

DATE: JULY 18, 2023

TO: Mayor Tom Reed, City of Chattahoochee Hills
ATTN TO: Mike Morton, Community Development Director, City of Chattahoochee Hills
FROM: Mike Alexander, COO, Atlanta Regional Commission

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC-23-01CH New Riverlands Park Camp and Paddle Trail Campsite
MRPA Code: RC-23-01CH

Description: A Metropolitan River Protection Act review of a project to construct a public camp and paddle park on a 28 acre site wholly within the Chattahoochee River Corridor at 8661 Campbellton Redwine Road in the City of Chattahoochee Hills. The scope of work includes a dock, kayak launch, campsite, walkways, rest room, septic tank, landscaping, access drive and parking area. The proposed amounts of disturbed and impervious areas are within allowed limits.

Preliminary Finding: ARC staff have begun a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Chattahoochee Hills

Date Opened: July 18, 2023

Deadline for Comments: August 2, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COWETA COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
THREE RIVERS REGIONAL COMMISSION

CHATTAHOOCHEE RIVERKEEPER
CARROLL COUNTY

For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before August 2, 2023,, we will assume that your agency has no additional comments and will close the review. Comments should be submitted via email. **The ARC review website is located at:** <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** CITY OF CHATTAHOOCHEE HILLS
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): CITY OF CHATTAHOOCHEE HILLS
Mailing Address: 6505 RICO ROAD
City: CHATTAHOOCHEE HILLS **State:** GA **Zip:** 30268
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-463-8881 **Fax:** _____
Other Numbers: _____
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): POND & COMPANY
Mailing Address: 3500 PARKWAY LANE SUITE 500
City: PEACHTREE CORNERS **State:** GA **Zip:** 30092
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-395-3305 **Fax:** _____
Other Numbers: 678-761-3558
4. **Proposed Land or Water Use:**
Name of Development: NEW RIVERLANDS PARK
Description of Proposed Use: CAMP & PADDLE PUBLIC PARK ALONG CHATTAHOOCHEE RIVER
5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: 157; DISTRICT 8; FULTON COUNTY
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: N/A; N/A; N/A;
8661 CAMPBELLTON REDWINE ROAD CHATTAHOOCHEE HILLS GA 30268; APPROX. 3,600 LF TO HUTCHESON FERRY RD
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** 28.34 AC
Outside Corridor: (ONS - 7/12/25)
Total: 28.34 AC
Lots: **Inside Corridor:** N/A
Outside Corridor: N/A
Total: N/A
Units: **Inside Corridor:** N/A
Outside Corridor: N/A
Total: N/A
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: N/A
Outside Corridor: N/A
Total: N/A

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank ONSITE SEPTIC SYSTEM

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	<u>0 SF</u>	<u>0 SF</u>	<u>0 SF</u>	(90) <u>0%</u> (75) <u>0%</u>	
B	<u>0 SF</u>	<u>0 SF</u>	<u>0 SF</u>	(80) <u>0%</u> (60) <u>0%</u>	
C	<u>253,294 SF</u>	<u>177,306 SF</u>	<u>113,982 SF</u>	(70) <u>70%</u> (45) <u>45%</u>	
D	<u>279,088 SF</u>	<u>139,544 SF</u>	<u>83,726 SF</u>	(50) <u>50%</u> (30) <u>30%</u>	
E	<u>698,277 SF</u>	<u>209,483 SF</u>	<u>104,742 SF</u>	(30) <u>30%</u> (15) <u>15%</u>	
F	<u>3,831 SF</u>	<u>383 SF</u>	<u>77 SF</u>	(10) <u>10%</u> (2) <u>2%</u>	
Total:	<u>1,234,490 SF</u>	<u>526,716 SF</u>	<u>302,527 SF</u>	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? YES

If "yes", indicate the 100-year floodplain elevation: 720'

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? YES

If "yes", indicate the 500-year flood plain elevation: 722.5'

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

See Survey V-101, 102, 103 **Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).**

____ **Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)**

____ **Written consent of all owners to this application. (Space provided on this form)**

____ **Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)**

____ **Description of proposed use(s). (Space provided on this form)**

See Survey V-101, 102, 103 **Existing vegetation plan.**

See Grading Plan CU-100 101, 102 **Proposed grading plan.**

See Grading Plan CU-100 101, 102 **Certified as-builts of all existing land disturbance and impervious surfaces.**

See ESCP CE Series ____ **Approved erosion control plan.**

See MRPA sheets **Detailed table of land-disturbing activities. (Both on this form and on the plans)**

See Survey

V-101, 102, 103

See MRPA sheets

Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.

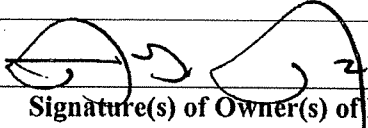
____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

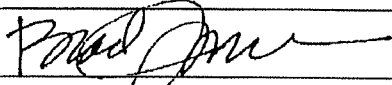
____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

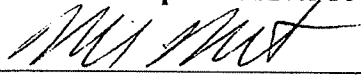

Signature(s) of Owner(s) of Record
06/11/23
Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Brad Jones, PLA, ASLA - Pond and Company


Signature(s) of Applicant(s) or Agent(s)
05/23/2023
Date

14. The governing authority of Chattahoochee Hills requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.


Signature of Chief Elected Official or Official's Designee
6/12/23
Date

FILE PATH: \\VCP3SERVER\POND\CO.COM\RESOURCES\PROJECTS\FY23\122057004.CAD_BIM04.02.CADD\04_NEW RIVERLANDS\G-001 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17

CITY OF CHATTAHOOCHEE HILLS

NEW RIVERLANDS PARK

CAMP AND PADDLE TRAIL

8661 CAMPBELLTON REDWINE ROAD
CHATTAHOOCHEE HILLS, GA 30268

POND PROJECT NUMBER: 1220570

PROJECT LDP #: ""

FULTON COUNTY PROJECT NUMBER: ""

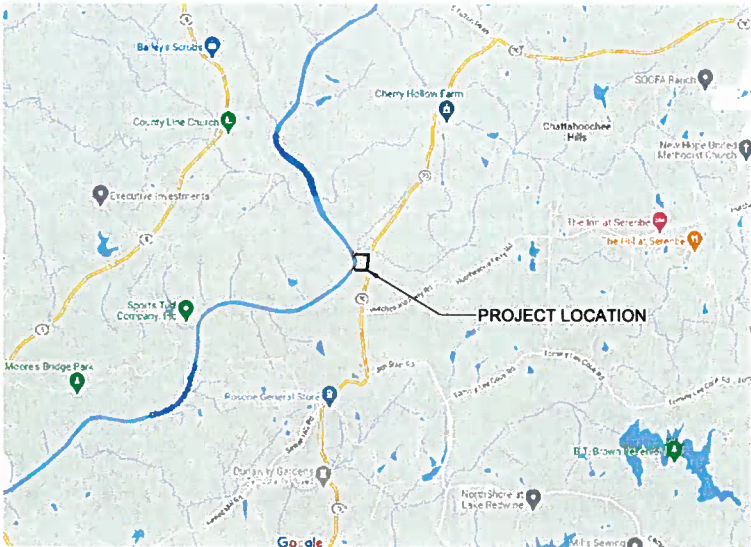
PROJECT SITE MAP



SCALE: N.T.S.



PROXIMITY MAP



SCALE: N.T.S.



PROJECT INFORMATION

PARCEL: 08 360001570374
TAX DISTRICT: 65
PROPERTY CLASS: EXEMPT/PUBLIC
LAND LOT: 157, 8TH DIST
ZONING DISTRICT: RL (RURAL)

PROJECT SITE

TOTAL ACREAGE: 28.34 AC
TOTAL DISTURBED AREA: 1.48 AC
GPS COORDINATES OF CONSTRUCTION EXIT:
N33.521451, W84.811620

OWNER INFO.

DAROLD WENDLANDT
CITY OF CHATTAHOOCHEE HILLS
6505 RICO ROAD
CHATTAHOOCHEE HILLS, GEORGIA 30268
(770) 463-8881
DAROLD.WENDLANDT@CHATTHILLSGA.US

DESIGN PROFESSIONAL

POND & COMPANY
3500 PARKWAY LANE SUITE 500
PEACHTREE CORNERS, GA 30092
PH: 404-678-4828
CONTACT: BRAD JONES
JONESB@POND.CO.COM

GENERAL NOTES:

1. ALL WATER IMPROVEMENTS INSIDE EXISTING METER (WELL SERVICE). NO ADDITIONAL METER CONNECTIONS REQUIRED.
2. PROJECT HAS ON-SITE SEWER SYSTEM PERMITTED BY FULTON COUNTY ENVIRONMENTAL HEALTH. SEE UTILITY PLANS FOR FULTON COUNTY REQUIREMENTS.

PROJECT DESCRIPTION:

PROJECT IS TO IMPLEMENT A PASSIVE PARK AND CAMPGROUND DEVELOPMENT. INCLUDES A COMFORT STATION BUILDING WITH RELATED UTILITIES, WELL INSTALLATION/WATER CONNECTION, ON-SITE SEWER SYSTEM WITH SEPTIC TANKS/FIELD, ASPHALT ENTRANCE ROAD AND PARKING AREA, GRAVEL WALKING PATHS, PRIMITIVE CAMPSITES, AND INSTALLATION OF A KAYAK LAUNCH PLATFORM.

