

DATE: MAY 26, 2023

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Helen Owens, Zoning Administrator, City of Sandy Springs
FROM: Mike Alexander, Director, ARC Center for Livable Communities

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC-23-01SS 6390 Black Water Trail NW
MRPA Code: RC-23-01SS

Description: A Metropolitan River Protection Act review of a project to construct a new swimming pool on a .522 acre (22,716 SF) site wholly within the Chattahoochee River Corridor at 6390 Black Water Trail NW in the city of Sandy Springs. The project will include a new pool and deck area. The proposed disturbed area of 12,759 SF and impervious area of 7,189 SF are within allowed limits.

Preliminary Finding: ARC staff have initiated a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs

Date Opened: May 26, 2023

Deadline for Comments: June 5, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF ROSWELL

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF ATLANTA

CHATTAHOOCHEE RIVERKEEPER
COBB COUNTY

For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before 2023-06-05 00:00:00, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** Sandy Springs

2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Adrian Davis
Mailing Address: 6390 Black Water Trail NW
City: Sandy Springs **State:** GA **Zip:** 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: _____ **Fax:** _____
Other Numbers: _____

3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Emily Sidner
Mailing Address: 211 Frasier St.
City: Marietta **State:** GA **Zip:** 30060
Contact Phone Numbers (w/Area Code):
Daytime Phone: 678-324-8410 **Fax:** _____
Other Numbers: emily@crescentvieweng.com

4. **Proposed Land or Water Use:**
Name of Development: 6390 Black Water Trail Pool Addition
Description of Proposed Use: Construction of a new pool to existing single family
home

5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: Land lot 130, District 17, Sandy Springs,
Fulton County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: North Harbor,
Lot 35, Block A, 6390 Black Water Trail NW
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** .522
Outside Corridor: _____
Total: .522 (.085 disturbed)
Lots: **Inside Corridor:** 1
Outside Corridor: _____
Total: 1
Units: **Inside Corridor:** 1
Outside Corridor: _____
Total: 1
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system Yes _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)	(75)
B	19025	12095	7116	(80) 63.4	(60) 37.4
C	_____	_____	_____	(70)	(45)
D	3691	664	73	(50) 17.9	(30) 1.9
E	_____	_____	_____	(30)	(15)
F	_____	_____	_____	(10)	(2)
Total:	22716	12759	7189	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- X Written consent of all owners to this application. (Space provided on this form)
- X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- X Description of proposed use(s). (Space provided on this form)
- X Existing vegetation plan.
- X Proposed grading plan.
- X Certified as-builts of all existing land disturbance and impervious surfaces.
- X Approved erosion control plan.
- X Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☐ Documentation on adjustments, if any.

☐ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.

☐ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Adrian Davis

4/10/2023

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

edl

3/14/23

Signature(s) of Applicant(s) or Agent(s)

Date

The City of Sandy Springs

14. The governing authority of _____ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Helen Owens

04/25/2023

Signature of Chief Elected Official or Official's Designee

Date

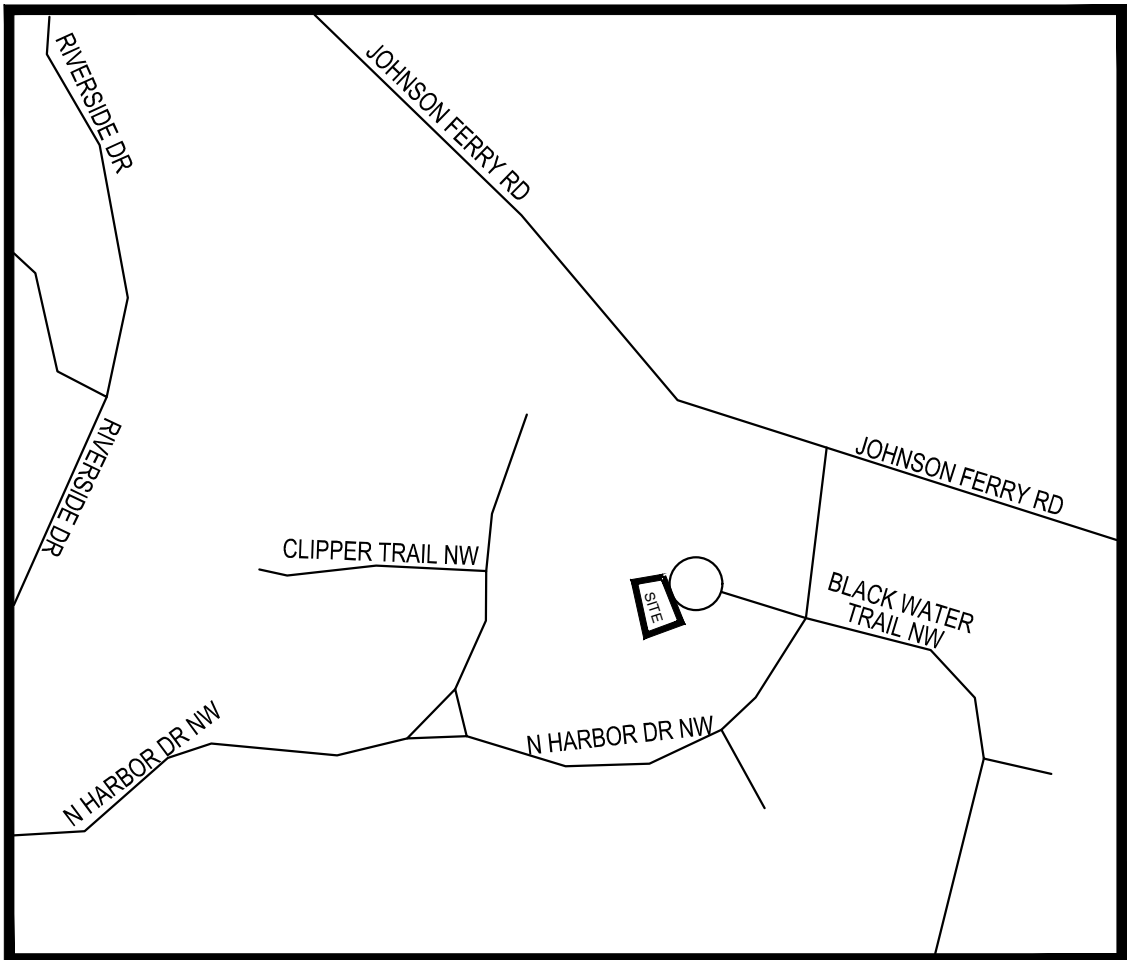
SITE NOTES:

