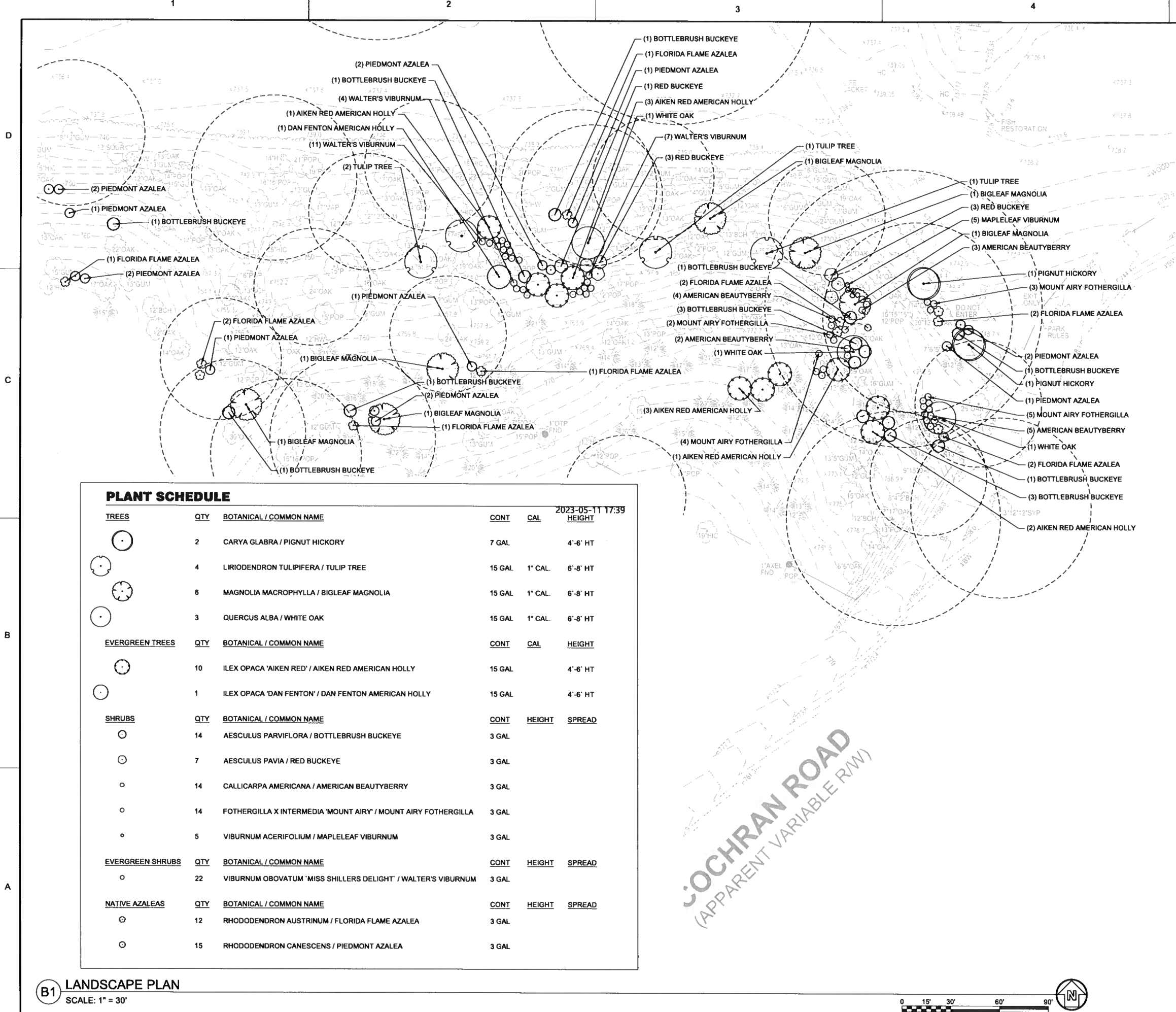
ORIGINAL SHEET SIZE:
22" X 34"



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PROJECT SUBMITTAL STAGE

FILE PATH: I:\CP3\SERVER\POND\COM\RESOURCES\PROJECTS\FY21\22057004.CAD_BIM04.02.CAD\03_CAMPBELLTON PARK\LS100 PLOTTED BY: GUERRA, SIMONE DATE: 10/21/7



GENERAL SHEET NOTES

- REFER TO SHEETS C-000 AND C-001 FOR LEGENDS, ABBREVIATIONS, AND CIVIL NOTES.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

TREE PROTECTION PLAN NOTES:

- CONTRACTOR TO SELECTIVELY REMOVE TREES AS SHOWN ON PLAN WITHIN THE LIMITS OF DISTURBANCE
- SMALLER TREES AND UNDERSTORY SHRUBS MAY ALSO BE PRESENT WITHIN THE LIMITS OF DISTURBANCE, AND SHALL BE REMOVED AS NECESSARY TO CONSTRUCT TRAILS/WALKWAYS.
- CONTRACTOR SHALL TAKE ALL OPPORTUNITIES TO SAVE AND PROTECT TREES TO REMAIN FROM UNNECESSARY DAMAGE OR REMOVAL.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL TREES AND VEGETATION FROM SITE. MATERIAL SHALL NOT ENTER PUBLIC LANDFILLS.
- CONTRACTOR SHALL STABILIZE ALL LAND DISTURBED DUE TO TREE AND VEGETATION REMOVAL.
- EROSION AND SEDIMENT CONTROL PLANS FOR MORE INFORMATION.
- TREES OUTSIDE LOD WILL BE REMOVED BY HAND (EQUIPMENT) ONLY. STUMP REMOVAL WILL BE GROUND APPROXIMATELY 6" BELOW GRADE. PRESERVE AND PROTECT EXISTING TREES TO GREATEST EXTENTS POSSIBLE.
- PRESERVE AND PROTECT TREES TO THE BEST OF ABILITY.
- CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 678.242.2543 TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY DISTURBANCE.

LANDSCAPE NOTES:

- CONTRACTOR'S SCOPE: PREPARE PLANTING AREAS BY CLEARING AND GRUBBING ANY PRESENT UNDERBRUSH OR PASTURE GRASSES. DELIVER PLANT MATERIALS TO THE SITE AFTER SUBSTANTIAL COMPLETION HAS BEEN ACHIEVED. PLANT INSTALLS WILL OCCUR BY VOLUNTEER LABOR.
- THE CONTRACTOR IS TO PROCURE PLANTS IN COORDINATION WITH THE OWNER'S REPRESENTATIVE.
- ANY PLANT SUBSTITUTIONS ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING. CULTIVARS OF NATIVE PLANTS WILL BE ACCEPTABLE BUT APPROVED BY THE OWNER'S REPRESENTATIVE.
- PROVIDE THE OWNER QUOTES ON PLANTS TO ENSURE A QUANTITY OF PLANTS MEETS THE AVAILABLE ALLOWANCE.

SHEET LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- TPF TPF TREE PROTECTION FENCE IS AT LIMITS OF DISTURBANCE AND AS INDICATED ON PLAN
- LOD LOD LIMITS OF DISTURBANCE
- X REMOVE TREE AND ROOT SYSTEM
- EXISTING TREE
- CRZ (CRITICAL ROOT ZONE) OF SPECIMEN TREE



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CLIENT INFORMATION



PROJECT NAME

**CAMPBELLTON
PARK**

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DESCRIPTION

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DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: DATE
PROJECT # NUMBER