24-HOUR LOCAL CONTACT:

24-HOUR EROSION CONTROL CONTACT:

NAME:
COMPANY:
ADDRESS:
PHONE #:
GSWCC #
EXPIRATION:
TITLE: REPRESENTATIVE FOR PRIMARY PERMITTEE (TO BE FILLED OUT BY CONTRACTOR UPON SELECTION, CONTRACTOR TO PROVIDE LEVEL I CERTIFICATION)

NOTE: THE PRIMARY PERMITTEE IS NOT KNOWN AT THE TIME AND IS TO BE DESIGNATED AS THE EMERGENCY CONTACT AFTER CONTRACT IS AWARDED.

Sheet List Table

Sheet Number	Sheet Title
G-001	COVER SHEET
C-001	GENERAL NOTES
V-101	SURVEY
V-102	SURVEY
V-103	SURVEY
CS100	OVERALL SITE PLAN
CS101	SITE PLAN
CS102	SITE PLAN
CU100	OVERALL GRADING & UTILITY PLAN
CU101	GRADING & UTILITY PLAN
CU102	GRADING & UTILITY PLAN
CU103	WATER & SEWER NOTES
CU104	LEVEL 3 SOIL MAP
CE001	EROSION & SEDIMENT CONTROL CHECKLIST
CE002	EROSION & SEDIMENT CONTROL NOTES
CE003	EROSION & SEDIMENT CONTROL NOTES
CE101	EROSION & SEDIMENT CONTROL PLAN-INITIAL PHASE
CE102	EROSION & SEDIMENT CONTROL PLAN - INTERMEDIATE PHASE
CE103	EROSION & SEDIMENT CONTROL PLAN-FINAL PHASE
C-501	CONSTRUCTION DETAILS
C-502	CONSTRUCTION DETAILS
C-503	HIKING TRAIL BEST PRACTICES DETAILS
C-504	CONSTRUCTION DETAILS
C-505	CONSTRUCTION DETAILS
C-506	SEPTIC DETAILS
C-507	SEPTIC DETAILS
LS101	LANDSCAPE PLAN
LS102	PLANT SCHEDULE
MRPA-01	EX. CONDITIONS MRPA
MRPA-02	PROP. CONDITIONS MRPA



Know what's below.
Call before you dig.
Dial 811
Or Call 800-282-7411

POND
3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092
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CLIENT INFORMATION



PROJECT NAME

NEW RIVERLANDS

8661 CAMPBELLTON
REDWINE RD,
CHATTAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

0
MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

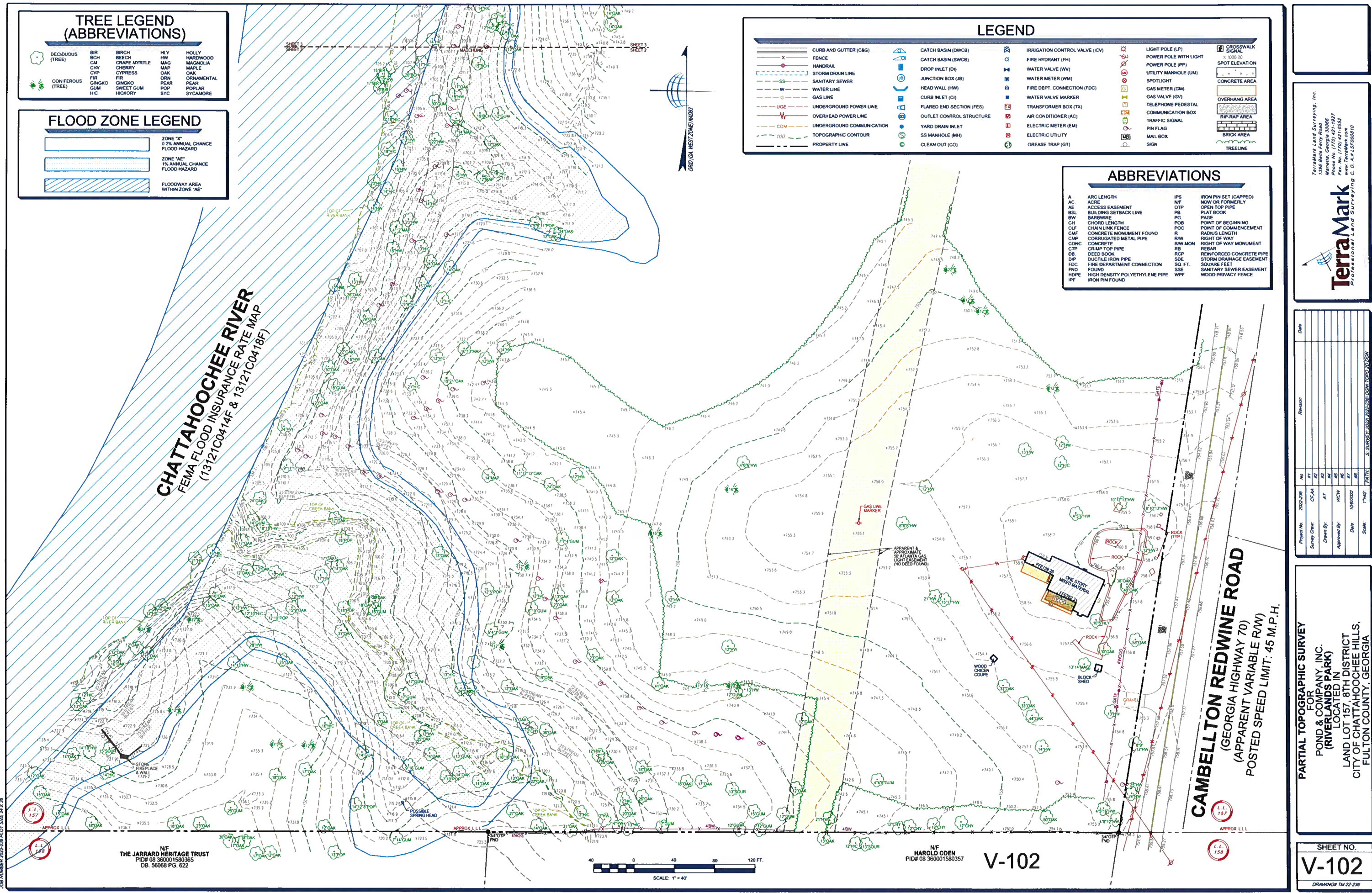
COVER SHEET

SHEET NUMBER

G-001

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE



TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR	BIRCH	HLY	HOLLY
CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
	CM	CRAPPE MYRTLE	MAG	MAGNOLIA
	CYP	CHERRY	MAP	MAPLE
	FIR	CYPRESS	OAK	OAK
	GINGKO	PEAR	ORN	ORNAMENTAL
	GUM	POPLAR	POP	PEAR
	HIC	HICKORY	SYC	SYCAMORE

FLOOD ZONE LEGEND

ZONE "X"	0.2% ANNUAL CHANCE FLOOD HAZARD
ZONE "AE"	1% ANNUAL CHANCE FLOOD HAZARD
	FLOODWAY AREA WITHIN ZONE "AE"

LEGEND

CURB AND GUTTER (C&G)	CATCH BASIN (DWCB)	IRRIGATION CONTROL VALVE (ICV)	LIGHT POLE (LP)
FENCE	CATCH BASIN (SWCB)	FIRE HYDRANT (FH)	POWER POLE WITH LIGHT
HANDRAIL	DROP INLET (DI)	WATER VALVE (WV)	UTILITY MANHOLE (UM)
STORM DRAIN LINE	JUNCTION BOX (JB)	WATER METER (WM)	SPOTLIGHT
SANITARY SEWER	HEAD WALL (HW)	FIRE DEPT. CONNECTION (FDC)	GAS METER (GM)
WATER LINE	CURB INLET (CI)	WATER VALVE MARKER	GAS VALVE (GV)
GAS LINE	FLARED END SECTION (FES)	TRANSFORMER BOX (TX)	TELEPHONE PEDESTAL
UNDERGROUND POWER LINE	OUTLET CONTROL STRUCTURE	AIR CONDITIONER (AC)	COMMUNICATION BOX
OVERHEAD POWER LINE	YARD DRAIN INLET	ELECTRIC METER (EM)	TRAFFIC SIGNAL
UNDERGROUND COMMUNICATION	SS MANHOLE (MH)	ELECTRIC UTILITY	PIN FLAG
TOPOGRAPHIC CONTOUR	CLEAN OUT (CO)	GREASE TRAP (GT)	MAIL BOX
PROPERTY LINE			SIGN

ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	N/F	NOW OR FORMERLY
AE	ACCESS EASEMENT	OTF	OPEN TOP PIPE
BSL	BUILDING SETBACK LINE	PLB	PLAT BOOK
BW	BARB WIRE	PAGE	PAGE
CH	CHORD LENGTH	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
CMF	CONCRETE MONUMENT FOUND	R/L	RADIUS LENGTH
CMP	CORRUGATED METAL PIPE	R/W	RIGHT OF WAY
CONC	CONCRETE	R/W MON	RIGHT OF WAY MONUMENT
CTP	CRIMP TOP PIPE	REBAR	REINFORCED CONCRETE PIPE
DEED	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	SDE	STORM DRAINAGE EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	SQ. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDP	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
IPF	IRON PIN FOUND		

CHATTAHOOCHEE RIVER
FEMA FLOOD INSURANCE RATE MAP
(13121C0414F & 13121C0418F)

CAMBELLTON REDWINE ROAD
(GEORGIA HIGHWAY 70)
(APPROXIMATE VARIABLE R/W)
POSTED SPEED LIMIT: 45 M.P.H.