1. THE SITE CONTAINS: 0.522 ACRES / 22,716 SF
TOTAL DISTURBED ACREAGE: 0.085 ACRES / 3,685 SF

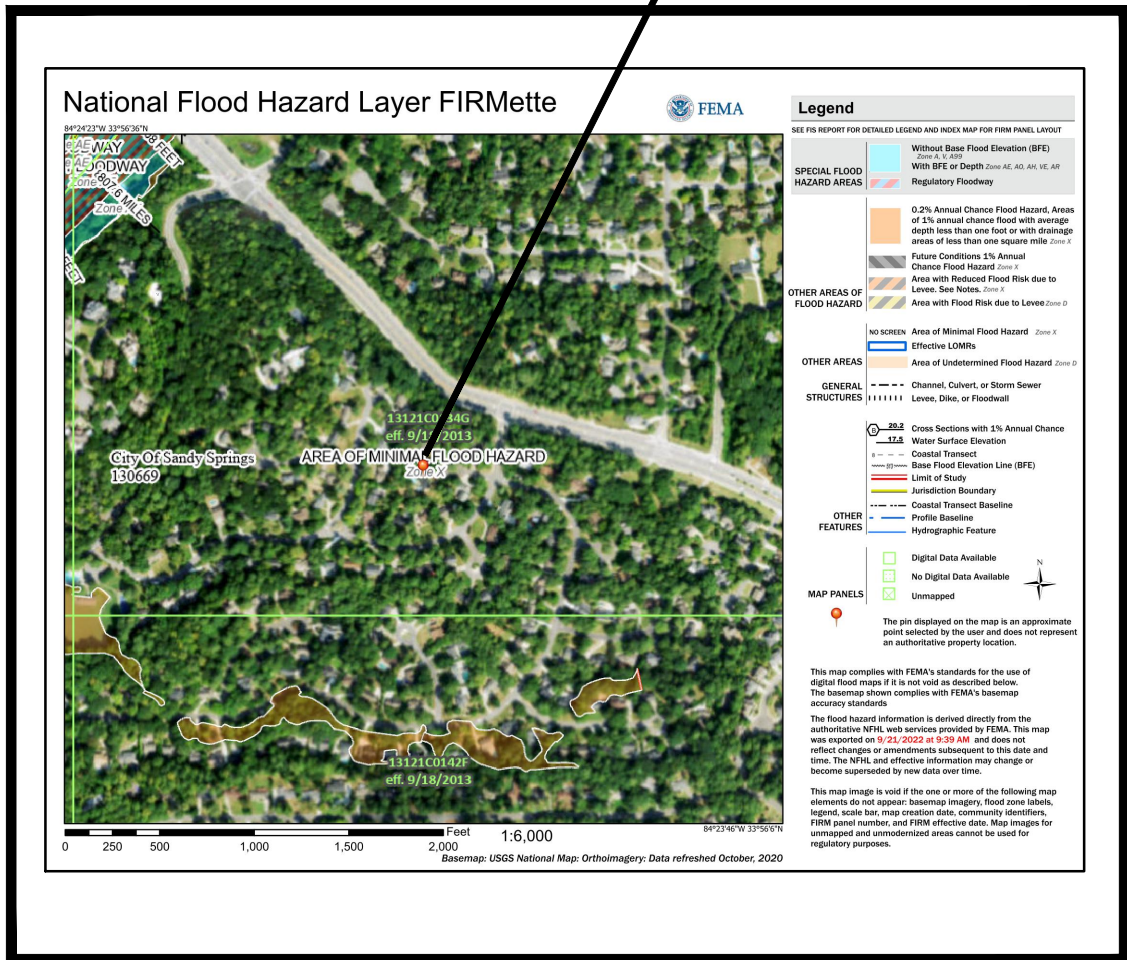
STREET ADDRESS: 6390 BLACKWATER TRAIL NW, SANDY SPRINGS, GA 30328

ZONING: RD-18 (RESIDENTIAL DETACHED)
MINIMUM LOT AREA = 18,000 SQ. FT
MINIMUM LOT WIDTH = 100 FT.
MINIMUM CANOPY COVERAGE = 35%
MINIMUM FRONT SETBACK = 50 FT.
MINIMUM SIDE STREET = 20 FT
MINIMUM REAR COMMON LOT LINE = 35 FT.
MAXIMUM BUILDING HEIGHT = 3 STORIES/ 40 FT MAX (PRINCIPAL DWELLING)
MINIMUM PARKING REQUIREMENTS: 2 PER PRINCIPAL DWELLING UNIT
MAXIMUM LOT COVERAGE = 35%

2. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY SURVEY LAND EXPRESS, INC. DATED 7-28-22.
3. THIS SITE IS NOT LOCATED WITHIN A SPECIAL HAZARD FLOOD ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0134G DATED SEPTEMBER 18, 2013 FOR UNINCORPORATED FULTON COUNTY, GEORGIA.
4. THE HOUSE FOOTPRINT IS EXISTING AND REPRESENT THE OUTSIDE EDGE OF THE VENEER. THE FOOTPRINT DOES NOT REPRESENT THE ROOF GUTTER LINE OR THE OUTSIDE EDGE OF THE FOOTINGS.
5. THESE DRAWINGS AND THEIR REPRODUCTIONS ARE THE PROPERTY OF THE ENGINEER, AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS ENGINEER.
6. THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON LAYOUT BY A REGISTERED LAND SURVEYOR THAT WILL ENSURE THE STRUCTURE IS BUILT WITHIN THE SETBACK LINES.
7. THIS PLAN DOES NOT CONSTITUTE AN APPROVAL OF A RETAINING WALL DESIGN. ANY FUTURE RETAINING WALL DESIGN TO BE SUBMITTED BY OWNER / CONTRACTOR.
8. AFTER THE PERMIT IS ISSUED, CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT AT PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION.
9. IF THE RESIDENCE IS CONSTRUCTED CLOSER THAN 20 FEET TO ANOTHER RESIDENTIAL STRUCTURE OR OTHER OUTBUILDING LARGER THAN 300 SF, AUTOMATIC SPRINKLERS SHALL BE REQUIRED IN THE KITCHEN AND FUEL FIRED EQUIPMENT ROOM PURSUANT TO THE CITY OF SANDY SPRINGS FIRE ORDNANCE 2006-11-86: CHAPTER 15 HEALTH AND PUBLIC SAFETY, EFFECTIVE NOVEMBER 8, 2006.
10. OWNER TO EXECUTE AN AGREEMENT FROM CITY OF SANDY SPRINGS COMMUNITY DEVELOPMENT 10. BEFORE ANY DECK STRUCTURES CAN BE BUILT IN ANY PRIVATE EASEMENTS.
11. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
12. NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS. THE HOUSE ONSITE IS EXISTING AND WAS CONSTRUCTED OF MATERIALS CONSISTING OF BRICK, ROCK, WOOD.
13. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
15. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
16. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.



LOCATION MAP
N.T.S.



FEMA MAP
N.T.S.

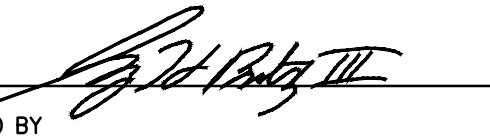
STORMWATER REQUIREMENTS:

1. ARC APPROVAL, IF REQUIRED. N/A
2. LOCATION OF ANY CITY OF SANDY SPRINGS TRIBUTARY BUFFERS, OR STATE WATER BUFFERS, IF APPLICABLE. SEE SHEET C-3
3. IF LAND DISTURBANCE IS 1,000 SQUARE FEET OR GREATER, PROVIDE STORMWATER MANAGEMENT FACILITIES THAT WILL PROVIDE STORMWATER STORAGE FOR 1.2 INCHES OF RUNOFF FROM ALL IMPERVIOUS SURFACES WITHIN THE SITE, CONFIGURE FACILITY SO THAT THE DESIGNED DISCHARGE DURATION OF THE WOV EXCEEDS 24 HOURS. VOIDS WITHIN STONE INFILTRATION TRENCHES OR SIMILAR SHALL BE CONSIDERED TO BE 40% OF STONE VOLUME. SHOW ON SITE PLAN THE LAYOUT AND DETAILS OF THE STORMWATER MANAGEMENT FACILITIES. PROVIDE SUPPORTING CALCULATIONS SEE SHEET C-3
4. WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT. SEE SHEET C-3
5. PROVIDE CALCULATIONS FOR WATER QUALITY. SEE SHEET C-3
6. PROVIDE TEST DATA TO INSURE THAT THE SOIL UNDERNEATH ALL WATER QUALITY DEVICES USING INFILTRATION HAS A MINIMUM 0.5 INCHES PER HOUR INFILTRATION RATE. TEST IN PROGRESS
7. INFILTRATION TYPE BMPs SHOULD BE A MINIMUM OF 10 FEET AWAY FROM PROPERTY LINES AND/OR FOUNDATIONS AND A MINIMUM OF 20 FEET AWAY FROM SEPTIC SYSTEMS, SUBJECT TO FULTON COUNTY HEALTH DEPARTMENT APPROVAL. SEE SHEET C-3
8. THE MODIFIED TAFT METHOD IS NOT ACCEPTABLE TO DETERMINE INFILTRATION RATES. A PERCOLATION TEST MAY BE USED TO OBTAIN INFILTRATION RATES PROVIDED IT IS PERFORMED USING THE "PORCHET METHOD". SEE SHEET C-3
9. PROVIDE A GPS (GEORGIA STATE PLANE ZONE WEST) COORDINATE FOR EACH WATER QUALITY BMP ON THE SITE PLAN. SEE SHEET C-3