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

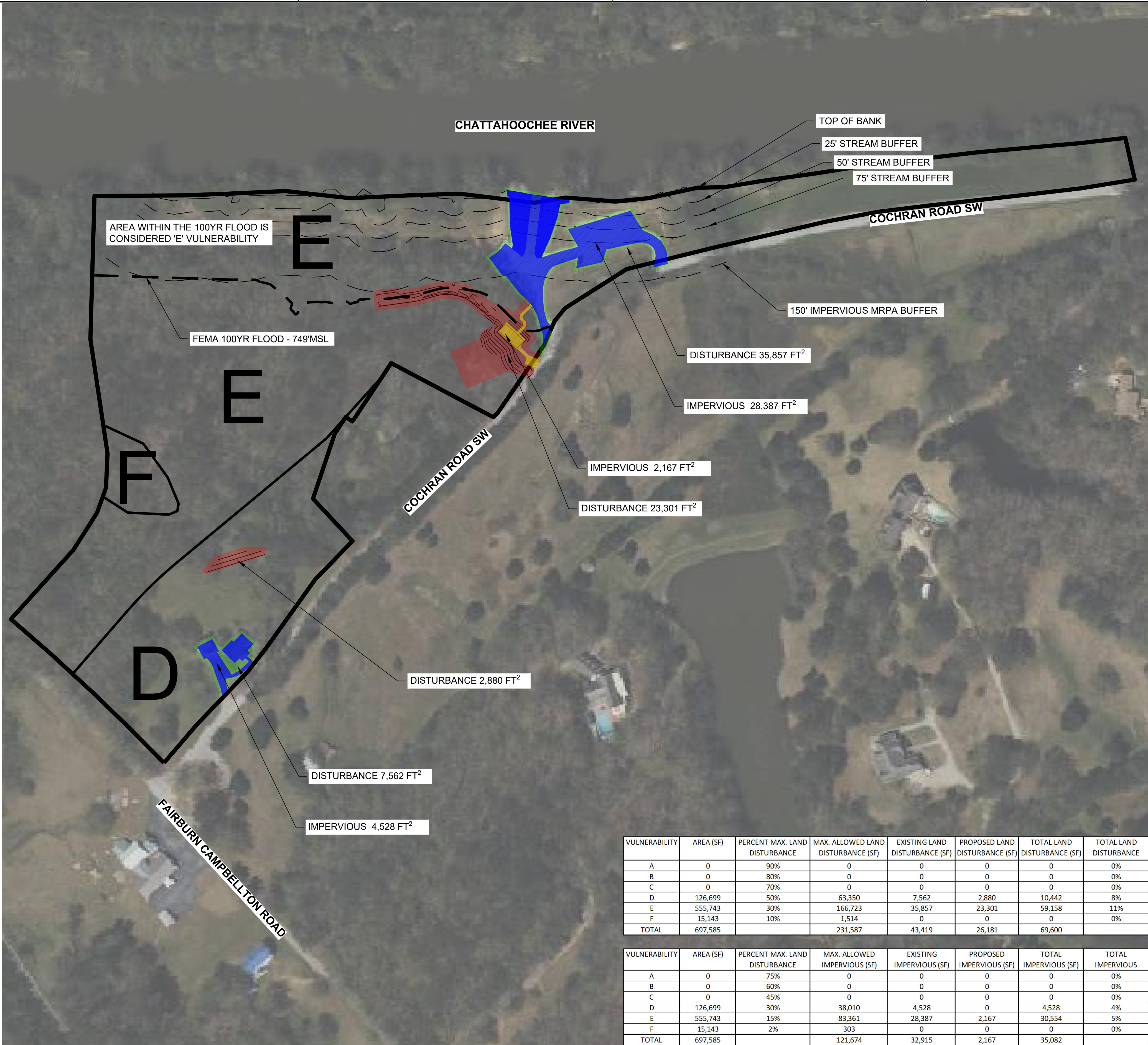
LS101

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\POND\CO COM\RESOURCES\PROJECTS\FY22\1220570\04_CAD_BIM\04.02_CAD\03_CAMPBELLTON PARK\MRPA-0 PLOTTED BY: BONNO, ANDRES DATE: 10/2/17

D
C
B
A



VULNERABILITY	AREA (SF)	PERCENT MAX. LAND DISTURBANCE	MAX. ALLOWED LAND DISTURBANCE (SF)	EXISTING LAND DISTURBANCE (SF)	PROPOSED LAND DISTURBANCE (SF)	TOTAL LAND DISTURBANCE (SF)	TOTAL LAND DISTURBANCE
A	0	90%	0	0	0	0	0%
B	0	80%	0	0	0	0	0%
C	0	70%	0	0	0	0	0%
D	126,699	50%	63,350	7,562	2,880	10,442	8%
E	555,743	30%	166,723	35,857	23,301	59,158	11%
F	15,143	10%	1,514	0	0	0	0%
TOTAL	697,585		231,587	43,419	26,181	69,600	

VULNERABILITY	AREA (SF)	PERCENT MAX. LAND DISTURBANCE	MAX. ALLOWED IMPERVIOUS (SF)	EXISTING IMPERVIOUS (SF)	PROPOSED IMPERVIOUS (SF)	TOTAL IMPERVIOUS (SF)	TOTAL IMPERVIOUS
A	0	75%	0	0	0	0	0%
B	0	60%	0	0	0	0	0%
C	0	45%	0	0	0	0	0%
D	126,699	30%	38,010	4,528	0	4,528	4%
E	555,743	15%	83,361	28,387	2,167	30,554	5%
F	15,143	2%	303	0	0	0	0%
TOTAL	697,585		121,674	32,915	2,167	35,082	

M2 PROPOSED CONDITIONS MRPA
SCALE: 1" = 100'



GENERAL SHEET NOTES

1. PROJECT ADDRESS
8655 COCHRAN ROAD SW
CHATTAHOOCHEE HILLS, GA 30213
2. PROJECT INFORMATION
PARCEL: 09 C060100380320
TAX DISTRICT: 65
PROPERTY CLASS: EXEMPT/PUBLIC
LAND LOT: 38; DIST 9C
ZONING DISTRICT: RL (RURAL)
3. PROJECT SITE
TOTAL ACREAGE: 18 AC
TOTAL DISTURBED: 0.60 AC
4. OWNER INFORMATION
CITY OF CHATTAHOOCHEE HILLS
6505 RICO ROAD CHATTAHOOCHEE HILLS, GA 30268
770-463-8881
DAROLD.WENDLANDT@CHATTHILLSGA.US

SHEET LEGEND

- EXISTING IMPERVIOUS
- EXISTING DISTURBED
- PROPOSED IMPERVIOUS
- PROPOSED DISTURBED



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PROJECT NAME
CAMPBELLTON PARK

8655 COCHRAN RD SW,
CHATTAHOOCHEE HILLS, GA 30213

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06/12/2023
DATE

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DESCRIPTION

0
MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-07-06
PROJECT # 1220570

SHEET TITLE
VULNERABILITY CATEGORIES - PROPOSED CONDITIONS

SHEET NUMBER
MRPA

ORIGINAL SHEET SIZE:
22" X 34"