NF
THE JARRARD HERITAGE TRUST
PID# 08 360001580365
DB. 56068 PG. 622

NF
HAROLD ODEN
PID# 08 360001580357

V-102

PARTIAL TOPOGRAPHIC SURVEY
FOR
POND & COMPANY, INC.
(RIVERLANDS PARK)
LOCATED IN
LAND LOT 157, 8TH DISTRICT
CITY OF CHATTAHOOCHEE HILLS,
FULTON COUNTY, GEORGIA

SHEET NO.
V-102
DRAWING OF TM 22-236

Project No.	2022-236	Scale	1"=40'
Survey Date	07/24/22	Drawn By	AT
Approved By	08/02/22	Date	08/02/22
Surveyor	CFAM	Checker	AT
Reviewer	AT	Reviewer	AT
Date	08/02/22	Reviewer	AT
Scale	1"=40'	Reviewer	AT

TerraMark
Professional Land Surveying, Inc.
1396 Bulls Ferry Road
Marietta, Georgia 30066
Phone No. (770) 421-1827
Fax No. (770) 421-1828
www.TerraMark.com
S. Surveyor No. 2002-236, 2022-236, 2022-236, 2022-236

TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR BCH	BIRCH BEECH	H.W. HARDWOOD	HOLLY HARDWOOD
	CM	CRAPPE MYRTLE	MAG	MAGNOLIA
	CYP	CHERRY	MAP	MAPLE
CONIFEROUS (TREE)	FIR	GINKGO	ORN	ORNAMENTAL
	GUM	SWEET GUM	PEAR	PEAR
	HIC	HICKORY	POP	POPLAR
			SYC	SYCAMORE

FLOOD ZONE LEGEND

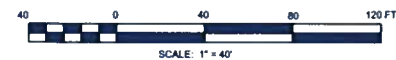
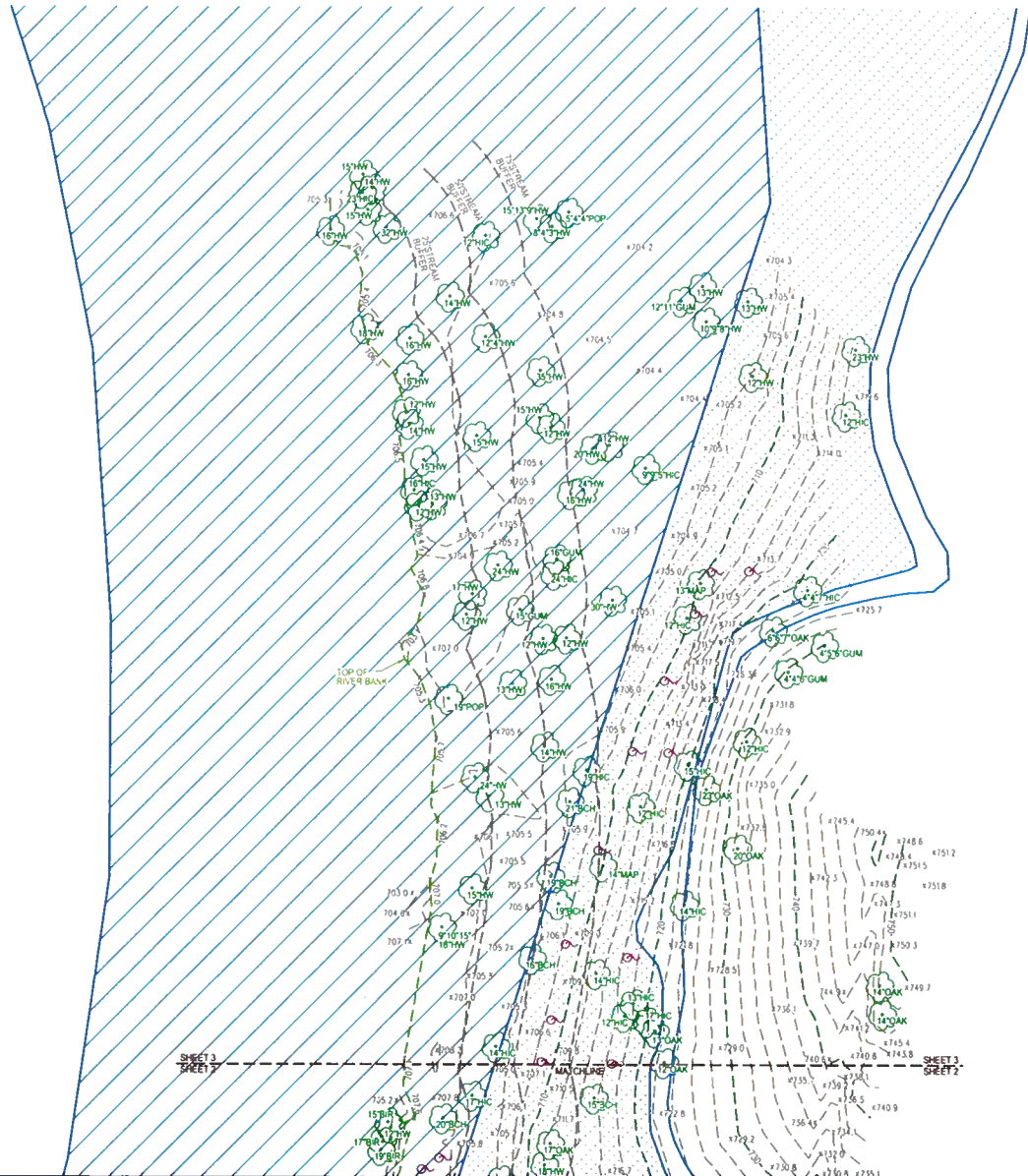
	ZONE 'X' 0.2% ANNUAL CHANCE FLOOD HAZARD
	ZONE 'AE' 1% ANNUAL CHANCE FLOOD HAZARD
	FLOODWAY AREA WITHIN ZONE 'AE'

LEGEND

	CURB AND GUTTER (C&G)		CATCH BASIN (DWCB)		IRRIGATION CONTROL VALVE (ICV)		LIGHT POLE (LP)		CROSSWALK
	FENCE		CATCH BASIN (SWCB)		FIRE HYDRANT (FH)		POWER POLE WITH LIGHT		SPOT ELEVATION
	HANDRAIL		DROP INLET (DI)		WATER VALVE (WV)		POWER POLE (PP)		UTILITY MANHOLE (UM)
	STORM DRAIN LINE		JUNCTION BOX (JB)		WATER METER (WM)		SPOTLIGHT		GAS METER (GM)
	SANITARY SEWER		HEAD WALL (HW)		FIRE DEPT. CONNECTION (FDC)		GAS VALVE (GV)		TELEPHONE PEDESTAL
	WATER LINE		CURB INLET (CI)		WATER VALVE MARKER		COMMUNICATION BOX		TRAFFIC SIGNAL
	GAS LINE		FLARED END SECTION (FES)		TRANSFORMER BOX (TX)		PIN FLAG		MAIL BOX
	UNDERGROUND POWER LINE		OUTLET CONTROL STRUCTURE		AIR CONDITIONER (AC)		SIGN		
	OVERHEAD POWER LINE		YARD DRAIN INLET		ELECTRIC METER (EM)				
	UNDERGROUND COMMUNICATION		SS MANHOLE (MH)		ELECTRIC UTILITY				
	TOPOGRAPHIC CONTOUR		CLEAN OUT (CO)		GREASE TRAP (GT)				
	PROPERTY LINE								

ABBREVIATIONS

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FDC	FIRE DEPARTMENT CONNECTION	SQ. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDP	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
IPF	IRON PIN FOUND		



TerraMark Land Surveying, Inc.
1396 Bell's Ferry Road
Marietta, Georgia 30066
Phone No. (770) 421-1827
Fax No. (770) 421-1552
Professional Land Surveying C. of A. #LS500810

TerraMark
Professional Land Surveying C. of A. #LS500810

Project No.	2022-236	Sheet	1 of 1	Date	
Survey Crew:	CF/A	AT	AT		
Drawn By:	AT	AT	AT		
Approved By:	MCW	MCW	MCW		
Date:	10/6/2022	AT	AT		
Scale:	1"=40'	AT	AT		

PARTIAL TOPOGRAPHIC SURVEY
FOR
POND & COMPANY, INC.
(RIVERLANDS PARK)
LOCATED IN
LAND LOT 157, 8TH DISTRICT
CITY OF CHATTAHOOCHEE HILLS,
FULTON COUNTY, GEORGIA

SHEET NO.
V-103
DRAWING TM 22-236

FILE PATH: X:\FY22\1220570\04 CAD_BIM\04.02 CAD\04_NEW RIVERLANDS\CS-101 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17

D
C
B
A

IMPROVED SOFT SURFACE TRAIL ON
EXISTING PATH - REFER TO BEST
PRACTICES DETAILS ON SHEET C-503

PUNCHEON - FIELD LOCATE (DETAIL 2/C-504)