CONSTRUCTION NARRATIVE:

THE PROPOSED PLAN CALLS FOR THE CONSTRUCTION OF A NEW POOL TO AN EXISTING SINGLE FAMILY HOUSE CONFORMING ZONING RD-18. ALL BMP'S ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

"I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION"

CERTIFIED BY 

03-13-23
DATE

24 HOUR EMERGENCY CONTACT: ASHLEY BARTON 404-863-2450

CITY OF SANDY SPRINGS POOL ADDITION CONSTRUCTION DOCUMENTS FOR:

6390 BLACK WATER TRAIL NW

LAND LOT 130 DISTRICT 17

CITY OF SANDY SPRINGS, FULTON COUNTY, GEORGIA

PLAN REQUIREMENTS:

1. MAXIMUM SHEET SIZE SHALL BE 36" x 48" (24" x 36" PREFERRED) (ALL LETTERING SHALL BE READABLE).
2. PROJECT NAME AND ADDRESS, SUBDIVISION NAME AND LOT NUMBER (IF APPLICABLE), LAND LOT, DISTRICT, AND ZONING.
6390 BLACK WATER TRAIL NW, SANDY SPRINGS, GA 30328, LAND LOT 130, 17TH DISTRICT, ZONING RD-18
3. OWNER'S NAME AND COMPLETE ADDRESS INCLUDING ZIP CODE.
ASHLEY BARTON, 6390 BLACK WATER TRAIL NW, SANDY SPRINGS, GA 30328
4. NAME, TELEPHONE NUMBER, AND GSWCC LEVEL 1A CERTIFICATION NUMBER OF A 24-HOUR CONTACT.
ASHLEY BARTON 404-863-2450, CERTIFICATION NUMBER 0000088211
5. DESIGN FIRM NAME/ADDRESS/PHONE, POINT OF CONTACT AND CONTACT PHONE NUMBER.
CRESCENT VIEW ENGINEERING, 211 FRASIER STREET S.E., MARIETTA, GA 30060, 678-324-8410
6. NORTH ARROW, SITE ACREAGE, AND SCALE OF DRAWING (1"=10 to 1"=50').
NORTH ARROW SHOWN ON THIS PAGE, SITE ACREAGE IS 0.522 ACRES, SCALE IS 1" = 20'
7. BOUNDARY INFORMATION INCLUDING BEARINGS AND DISTANCES ALONG ALL PROPERTY LINES AND A LOCATION SKETCH.
SHOWN ON SURVEY PER SURVEYOR
8. STREET NAME.
BLACK WATER TRAIL
9. LOT BUILDING SETBACK LINES (PER SANDY SPRINGS ZONING ORDINANCE) LABELED WITH DIMENSIONS TO LOT LINES.
ALL SETBACKS ARE SHOWN ON THIS PLAN PER SANDY SPRINGS RD-18 ZONING
10. NAMES OF ADJOINER'S AND RESPECTIVE ZONINGS.
NAMES OF THE ADJOINERS ALONG WITH RESPECTIVE ZONING IS SHOWN ON SHEET C-1 OF THESE PLANS.
11. LOCATIONS OF ALL EXISTING STRUCTURES (INCLUDING HOUSES, BARNs, SHEDS, LANDSCAPE AND RETAINING WALLS, SANITARY AND STORM DRAINAGE LINES AND STRUCTURES, WATER LINES, NEAREST FIRE HYDRANT, DETENTION PONDS AND STRUCTURES, SEPTIC TANKS AND LINES, POOLS, FENCES, ETC.) WITH DISTANCES TO LOT LINES FOR ALL ABOVE GROUND STRUCTURES.
ALL EXISTING DISTANCES ARE SHOWN ON THE SURVEY (S-1) AND ALL PROPOSED DISTANCES ARE SHOWN ON C-1
12. PROVIDE EXISTING TOPOGRAPHY INCLUDING APPROPRIATE TREES, ALL EXISTING PIPES WITH THEIR APPROPRIATE EASEMENTS. PROVIDE SOURCE.
EXISTING TOPOGRAPHY AND ALL TREES SHOWN ON SURVEY (S-1). ALL KNOWN PIPES ARE SHOWN ON PLAN C-1.
13. LOCATIONS OF ALL PROPOSED STRUCTURES (INCLUDING HOUSES, WALLS, SANITARY, AND STORM DRAINAGE LINES AND STRUCTURES, SEPTIC TANKS AND LINES, POOLS, FENCES, ETC.). SIZE AND TYPE OF CONSTRUCTION SHOULD BE CALLED OUT ON THE PLAN WITH DISTANCES TO LOT LINES FOR ALL ABOVE GROUND STRUCTURES.
ALL PROPOSED DRAWING STRUCTURES ARE SHOWN ON SHEET C-1
14. HEIGHT OF PROPOSED BUILDINGS AND SQUARE FOOTAGE OF EXISTING AND PROPOSED DWELLING (THE DWELLING MUST MEET THE MINIMUM REQUIREMENTS FOR THE PARCEL'S ZONING DISTRICT).
HOUSE IS EXISTING, NO PROPOSED HOUSE AS A PART OF THIS PLAN.
15. LOCATION OF ZONING BUFFERS, ACCESS EASEMENTS, SEWER EASEMENTS, AND DRAINAGE EASEMENTS, ETC.
APPLICABLE EXISTING AND PROPOSED EASEMENTS AND BUFFERS SHOWN ON SHEET C-1 RESPECTIVELY.
16. LOCATION OF DRIVEWAY (EXISTING AND PROPOSED) AND THE PROPOSED CONSTRUCTION ENTRANCE. DIMENSION FROM ANY IMPROVEMENTS OR THE PROPERTY CORNER. PROPOSED DRIVEWAY APRON(S) MUST BE A MINIMUM OF 10 FEET FROM A CATCH BASIN FIRE HYDRANT, AND THE LOT LINE. DRIVEWAY APRON(S) MUST ALSO BE A MINIMUM OF 25 FEET FROM THE RADIUS RETURN ON CORNER LOTS.
EXISTING DRIVEWAY TO REMAIN SHOWN ON SHEET C-1.
17. FLOOD PLAIN NOTE AND FLOOD INSURANCE RATE MAP (F.I.R.M) PANEL NUMBER AND EFFECTIVE DATE:
THIS SITE IS NOT LOCATED WITHIN A SPECIAL HAZARD FLOOD ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0134 G DATED SEPTEMBER 18, 2013 FOR UNINCORPORATED FULTON COUNTY, GEORGIA.

IF PROPERTY IS NOT LOCATED IN A FLOOD ZONE AS DETERMINED BY FEMA, A CERTIFICATE OF ELEVATION WILL BE REQUIRED.

PLAN MUST STATE EXISTING AND MINIMUM PROPOSED FINISHED FLOOR ELEVATIONS FOR THE MAIN FLOOR, BASEMENT, AND GARAGE. ELEVATIONS MUST BE AT LEAST 3 FEET ABOVE THE 100-YEAR ELEVATION. THE HOUSE MUST BE AT LEAST 10 FEET (HORIZONTALLY) AWAY FROM THE 100-YEAR LIMIT.