PRIMITIVE CAMPSITES
(DETAIL 4/C-501)
NOTE:
FIELD LOCATE CAMPSITES IN
COORDINATION WITH OWNER'S
REPRESENTATIVE

CS101

CS102

N:1281608.505
E:2099384.752

N:1281549.003
E:2099310.782

N:1281572.000
E:2099639.217

N:1281561.436
E:2099352.399

N:1281497.788
E:2099567.959
N:1281487.148
E:2099593.411

N:1281513.123
E:2099661.634

APPROXIMATE
APPROXIMATE
BY ATLANTA GAS
MOUNTAIN (MOUNTAIN)
(MOUNTAIN)

A1 OVERALL SITE PLAN
SCALE: 1" = 60'

0 30' 60' 120' 180'



GENERAL SHEET NOTES

1. REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET LEGEND

	ASPHALT ACCESS DRIVE
	CONCRETE ADA SPACE AND SIDEWALK
	CRUSHED GRANITE SURFACE
	TIMBER EDGED GAB TRAIL
	PRE-FAB KAYAK LAUNCH/DOCK

DESIGN PROFESSIONAL:
XXXXXXXXXX, XXX
LEVEL II CERTIFICATION
NO.: XXXXXXXX
EXPIRES: XXXXXXXX



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CLIENT INFORMATION



PROJECT NAME

NEW
RIVERLANDS

8661 CAMPBELLTON
REDWINE RD,
CHATTAAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

0
MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

OVERALL SITE
PLAN

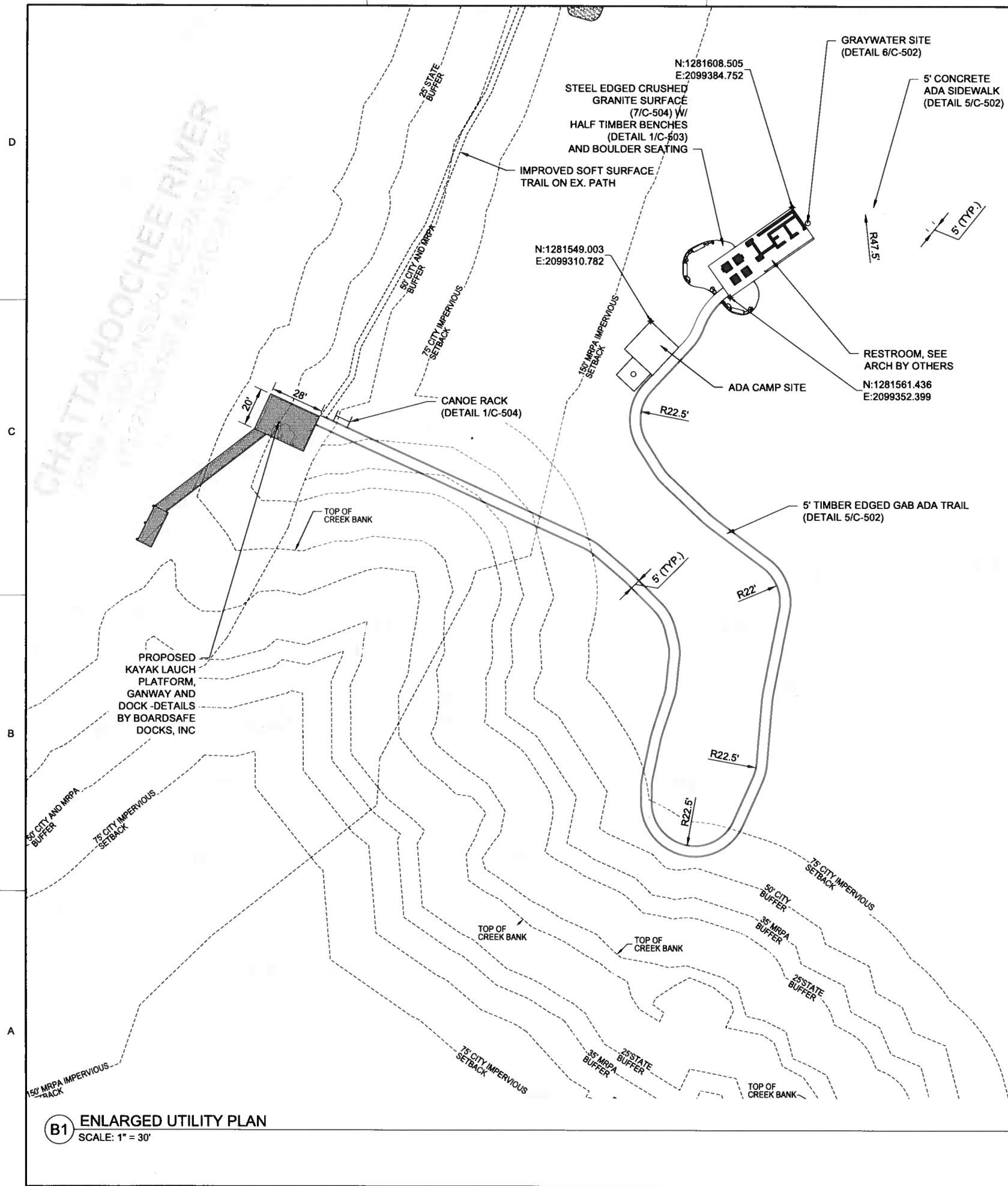
SHEET NUMBER

CS100

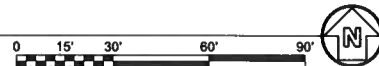
ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: X:\FY22\122057004 CAD_BIM\04.02 CAD\04_NEW RIVERLANDS\CS-101 PLOTTED BY: GUERRA, SIMONE DATE: 10/21/17



B1 ENLARGED UTILITY PLAN
SCALE: 1" = 30'



GENERAL SHEET NOTES

1. REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET LEGEND

	ASPHALT ACCESS DRIVE
	CONCRETE ADA SPACE AND SIDEWALK
	CRUSHED GRANITE SURFACE
	TIMBER EDGED GAB TRAIL
	PRE-FAB KAYAK LAUNCH/DOCK

DESIGN PROFESSIONAL:
XXXXXXXXXX
LEVEL II CERTIFICATION
NO.: XXXXXXXX
EXPIRES: XXXX/XXXX



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CLIENT INFORMATION



PROJECT NAME

**NEW
RIVERLANDS**

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REDWINE RD,
CHATTAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

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MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

SITE PLAN

SHEET NUMBER

CS101

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: X:\FY22\122057004.CAD_BIM04.02.CAD04_NEW RIVERLANDSCU101 PLOTTED BY: GUERRA, SIMONE DATE: 10/21/17

EARTHWORK CALCULATIONS

CUT: 802 C.Y.
FILL (NEAT): 662 C.Y.
NET: 140 C.Y. CUT

IMPROVED SOFT SURFACE
TRAIL ON EXISTING PATH

PROPOSED WELL

CONCRETE
ADA SPACE

PROPOSED SWALE

PROPOSED SEPTIC FIELD

GENERAL SHEET NOTES

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3. PARTIAL SURVEY TOPO BLENDED WITH GIS DATA. SEE SHEET CS101 FOR DELINEATION OF LIMITS OF SURVEY DATA.

SHEET LEGEND

- ASPHALT ACCESS DRIVE
- CONCRETE ADA SPACE AND SIDEWALK
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- PRE-FAB KAYAK LAUNCH/DOCK



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HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

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DESCRIPTION

0
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DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

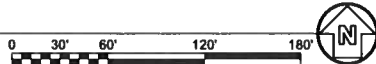
**OVERALL
GRADING &
UTILITY PLAN**

SHEET NUMBER

CU100

ORIGINAL SHEET SIZE:
22" X 34"

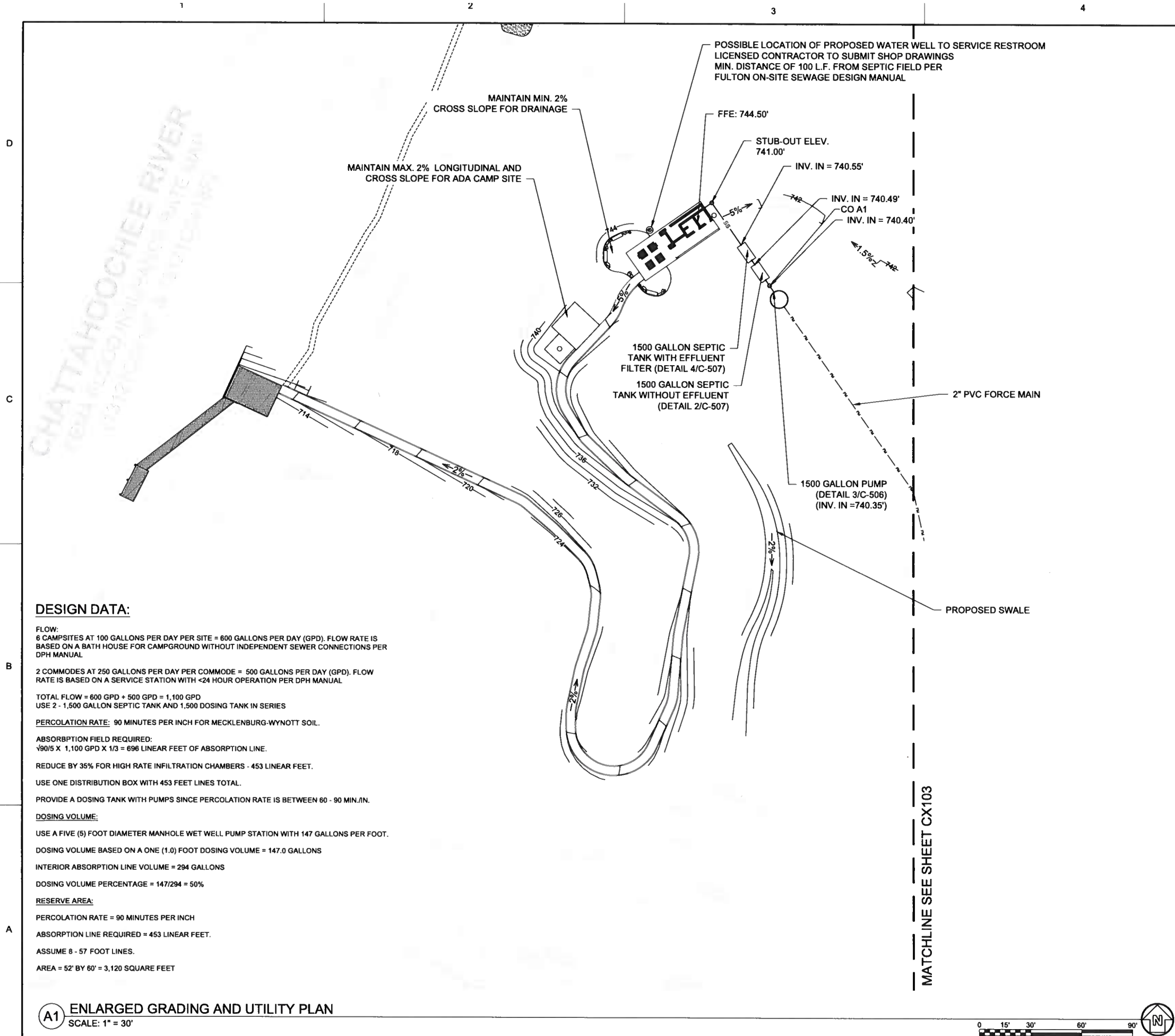
A1 OVERALL GRADING AND UTILITY PLAN
SCALE: 1" = 60'



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PROJECT SUBMITTAL STAGE

FILE PATH: X:\FY22\122057004_CAD_BIM\04_02_CAD\04_NEW RIVERLANDS\CU101 PLOTTED BY: BONNO, ANDRES DATE: 10/21/17



GENERAL SHEET NOTES

1. REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
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SHEET LEGEND

	ASPHALT ACCESS DRIVE
	CONCRETE ADA SPACE AND SIDEWALK
	CRUSHED GRANITE SURFACE
	TIMBER EDGED GAB TRAIL
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PROJECT NAME

**NEW
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CHATTAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

0
MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

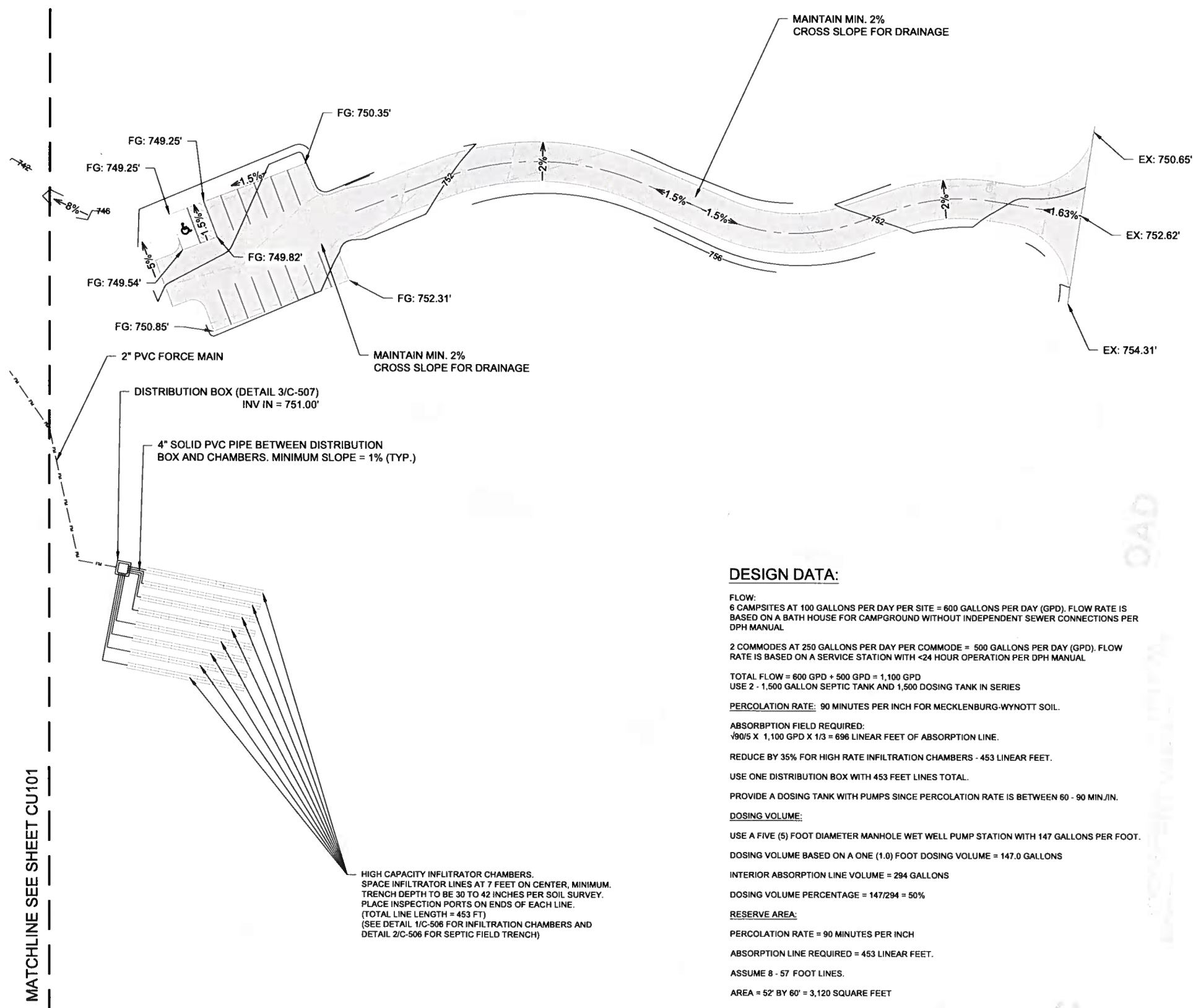
**GRADING &
UTILITY PLAN**

SHEET NUMBER

CU101

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE



DESIGN DATA:

FLOW:
6 CAMPSITES AT 100 GALLONS PER DAY PER SITE = 600 GALLONS PER DAY (GPD). FLOW RATE IS BASED ON A BATH HOUSE FOR CAMPGROUND WITHOUT INDEPENDENT SEWER CONNECTIONS PER DPH MANUAL

2 COMMDES AT 250 GALLONS PER DAY PER COMMDE = 500 GALLONS PER DAY (GPD). FLOW RATE IS BASED ON A SERVICE STATION WITH <24 HOUR OPERATION PER DPH MANUAL

TOTAL FLOW = 600 GPD + 500 GPD = 1,100 GPD
USE 2 - 1,500 GALLON SEPTIC TANK AND 1,500 DOSING TANK IN SERIES

PERCOLATION RATE: 90 MINUTES PER INCH FOR MECKLENBURG-WYNOTT SOIL.

ABSORPTION FIELD REQUIRED:
 $\sqrt{90/5} \times 1,100 \text{ GPD} \times 1/3 = 696$ LINEAR FEET OF ABSORPTION LINE.

REDUCE BY 35% FOR HIGH RATE INFILTRATION CHAMBERS - 453 LINEAR FEET.

USE ONE DISTRIBUTION BOX WITH 453 FEET LINES TOTAL.

PROVIDE A DOSING TANK WITH PUMPS SINCE PERCOLATION RATE IS BETWEEN 60 - 90 MIN./IN.

DOSING VOLUME:

USE A FIVE (5) FOOT DIAMETER MANHOLE WET WELL PUMP STATION WITH 147 GALLONS PER FOOT.

DOSING VOLUME BASED ON A ONE (1.0) FOOT DOSING VOLUME = 147.0 GALLONS

INTERIOR ABSORPTION LINE VOLUME = 294 GALLONS

DOSING VOLUME PERCENTAGE = $147/294 = 50\%$

RESERVE AREA:

PERCOLATION RATE = 90 MINUTES PER INCH

ABSORPTION LINE REQUIRED = 453 LINEAR FEET.

ASSUME 8 - 57 FOOT LINES.

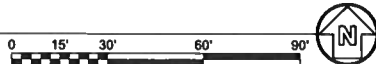
AREA = 52' BY 60' = 3,120 SQUARE FEET

HIGH CAPACITY INFILTRATOR CHAMBERS.
SPACE INFILTRATOR LINES AT 7 FEET ON CENTER, MINIMUM.
TRENCH DEPTH TO BE 30 TO 42 INCHES PER SOIL SURVEY.
PLACE INSPECTION PORTS ON ENDS OF EACH LINE.
(TOTAL LINE LENGTH = 453 FT)
(SEE DETAIL 1/C-506 FOR INFILTRATION CHAMBERS AND
DETAIL 2/C-506 FOR SEPTIC FIELD TRENCH)

MATCHLINE SEE SHEET CU101

A1 ENLARGED GRADING AND UTILITY PLAN

SCALE: 1" = 30'



GENERAL SHEET NOTES

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3. PARTIAL SURVEY TOPO BLENDED WITH GIS DATA. SEE SHEET CS101 FOR DELINEATION OF LIMITS OF SURVEY DATA.