18. PROVIDE A COMPLETE GRADING PLAN SHOWING PROPOSED CONTOURS, PIPES, RETAINING WALLS, ETC.
SEE SHEET C-1 FOR ALL PROPOSED GRADING AND STRUCTURES.
19. IF THE SITE INCLUDES A STORMWATER DETENTION POND OR A NORMALLY WET POND OR LAKE, SUBMITTAL OF A CERTIFICATE OF ELEVATION WILL BE REQUIRED.
N/A
20. RETAINING WALLS OVER FOUR FEET IN HEIGHT REQUIRE A SEPARATE RETAINING WALL PERMIT IN ACCORDANCE WITH THE CITY OF SANDY SPRINGS' DEVELOPMENT REGULATIONS SECTION 103-27(D) AND SECTION 103-107.
SEE SHEET C-1
21. DRIVEWAY ENTRANCE TO BE IN ACCORDANCE WITH FULTON COUNTY STANDARD DETAIL 304.
EXISTING DRIVEWAY TO REMAIN.
22. IF THIS PROPERTY IS IN THE CITY OF SANDY SPRINGS' SIDEWALK NETWORK, PROVIDE A FIVE FOOT SIDEWALK WITH A TWO FOOT GROSS STRIP BETWEEN SIDEWALK AND CURB. PROVIDE CURB AND GUTTER IF NONE EXISTS, OR IF THE EXISTING CURB HEIGHT IF LESS THAN FIVE INCHES.
N/A
23. TWO DRIVEWAY ENTRANCES ARE ALLOWED ONLY ON SINGLE FAMILY RESIDENTIAL LOTS THAT FRONT ON LOCAL STREETS. THE DRIVEWAYS WILL REQUIRE SIGHT DISTANCE CERTIFICATION IN ACCORDANCE WITH THE CITY OF SANDY SPRINGS' DEVELOPMENT REGULATIONS SECTION 103-77(F).
N/A

UTILITY AND OTHER STRUCTURES REQUIREMENTS:

1. PROVIDE LOCATION OF EXISTING SANITARY SEWER LATERAL AND NOTE THAT IT IS TO BE RE-USED. IF A CLEANOUT DOES NOT EXIST IN ACCORDANCE WITH FULTON COUNTY STANDARD DRAWING NUMBER 711, SHOW ON PLAN WHERE ONE IS REQUIRED.
SEE SHEET C-1
2. PROVIDE SANITARY SEWER LINE FROM CLEANOUT TO HOUSE.
SEE SHEET C-1
3. PROVIDE LOCATION OF EXISTING WATER METER AND NOTE THAT IT IS TO BE RE-USED.
SEE SHEET C-1
4. PROVIDE WATER LINE FROM CLEANOUT TO HOUSE.
SEE SHEET C-1
5. IF A POOL IS PROPOSED, THE LOCATION OF THE POOL MUST BE SHOWN ON THE PLAN. PROVIDE DIMENSIONS RELATING THE POOL TO THE HOUSE, OTHER STRUCTURES, AND THE PROPERTY LINES. (NOTE: A POOL PERMIT WILL BE REQUIRED PRIOR TO SFSP APPROVAL. SEE POOL PERMIT CHECKLIST.).
SEE SHEET C-1
6. IF INSTALLATION OF A SEPTIC SYSTEM IS PROPOSED OR REQUIRED (INCLUDING REPLACEMENTS), THE LOCATION OF THE SYSTEM MUST BE SHOWN ON THE PLAN EXACTLY THE SAME AS THE APPROVED PLANS BY THE FULTON COUNTY HEALTH DEPARTMENT. PROVIDE DIMENSIONS RELATING THE SEPTIC TANK, FIELD LINES, DOSING TANKS (IF APPLICABLE), ETC. TO THE HOUSE, OTHER STRUCTURES AND THE PROPERTY LINES.
N/A
7. HEIGHTS OF ALL RETAINING WALLS WITH SPOT ELEVATIONS ALONG WALL AT TOP AND BOTTOM. WALL HEIGHTS BETWEEN 4 AND 6 FEET WILL REQUIRE AN EXECUTED OWNER CERTIFICATION / INDEMNIFICATION FOR RETAINING WALLS. FOR WALL HEIGHTS 6 FEET AND OVER, PLANS MUST BEAR A STATE OF GEORGIA PROFESSIONAL ENGINEER SEAL SIGNED AND DATED, AND AN EXECUTED ENGINEER CERTIFICATION / INDEMNIFICATION FOR RETAINING WALLS.
N/A NO PROPOSED RETAINING WALLS
8. IF A FENCE IS PROPOSED, THE LOCATION OF THE FENCE MUST BE SHOWN ON THE PLAN. PROVIDE DIMENSIONS RELATING THE FENCE TO THE HOUSE, OTHER STRUCTURES, AND THE PROPERTY LINES. (NOTE: A FENCE PERMIT MAY BE REQUIRED PRIOR TO SFSP APPROVAL).
N/A NO PROPOSED RETAINING WALLS

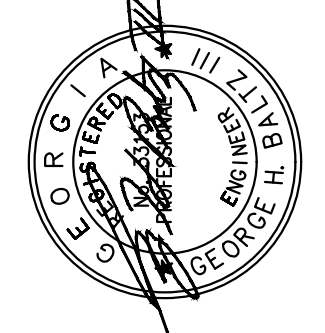
TREES REQUIREMENTS:

SEE EX TREE LOCATIONS IN RELATION TO DISTURBED AREA ON SHEET C-4.

PPREPARED FOR:

GEORGIA CLASSIC POOLS
12540 BROADWELL ROAD, SUITE 2201
MILTON, GEORGIA, 30004

COVER



CONSTRUCTION PLANS FOR:

6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTONCOUNTY, GEORGIA

CVE PI # 22-621

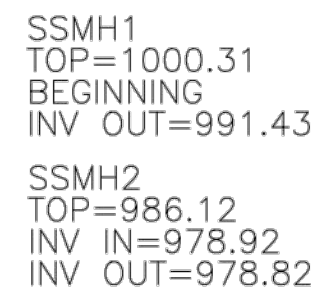
SHEET NO.
CV



I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID 1312C0144F EFFECTIVE DATE: 09/18/2013 ZONE: X

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT
RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS
OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY
PUBLIC OR PRIVATE.

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD ELEVATION INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.



BEARING SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM
OF 1983, GA WEST ZONE 1002
ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN
VERTICAL DATUM OF 1988

1. STORM SEWER, SATIARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON RECORDS, FIELD SURVEYING DATA AND PHOTOGRAPHS FROM THE AREA. THEREFORE, THE LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN TO UNCOVER UTILITY LINES, THE PERSONS SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS TO BE RECORDED HEREIN IN ORDER TO IDENTIFY THE PROPERTY INTERESTS INVOLVED IN THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS OF WAY PUBLIC OR PRIVATE.

3. SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SEARCH FOR EASEMENTS OR RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, EASEMENTS, EJECTMENT ACTIONS, EJECTMENT ACTIONS, EJECTMENT ACTIONS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

4. SURVEYOR HAS NO CLAIM ABOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO MAKE SURE THAT THE INFORMATION IS AVAILABLE COMPANY FOR FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE PROPERTIES. THE INFORMATION OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE, THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

BEFORE DEVELOPMENT OF THIS PROPERTY
DEVELOPER AND ARCHITECT TO CONFIRM
ZONING DISTRICT,PER ZONING DEPARTMENT.


















BUILDING SETBACK
FRONT: 50.0'
SIDE: 10.0'
REAR: 35.0'
MAX. LOT COVERAGE 35%
MAX. BUILDING HEIGHT 40'