SHEET LEGEND

- ASPHALT ACCESS DRIVE
- CONCRETE ADA SPACE AND SIDEWALK
- CRUSHED GRANITE SURFACE
- TIMBER EDGED GAB TRAIL
- PRE-FAB KAYAK LAUNCH/DOCK



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CLIENT INFORMATION



PROJECT NAME

NEW RIVERLANDS

8661 CAMPBELLTON
REDWINE RD,
CHATTAAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

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MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

GRADING & UTILITY PLAN

SHEET NUMBER

CU102

ORIGINAL SHEET SIZE:
22" X 34"

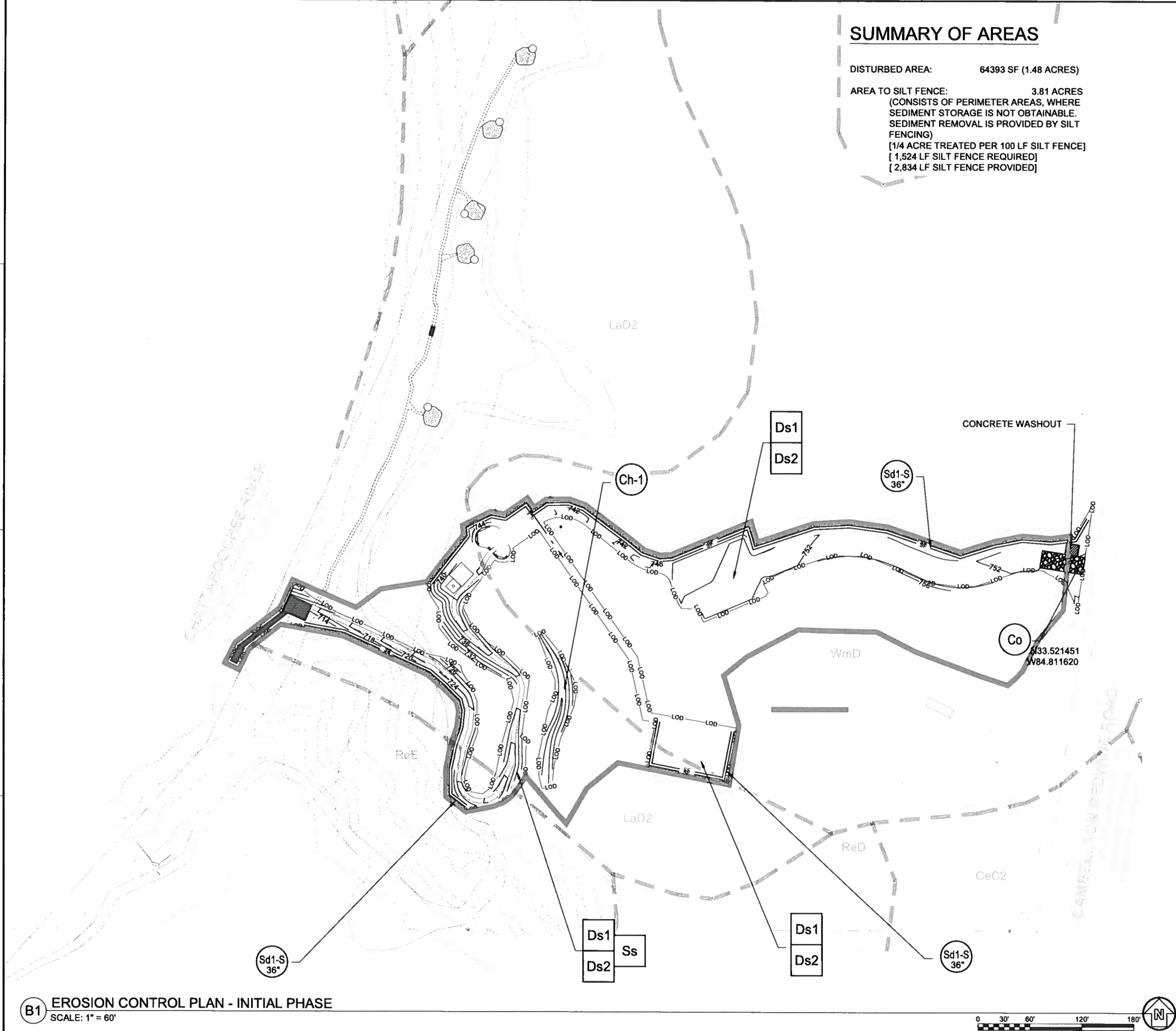


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PROJECT SUBMITTAL STAGE

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D
C
B
A



SUMMARY OF AREAS

DISTURBED AREA: 64393 SF (1.48 ACRES)

AREA TO SILT FENCE: 3.81 ACRES
(CONSISTS OF PERIMETER AREAS, WHERE SEDIMENT STORAGE IS NOT OBTAINABLE. SEDIMENT REMOVAL IS PROVIDED BY SILT FENCING)
[1/4 ACRE TREATED PER 100 LF SILT FENCE]
[1,524 LF SILT FENCE REQUIRED]
[2,834 LF SILT FENCE PROVIDED]

GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
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- THERE ARE NO KNOWN WETLANDS LOCATED WITHIN 200 FEET OF PROJECT AREA.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25- OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY DISTURBED AREA LEFT IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.
- ROADS MUST BE SWEEPED ROUTINELY AND KEPT CLEAN.

SHEET LEGEND

- LOD — LOD — LIMITS OF DISTURBANCE
- SOIL DELINEATION
- DRAINAGE BASIN DELINEATION

DESIGN PROFESSIONAL:
BRAD JONES, PLA
LEVEL II CERTIFICATION
No.: 0000031792
EXPIRES : 01/12/2025

24-HOUR EROSION AND
SEDIMENTATION CONTROL
CONTACT:
Mr. DAROLD WENDLANDT
PHONE: M: 770-463-8881

SEE ANNOTATED EROSION CONTROL
CHECKLIST ON SHEET CE002.



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CLIENT INFORMATION



PROJECT NAME
NEW RIVERLANDS

8661 CAMPBELLTON
REDWINE RD,
CHATTAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE
05/12/2023
DATE

PERMIT SET
DESCRIPTION

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MARK

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

**EROSION &
SEDIMENT
CONTROL
PLAN-INITIAL
PHASE**

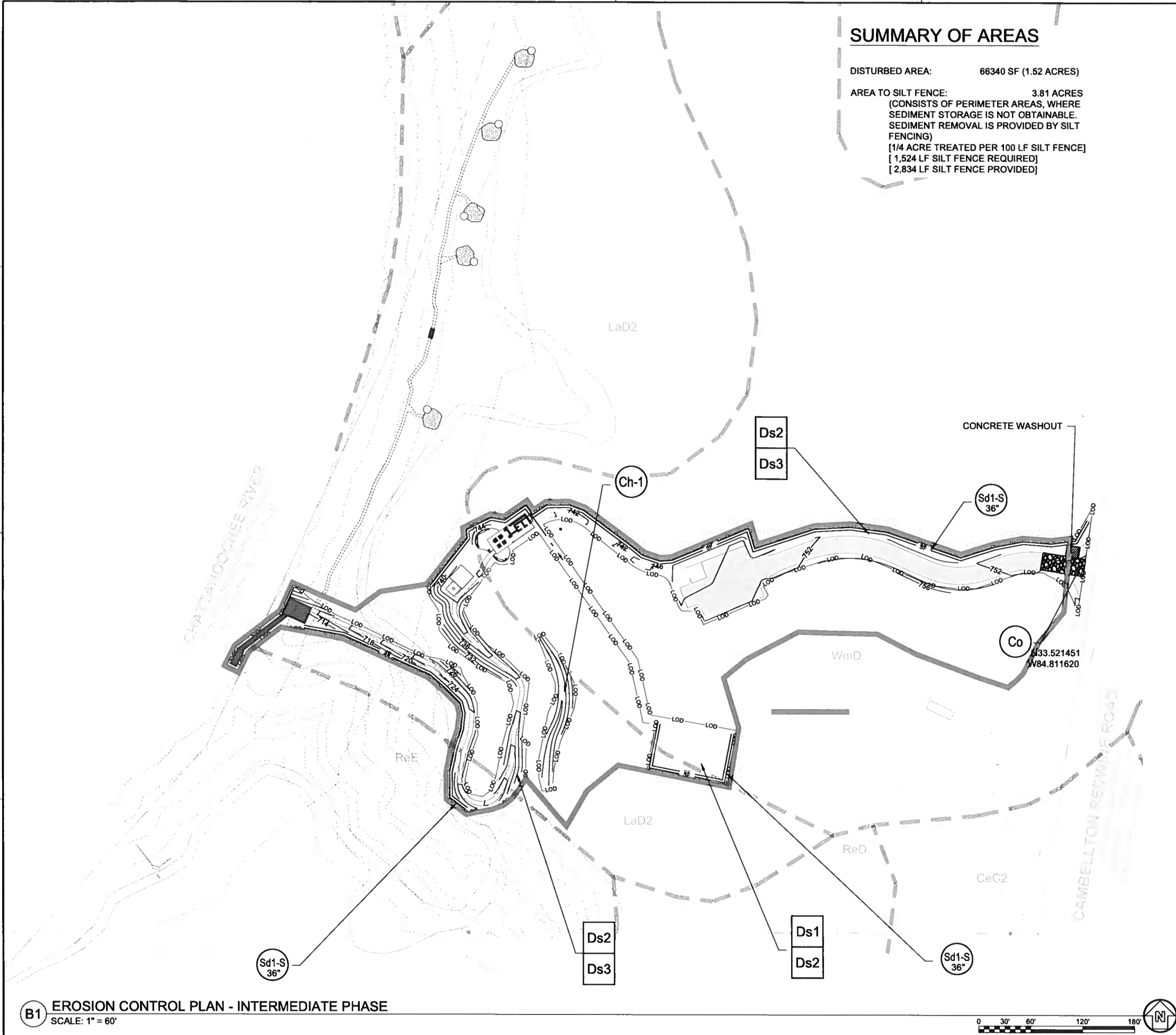
SHEET NUMBER
CE101

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\POND\CO.COM\RESOURCES\PROJECTS\FY23\1220570\04_CAD_BIM\04.02_CAD\04_NEW RIVERLANDS\CE101 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17