APP	AS PER PLANT	IV	IRRIGATION VALVE
APD	AS PER DEED	IVM	IRRIGATION METER
APF	AS PER FENCE	JB	JUNCTION BOX
APL	AS PER IRON FOUND	LL	LAND LOT LINE
APZ	AS PER ZONING	MAG	MAGNETIC READING IP
BB	BOTTOM BANK	MGN	MAGNOLIA TREE
BC	BACK OF CURB	MH	MH HOLE
BLK	BLACK	MTF	METAL FENCE
BLKS	BUILDING SETBACK LINE	N	N'BORS
BRICK	BRICK	OTP	OVERHANG
BRK	BRK BASEMENT	OP	OPEN TOP PIPE FOUND
CBX	CABLE BOX	P	PL
CBL	CABLE LINE	PC	PLAT
C	CONCRETE	PC	PROPERTY CORNER
CB	CATCH BASIN	PL	PROPERTY LINE
CLF	CHAIN LINK FENCE	PN	PINE TREE
C	CORRATED METAL PIPE	POB	POINT OF BEGINNING
C.O.A	CITY OF ATLANTA	POC	POINT OF COMMENCING
C	CAN SEWER CLEAN OUT	PP	POWER POLE
CM	CEMENT	R	RECORD
CWML	CWML	PVC	POLYVINYL CHLORIDE PIPE
CP	CALCULATED POINT	RB	REINFORCING BAR SET
CPT	CARPOT	RBS	REINFORCING BAR
(D)	DEED	RCP	REINFORCED CONC. PIPE
DE	DRAINAGE EASEMENT	R/W	RIGHT-OF-WAY
DI	DRAINAGE INLET	S	SIGN
EB	ELECTRIC POWER BOX	SSL	SANITARY SEWER EASEMENT
EL	ELECTRIC METER	SSE	SANITARY SEWER EASEMENT
EP	EDGE OF PAVEMENT	SP	SPORENOED PORCH
F	FIELD	SW	SIDEWALK
FC	FENCE CORNER	TB	TOP OF BANK
FI	FIRE HYDRANT	UE	UTILITY EASEMENT
FR	FRAME	WD	WOOD
GL	GLASS LINE	WDF	WOOD FENCE
GM	GAS METER	WDK	WOOD DECK
GV	GAS VALVE	WL	WATER LINE
GW	GUY WIRE	WM	WATER METER
HDW	HEAD WALL	WRF	WIRE FENCE
HW	HARDWOOD TREE	WV	WATER VALVE
IP	IRON PIN	WW	WEATHER
IPF	IRON PIN FOUND	W/	WITH/
IPS	IRON PIN SET	YI	YARD INLET
ROD	IRON ROD FOUND		

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY USED AS A SEPARATE DOCUMENT BY ITS OWNERS FOR ALL DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

INDICATES GAS LINE
SS SS SS
INDICATES SANITARY SEWER LINE
P P P
INDICATES POWER LINE
W W W
INDICATES WATER LINE
X X X
INDICATES FENCE LINE
= = =
INDICATES DRAINAGE LINE
— — —
BURIED POWER/CABLE LINE

-  ELECTRIC PANEL/METER
-  WATER METER
-  AIR CONDITIONER
-  GAS METER
-  JUNCTION BOX
-  SANITARY SEWER MANHOLE
-  STORM MANHOLE
-  TRAFFIC/INFO SIGN
-  GAS MARKER
-  LAMP POST
-  METAL POST
-  WATER VALVE
-  HEADWALL
-  STAIRS
-  DRAINAGE INLET
-  FIRE HYDRANT
-  R/W MONUMENT

EXISTING LOT COVERAGE
6701.09 SF / 0.154 AC / 29.5%

LOT 35	BLOCK A	
NORTH HARBOR SUBDIVISION	UNIT ONE	
LAND LOT 130	17TH DISTRICT	SECTION
FULTON COUNTY, GEORGIA	DB.57528/PG.355	PB.94/PG.79
FIELD WORK DATE JULY 25, 2022	PRINTED/SIGNED JULY 28, 2022	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 17" x 22"

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

EXISTING CONDITIONS SURVEY PREPARED FOR: *SHEET 1 OF 1*

ADRIAN DAVIS

PROPERTY ADDRESS:
6390 BLACK WATER TRAIL N
SANDY SPRINGS, GA 30328



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION
OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY
WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

DEMOLITION NOTES:

1. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.
2. CONTRACTOR SHALL IMMEDIATELY CONTACT OWNERS REPRESENTATIVE AND ENGINEER IF ANY DISCREPANCIES OR CONFLICTS ARE ENCOUNTERED.
3. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY STATED BY OWNER.
4. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. CONTRACTOR SHALL MAINTAIN THESE TRAFFIC CONTROL AND SAFETY METHODS THROUGHOUT CONSTRUCTION OF THIS PROJECT.
6. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
7. FOR ALL ITEMS NOTED TO BE REMOVED – REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.
8. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS AND INSTRUCTIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
9. DEMOLITION AND SITE PLANS HAVE BEEN PREPARED TO IDENTIFY MAJOR DEMOLITION ITEMS. CONTRACTOR TO PERFORM SITE VISIT PRIOR TO PRICING TO IDENTIFY ALL DEMOLITION ITEMS AS WELL AS IDENTIFYING ITEMS TO SALVAGE FOR OWNER.
10. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES & ITEMS TO REMAIN.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION ACTIVITIES DAMAGE TO EXISTING STRUCTURE DURING CONSTRUCTION.
12. CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.

AFTER THE PERMIT IS ISSUED, CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT AT 770-730-5650 TO SCHEDULE A PRE-CONSTRUCTION MEETING AND CONTACT PER PORTAL WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION OR DEMOLITION

GENERAL DEMOLITION SCOPE:

BE ADVISED THIS IS NOT AN EXHAUSTIVE LIST OF DEMOLITION ITEMS. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND THE COMPLETE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. ANY QUESTIONS, CONCERNS, OR IDEAS CONCERNING THE INTENT OR EXECUTION OF THE DESIGN DOCUMENTS MUST BE BROUGHT TO THE OWNER BEFORE PERFORMING ANY CONSTRUCTION ACTIVITY.

- ① REMOVE EXISTING POOL
- ② REMOVE EXISTING POOL DECK
- ③ REMOVE BRICK PATIO
- ④ REMOVE EXISTING GRAVEL

REMOVAL OF DEBRIS OR ITEMS OUTSIDE OF LIMITS OF DISTURBANCE TO BE REMOVED BY HAND OR HAND MACHINERY. REMOVAL WORK IN AREA OF CRITICAL ROOT ZONE OF EXISTING TREES TO BE DONE BY HAND OR HAND MACHINERY

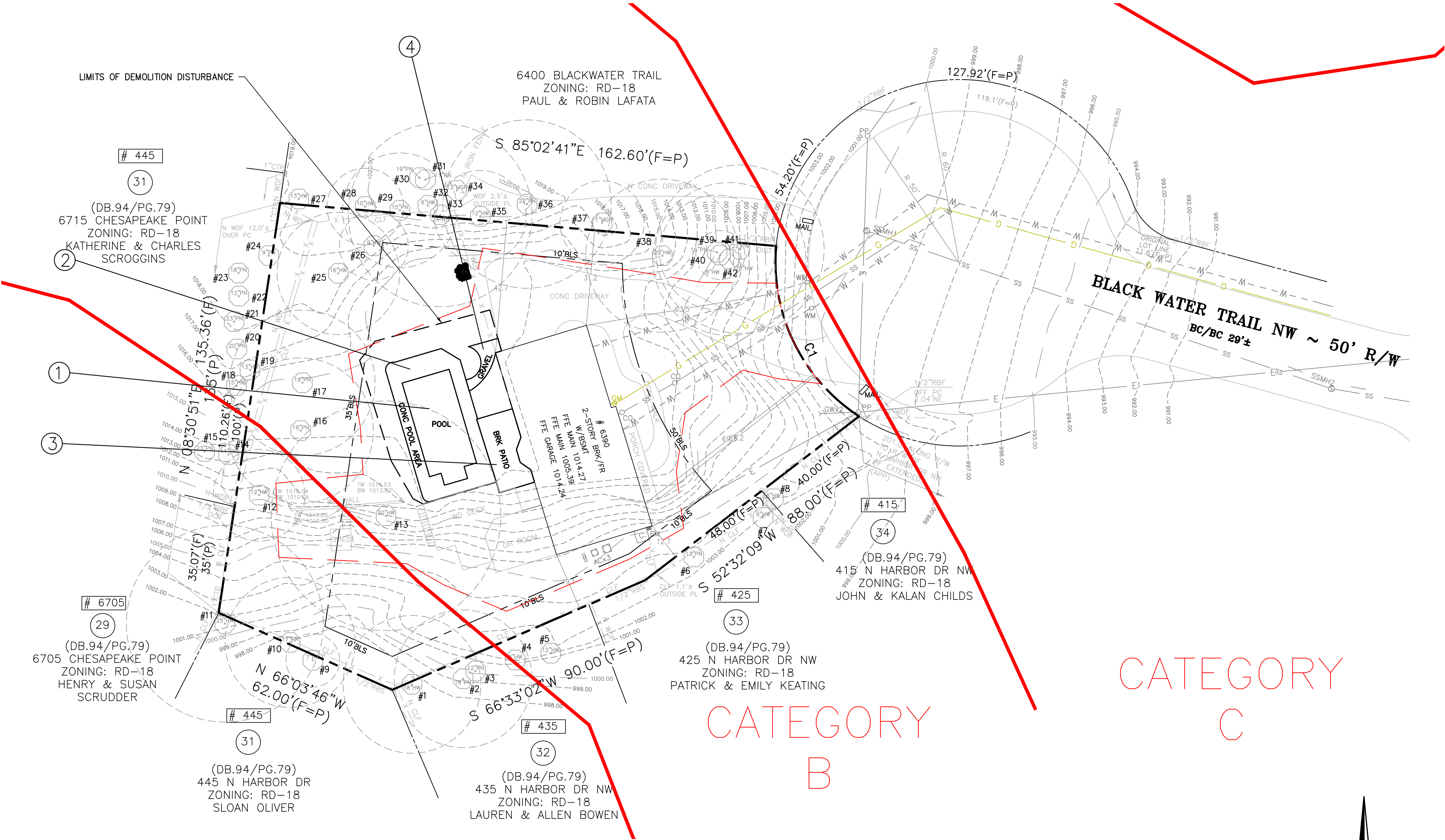
PRE-CONSTRUCTION LOT COVERAGE:

PRE-CONSTRUCTION IMPERVIOUS AREA CALCULATIONS	
Existing Impervious Area	SF
Ex House	2221
Ex Front Covered Porch	111
Ex Driveway and Walkway	1860
Ex Rear Brick Patio	282
Ex Pool	541
Ex Concrete Pool Area	584
Ex Gravel	78
Ex Wood Deck	497
Ex OH Room	338
Ex Shed	46
Ex Wall	26
Ex Stairs	50
Pre-Construction Impervious Area	6634
Pre-Construction Lot Coverage	29.20%

NO TREES REMOVED OR DESTROYED
AS A PART OF DEMOLITION



24 HOUR EMERGENCY CONTACT: ASHLEY BARTON 404-863-2450



Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Frasier Street
Marietta, GA 30060
678-324-9410
www.crescentvieweng.com

PPREPARED FOR:
GEORGIA CLASSIC POOLS
12540 BROADWELL ROAD, SUITE 2201
MILTON, GEORGIA, 30004

DEMOLITION PLAN

DATE	SCALE	DRAWN	CHECKED	REVISIONS	
				CITY COMMENTS	ARC COMMENTS
01-04-23	AS SHOWN	AJC	GHB	02-02-23	03-13-23



CONSTRUCTION PLANS FOR:

6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTONCOUNTY, GEORGIA

CVE PI # 22-621

SHEET NO.
D-1

SITE NOTES:

1. THE SITE CONTAINS: 0.522 ACRES / 22,716 SF
TOTAL DISTURBED ACREAGE: 0.085 ACRES / 3,685 SF

STREET ADDRESS: 6390 BLACKWATER TRAIL NW, SANDY SPRINGS, GA 30328

ZONING: RD-18 (RESIDENTIAL DETACHED)
MINIMUM LOT AREA = 18,000 SQ. FT
MINIMUM LOT WIDTH = 100 FT.
MINIMUM CANOPY COVERAGE = 35%
MINIMUM FRONT SETBACK = 50 FT.
MINIMUM SIDE STREET = 20 FT
MINIMUM REAR COMMON LOT LINE = 35 FT.
MAXIMUM BUILDING HEIGHT = 3 STORIES/ 40 FT MAX (PRINCIPAL DWELLING)
MINIMUM PARKING REQUIREMENTS: 2 PER PRINCIPAL DWELLING UNIT
MAXIMUM LOT COVERAGE = 35%

2. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY SURVEY LAND EXPRESS, INC. DATED 7-28-22.
3. THIS SITE IS NOT LOCATED WITHIN A SPECIAL HAZARD FLOOD ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0134G DATED SEPTEMBER 18, 2013 FOR UNINCORPORATED FULTON COUNTY, GEORGIA.
4. THE HOUSE FOOTPRINT IS EXISTING AND REPRESENT THE OUTSIDE EDGE OF THE VENEER. THE FOOTPRINT DOES NOT REPRESENT THE ROOF GUTTER LINE OR THE OUTSIDE EDGE OF THE FOOTINGS.
5. THESE DRAWINGS AND THEIR REPRODUCTIONS ARE THE PROPERTY OF THE ENGINEER, AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS ENGINEER.
6. THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON LAYOUT BY A REGISTERED LAND SURVEYOR THAT WILL ENSURE THE STRUCTURE IS BUILT WITHIN THE SETBACK LINES.
7. THIS PLAN DOES NOT CONSTITUTE AN APPROVAL OF A RETAINING WALL DESIGN. ANY FUTURE RETAINING WALL DESIGN TO BE SUBMITTED BY OWNER / CONTRACTOR.
8. AFTER THE PERMIT IS ISSUED, CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT AT PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION.
9. IF THE RESIDENCE IS CONSTRUCTED CLOSER THAN 20 FEET TO ANOTHER RESIDENTIAL STRUCTURE OR OTHER OUTBUILDING LARGER THAN 300 SF, AUTOMATIC SPRINKLERS SHALL BE REQUIRED IN THE KITCHEN AND FUEL FIRED EQUIPMENT ROOM PURSUANT TO THE CITY OF SANDY SPRINGS FIRE ORDINANCE 2006-11-86: CHAPTER 15 HEALTH AND PUBLIC SAFETY, EFFECTIVE NOVEMBER 8, 2006.
10. OWNER TO EXECUTE AN AGREEMENT FROM CITY OF SANDY SPRINGS COMMUNITY DEVELOPMENT 10. BEFORE ANY DECK STRUCTURES CAN BE BUILT IN ANY PRIVATE EASEMENTS.
11. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
12. NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS. THE HOUSE ONSITE IS EXISTING AND WAS CONSTRUCTED OF MATERIALS CONSISTING OF BRICK, ROCK, WOOD.
13. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
15. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
16. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

POST-CONSTRUCTION LOT COVERAGE:

POST-CONSTRUCTION IMPERVIOUS AREA CALCULATIONS	
Existing Impervious Area	SF
Ex House	2221
Ex Front Covered Porch	111
Ex Driveway and Walkway	1860
Ex Wood Deck	497
Ex OH Room	338
Ex Shed	46
Ex Wall	26
Ex Stairs	52
Ex Impervious Area	5151
Proposed Impervious Area	SF
Proposed Pool	720
Proposed Spa	72
Proposed Pool Deck	1246
Proposed Impervious Area	2038
Post-Construction Impervious Area	7189
Post-Construction Lot Coverage	31.65%

PER THE 2018 ISPSC, SECTION 305.2.7 THE MAXIMUM OPENING FORMMED BY A CHAIN LINK FENCE SHALL NOT EXCEED 1-3/4 INCHES. IF THE EXISTING CHAIN LINK FENCE HAS LARGER OPENINGS, IT WILL NOT BE CODE COMPLIANT.

POOL ALARMS ON WINDOWS MUST COMPLY WITH UL2017

THE PLAN PREPARER AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PARTICIPATION OF THE SITE PLAN

POOL ENCLOSURE WILL MEET THE REQUIREMENTS FOR THE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE WITH GEORGIA AMENDMENTS 2020.

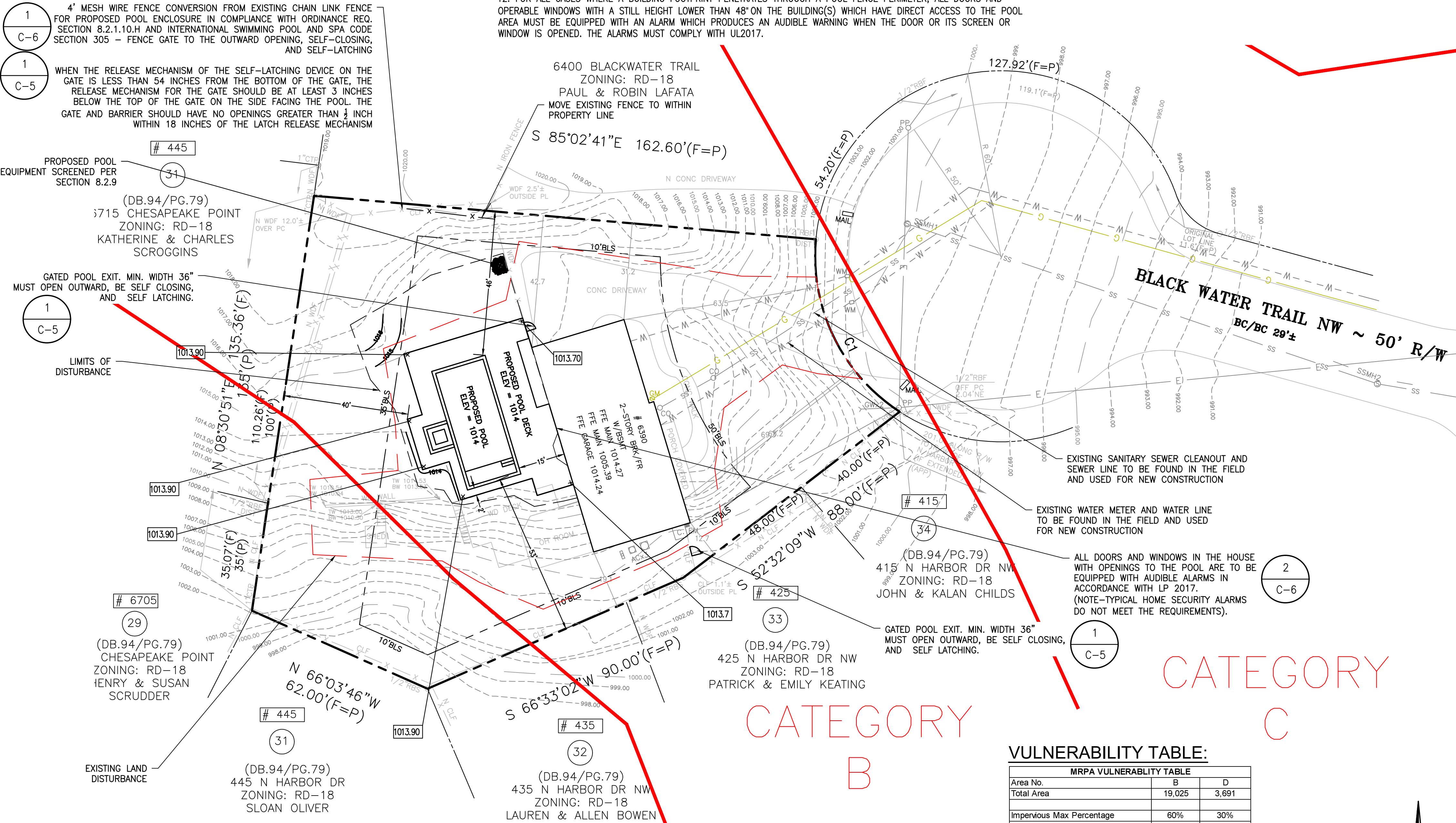
POOL ENCLOSURE WILL BE IN PLACE PRIOR TO THE POOL COMPLETION.

CITY OF SANDY SPRINGS NOTES:

1. THIS SITE IS APPROXIMATELY 1800 FT AWAY FROM THE CHATTAHOOCHEE RIVER. THEREFORE, THIS PROPERTY IS INSIDE THE 2000 FT CORRIDOR.
2. THIS PROPERTY IS NOT LOCATED IN ANY OVERLAY DISTRICT
3. THERE IS AN EXISTING STRUCTURE ON SITE.
4. BUILDING HEIGHT SHALL NOT EXCEED 40 FT
5. NEW WALL HEIGHTS BETWEEN 4 AND 6 FT WILL REQUIRE A WALL INDEMNIFICATION AGREEMENT FROM THE OWNER/BUILDER OR PLANS BEARING A PROFESSIONAL SEAL AND SIGNATURE OF AN ENGINEER HAVING REGISTRATION ON THE STATE OF GEORGIA.FOR WALL HEIGHTS 6 FT AND OVER, PLANS MUST BEAR A PROFESSIONAL SEAL AND SIGNATURE OF AN ENGINEER HAVING REGISTRATION IN GEORGIA, BY OTHERS.
6. WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- TOTAL SITE AREA = 0.522 ACRES / 22,716 SF
TOTAL PROPOSED IMPERVIOUS AREA = 0.05 ACRES / 2,038 SF
7. ACCESSORY STRUCTURES MAY BE LOCATED IN REAR AND SIDE YARDS BUT SHALL NOT BE LOCATED WITHIN A MINIMUM YARD (I.E. THE SIDE AND REAR YARD SETBACKS). ACCESSORY STRUCTURES INCLUDE BUT ARE NOT LIMITED TO HEATING AND AIR CONDITIONING UNITS AND/OR PADS.

DIRT STATEMENT:

CUT: 30 CU YRDS (ESTIMATE)
FILL: 30 CU YRDS (ESTIMATE)
HAUL VOLUME: 0 CU YRDS TO BE HAULED OFF SITE
NET EARTHWORK VOLUMES ARE LESS THAN 500 CU YRDS.
THEREFORE, A HAUL ROUTE PERMIT IS NOT REQUIRED



GRADING NOTES:

1. EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION
2. INITIAL BMP'S MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. SEDIMENT BMP'S MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
3. MAXIMUM GRADED SLOPES ALLOWED 2H:1V
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
6. CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
7. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
8. ALL STORMWATER INFRASTRUCTURE ON THIS SITE (OUT OF THE R/W) ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.
9. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
10. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES SHOWN TO BE PRESERVED.
11. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY (ONSITE AND OUTSIDE OF THE STREAM BUFFERS). CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES, (ONSITE AND OUTSIDE OF THE STREAM BUFFERS).
12. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
13. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
15. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
16. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES. THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
17. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SOIL COMPACTION ON SITE. THE SOIL COMPACTION IS TO BE AT THE CONTRACTORS SPECIFICATIONS FOR THE LOT. THE CIVIL ENGINEER IS NOT RESPONSIBLE FOR ANY COMPACTION REQUIREMENTS OR RESULTS ON THE SITE.

ES&PC NOTES:

1. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
2. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
4. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SEDIMENT PONDS ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
6. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
7. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN 14 DAYS.
8. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS.
10. PERSON RESPONSIBLE FOR EROSION CONTROL MEASURES IS: 24 HOUR EMERGENCY CONTACT: ASHLEY BARTON 404-863-2450, CERTIFICATION NUMBER 000008211
11. CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
12. SEDIMENTATION & EROSION CONTROL MEASURES TO BE INSPECTED DAILY.
13. EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL, AND SHALL COMPLY WITH THE STANDARDS/SPECIFICATIONS IN "THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
14. SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE THIRD THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.
15. BUILDER TO VERIFY ALL ELEVATIONS BEFORE ANY CONSTRUCTION.
16. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
17. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
18. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS. THE EROSION CONTROL MEASURE CAN BE DESIGNED BY A LEVEL 1B (BLUE CARD) GASWCC CERTIFIED CONTRACTOR, UNLESS THE BMP HAS A HYDRAULIC COMPONENT. FOR ALL BMP DESIGN WITH A HYDRAULIC COMPONENT, THE BMP MUST BE DESIGNED BY A LEVEL 2 (GOLD CARD) GASWCC CERTIFIED DESIGNER.