D
C
B
A



SUMMARY OF AREAS

DISTURBED AREA: 66340 SF (1.52 ACRES)

AREA TO SILT FENCE: 3.81 ACRES
(CONSISTS OF PERIMETER AREAS, WHERE SEDIMENT STORAGE IS NOT OBTAINABLE. SEDIMENT REMOVAL IS PROVIDED BY SILT FENCING)
[1/4 ACRE TREATED PER 100 LF SILT FENCE]
[1,524 LF SILT FENCE REQUIRED]
[2,834 LF SILT FENCE PROVIDED]

GENERAL SHEET NOTES

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9. ROADS MUST BE SWEEPED ROUTINELY AND KEPT CLEAN.

SHEET LEGEND

— LOD — LOD — LIMITS OF DISTURBANCE
- - - - - SOIL DELINEATION
- - - - - DRAINAGE BASIN DELINEATION

DESIGN PROFESSIONAL:
BRAD JONES, PLA
LEVEL II CERTIFICATION
No.: 0000031792
EXPIRES : 01/12/2025

24-HOUR EROSION AND
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CONTACT:
Mr. DAROLD WENDLANDT
PHONE: M: 770-463-8881

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NEW RIVERLANDS

8661 CAMPBELLTON
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HILLS, GA
30268

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DESCRIPTION

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DESIGNED BY:
DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

**EROSION &
SEDIMENT
CONTROL
PLAN -
INTERMEDIATE
PHASE**

SHEET NUMBER

CE102

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\POND\CO.COM\RESOURCES\PROJECTS\FY22\122057004.CAD_BIM\04.02.CAD\04_NEW RIVERLANDS\CE101 PLOTTED BY: GUERRA, SIMONE DATE: 10/2/17

SUMMARY OF AREAS

DISTURBED AREA: 66340 SF (1.52 ACRES)

AREA TO SILT FENCE: 3.81 ACRES
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[1,524 LF SILT FENCE REQUIRED]
[2,834 LF SILT FENCE PROVIDED]

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- SOIL DELINEATION
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DESIGN PROFESSIONAL:
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No.: 0000031792
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HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

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MARK

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

EROSION &
SEDIMENT
CONTROL
PLAN-FINAL
PHASE

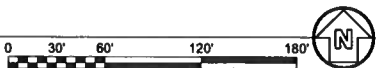
SHEET NUMBER

CE103

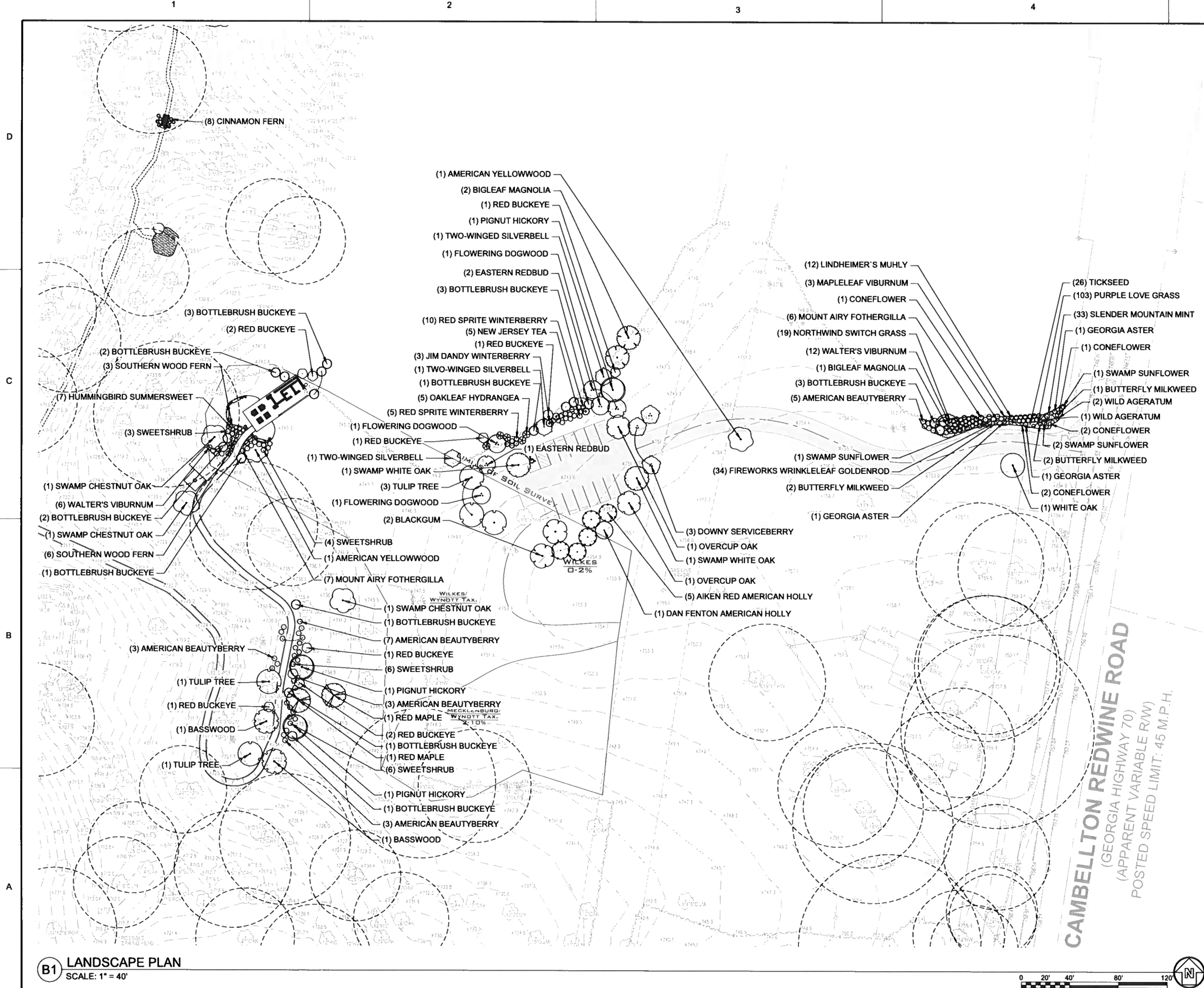
ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

B1 EROSION CONTROL PLAN - FINAL PHASE
SCALE: 1" = 60'



FILE PATH: \\ACF3SERVER\POND\CO\PROJECTS\PROJECTS\22112057004_CAD_BIM\04.02.CAD\04_NEW RIVERLANDS\101 PLOTTED BY: GUERRA, SIMONE DATE: 10/21/7



B1 LANDSCAPE PLAN
SCALE: 1" = 40'

GENERAL SHEET NOTES

1. REFER TO SHEETS C-000 AND C-001 FOR LEGENDS, ABBREVIATIONS, AND CIVIL NOTES.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

TREE PROTECTION PLAN NOTES:

1. CONTRACTOR TO SELECTIVELY REMOVE TREES AS SHOWN ON PLAN WITHIN THE LIMITS OF DISTURBANCE
2. SMALLER TREES AND UNDERSTORY SHRUBS MAY ALSO BE PRESENT WITHIN THE LIMITS OF DISTURBANCE, AND SHALL BE REMOVED AS NECESSARY TO CONSTRUCT TRAILS/WALKWAYS.
3. CONTRACTOR SHALL TAKE ALL OPPORTUNITIES TO SAVE AND PROTECT TREES TO REMAIN FROM UNNECESSARY DAMAGE OR REMOVAL.
4. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL TREES AND VEGETATION FROM SITE. MATERIAL SHALL NOT ENTER PUBLIC LANDFILLS.
5. CONTRACTOR SHALL STABILIZE ALL LAND DISTURBED DUE TO TREE AND VEGETATION REMOVAL.
6. EROSION AND SEDIMENT CONTROL PLANS FOR MORE INFORMATION.
7. TREES OUTSIDE LOD WILL BE REMOVED BY HAND (EQUIPMENT) ONLY. STUMP REMOVAL WILL BE GROUND APPROXIMATELY 6" BELOW GRADE. PRESERVE AND PROTECT EXISTING TREES TO GREATEST EXTENTS POSSIBLE.
8. PRESERVE AND PROTECT TREES TO THE BEST OF ABILITY.
6. CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 678.242.2543 TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY DISTURBANCE.

LANDSCAPE NOTES:

7. CONTRACTOR'S SCOPE: PREPARE PLANTING AREAS BY CLEARING AND GRUBBING ANY PRESENT UNDERBRUSH OR PASTURE GRASSES. DELIVER PLANT MATERIALS TO THE SITE AFTER SUBSTANTIAL COMPLETION HAS BEEN ACHIEVED. PLANT INSTALLS WILL OCCUR BY VOLUNTEER LABOR.
8. THE CONTRACTOR IS TO PROCURE PLANTS IN COORDINATION WITH THE OWNER'S REPRESENTATIVE.
9. ANY PLANT SUBSTITUTIONS ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING. CULTIVARS OF NATIVE PLANTS WILL BE ACCEPTABLE BUT APPROVED BY THE OWNER'S REPRESENTATIVE.
10. PROVIDE THE OWNER QUOTES ON PLANTS TO ENSURE A QUANTITY OF PLANTS MEETS THE AVAILABLE ALLOWANCE.

POND

3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

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DPR SEAL



CLIENT INFORMATION



PROJECT NAME

NEW RIVERLANDS

8661 CAMPBELLTON
REDWINE RD,
CHATTAHOOCHEE
HILLS, GA
30268

DRAWING ISSUE

05/12/2023
DATE

PERMIT SET
DESCRIPTION

0
MARK

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SUBMITTED BY:
DATE: 2023-05-11
PROJECT # 1220570

SHEET TITLE

LANDSCAPE PLAN

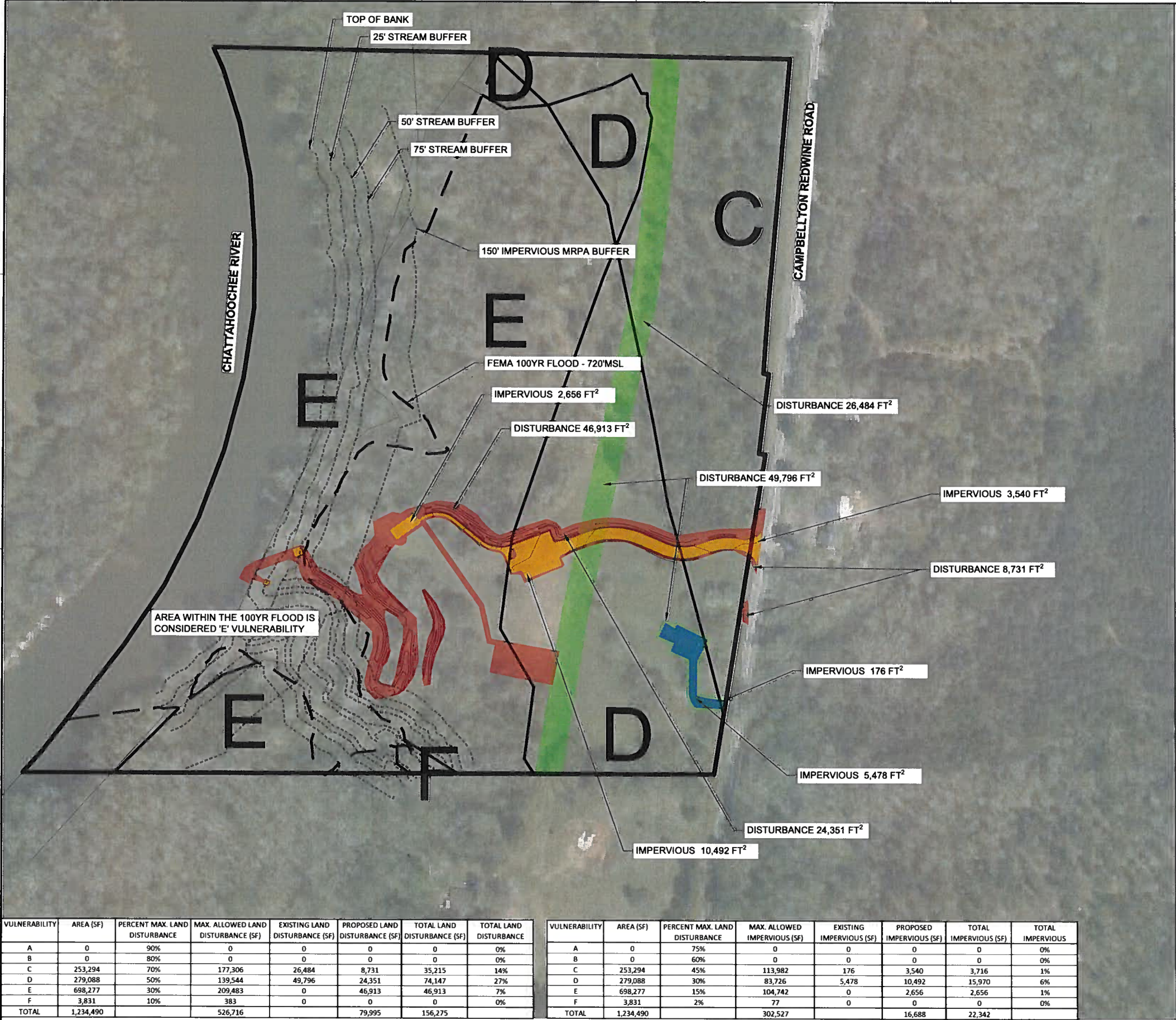
SHEET NUMBER

LS101

ORIGINAL SHEET SIZE:
22" X 34"

PROJECT SUBMITTAL STAGE

FILE PATH: \\ACP3SERVER\POND\COMRESOURCES\PROJECTS\FY22\122057004 CAD_BIM\04.02 CAD\04_NEW RIVERLANDS\MRPA-J PLOTTED BY: BONNO, ANDRES DATE: 10/21/17



VULNERABILITY	AREA (SF)	PERCENT MAX. LAND DISTURBANCE	MAX. ALLOWED LAND DISTURBANCE (SF)	EXISTING LAND DISTURBANCE (SF)	PROPOSED LAND DISTURBANCE (SF)	TOTAL LAND DISTURBANCE (SF)	TOTAL LAND DISTURBANCE
A	0	90%	0	0	0	0	0%
B	0	80%	0	0	0	0	0%
C	253,294	70%	177,306	26,484	8,731	35,215	14%
D	279,088	50%	139,544	49,796	24,351	74,147	27%
E	698,277	30%	209,483	0	46,913	46,913	7%
F	3,831	10%	383	0	0	0	0%
TOTAL	1,234,490		526,716		79,995	156,275	

VULNERABILITY	AREA (SF)	PERCENT MAX. LAND DISTURBANCE	MAX. ALLOWED IMPERVIOUS (SF)	EXISTING IMPERVIOUS (SF)	PROPOSED IMPERVIOUS (SF)	TOTAL IMPERVIOUS (SF)	TOTAL IMPERVIOUS
A	0	75%	0	0	0	0	0%
B	0	60%	0	0	0	0	0%
C	253,294	45%	113,982	176	3,540	3,716	1%
D	279,088	30%	83,726	5,478	10,492	15,970	6%
E	698,277	15%	104,742	0	2,656	2,656	1%
F	3,831	2%	77	0	0	0	0%
TOTAL	1,234,490		302,527		16,688	22,342	

M2 PROPOSED CONDITIONS MRPA
SCALE: 1" = 100'



GENERAL SHEET NOTES

- PROJECT ADDRESS
8661 CAMPBELLTON REDWINE ROAD
CHATTAHOOCHEE HILLS, GA 30268
- PROJECT INFORMATION
PARCEL: 08 360001570374
TAX DISTRICT: 65
PROPERTY CLASS: EXEMPT/PUBLIC
LAND LOT: 157; DIST 8
ZONING DISTRICT: RL (RURAL)
- PROJECT SITE
TOTAL ACREAGE: 28.34 AC
TOTAL DISTURBED: 1.83 AC
- OWNER INFORMATION
CITY OF CHATTAHOOCHEE HILLS
6505 RICO ROAD CHATTAHOOCHEE HILLS, GA 30268
770-463-8881
DAROLD.WENDLANDT@CHATTHILLSGA.US

SHEET LEGEND

- EXISTING IMPERVIOUS
- EXISTING DISTURBED
- PROPOSED IMPERVIOUS
- PROPOSED DISTURBED

POND

3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

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DPR SEAL

CLIENT INFORMATION

TRUST FOR PUBLIC LAND
Chattoohoe Hills

PROJECT NAME

NEW RIVERLANDS

8661 CAMPBELLTON REDWINE RD,
CHATTAHOOCHEE HILLS, GA 30268

DRAWING ISSUE

06/26/2023
DATE

PERMIT SET DESCRIPTION

0
MARK

DESIGNED BY: AQB
DRAWN BY: AQB
CHECKED BY: BJ / JBB / EM
SUBMITTED BY: BJ
DATE: 2023-07-06
PROJECT # 1220570

SHEET TITLE

VULNERABILITY CATEGORIES - PROPOSED CONDITIONS

SHEET NUMBER

MRPA

ORIGINAL SHEET SIZE: 22" X 34"

811 Know what's below.
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Dial 811
Or Call 800-282-7411