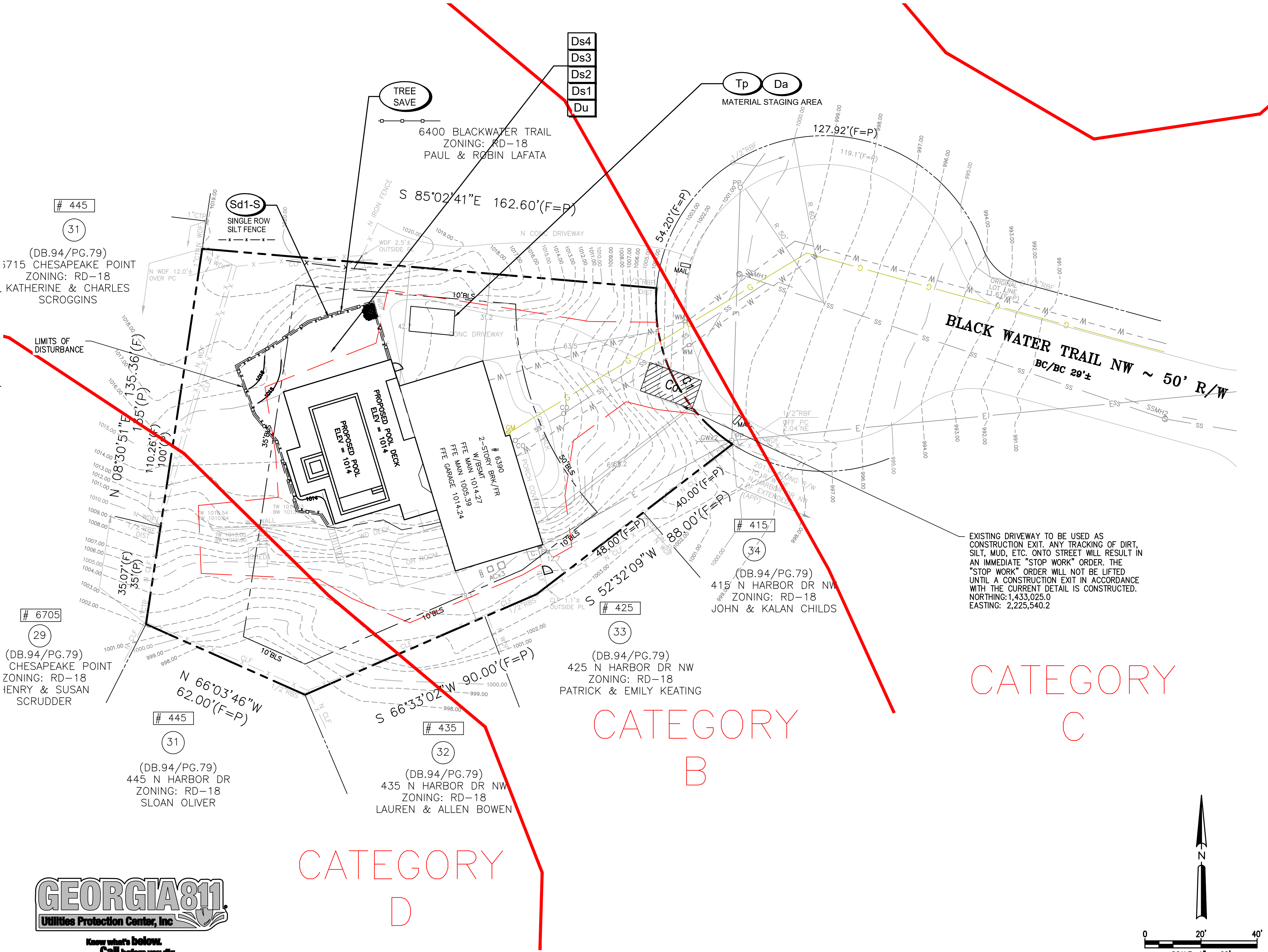
SEDIMENT STORAGE CALCULATIONS:

SILT FENCE PROVIDED = 155 LINEAR FEET (SINGLE ROW)
SEDIMENT STORAGE REQUIRED = 0.085 DIST AC * 67 = 5.67 CU YD
SEDIMENT STORAGE PROVIDED = 155 LF * 0.4 = 6.20 CU YD

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR FOR EFFECTIVE EROSION IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET
WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.

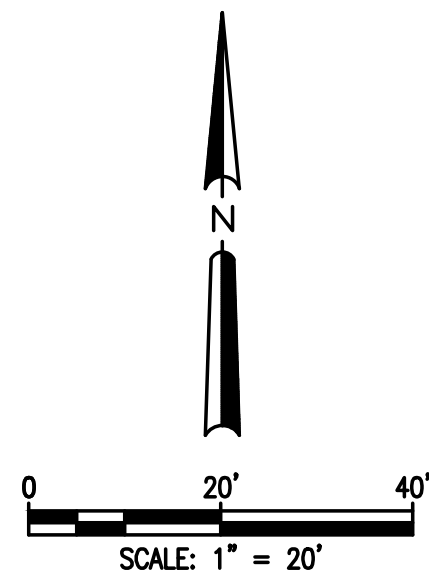
ON-SITE OPERATOR, OWNER, OR APPLICANT MUST COMPLY WITH CHAPTER 109, ARTICLE VI TITLED SOIL EROSION, SEDIMENTATION AND POLLUTION CONTROL OF THE CITY OF SANDY SPRINGS' DEVELOPMENT REGULATIONS. PAY PARTICULAR ATTENTION TO SECTION 109-253(D).



CATEGORY C

CATEGORY B

CATEGORY D



24 HOUR EMERGENCY CONTACT: ASHLEY BARTON 404-863-2450

Prepared By:
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PPREPARED FOR:

GEORGIA CLASSIC POOLS
12540 BROADWELL ROAD, SUITE 2201
MILTON, GEORGIA, 30004

ES&PC PLAN

DATE	REVISIONS	CITY COMMENTS
01-04-23	AS SHOWN	02-02-23
DRAWN	AJC	03-13-23
CHECKED	GHB	



CONSTRUCTION PLANS FOR:

6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTONCOUNTY, GEORGIA

CVE PI # 22-621

SHEET NO.
C-2

WATER QUALITY CALCULATIONS:

PROPOSED IMPERVIOUS AREA CALCULATIONS			
Site Location	SF	Not/Treated	BMP Location
Ex House	2221	Not Treated	N/A
Ex Front Covered Porch	111	Not Treated	N/A
Ex Driveway and Walkway	1860	Not Treated	N/A
Ex Wood Deck	497	Not Treated	N/A
Ex OH Room	338	Not Treated	N/A
Ex Wall	26	Not Treated	N/A
Ex Shed	46	Not Treated	N/A
Ex Stairs	52	Not Treated	N/A
Proposed Pool	720	Treated	Back Yard
Proposed Spa	72	Treated	Back Yard
Proposed Pool Deck	1246	Treated	Back Yard
Treated Impervious Area	2038	SF	
Total Impervious Area	7189	SF	

Basin Water Quality Calculations Per GSWMM

Water Quality Volume			
Drainage Basin =	0.52	Acres	
Impervious Area =	0.047	Acres	2038 SF (Treated Area)
I = % impervious =	9.00	%	
Rv = 0.05 + I*(0.009)			
Rv =	0.131		
WQv = 1.2*Rv*(DA^43560)/12			
WQv =	297.6	cu. ft.	

Stone Storage Infiltration Trench #1 with Pipe Calculations

Water Quality Calculations	1.2" required for required area impervious
Treated Impervious Area	2038 SF
Required Reduction Volume =	297.6 CF
Pipe Volume	
Diameter of Pipe	3.0 FT
Length of Pipe	14.0 FT
Volume of Pipe	99.0 CF
All Volume to be provided in Stone Storage Infiltration Trench w/ 40% void ratio	
Gravel Volume	
Length of Trench	14.0 FT
Width of Trench	9.0 FT
Depth of Trench	5.0 FT
Volume of Gravel = ((LxWxD)-Pipe Vol)x0.4=	212.4 CF
Provided Volume = Gravel Vol + Pipe Vol =	311.4 CF OF STORAGE
Required Volume =	297.6 CF OF STORAGE
Percent of Volume Provided over required	105%
Provided Volume is Greater than Required Volume	

WATER QUALITY DESCRIPTION:

TOTAL IMPERVIOUS AREA FOR THE SITE IS = 7,189 SQUARE FEET. WATER QUALITY IS PROVIDED FOR ALL THE NEW IMPERVIOUS AREA OF 2,083 SQUARE FEET FOR PROPOSED POOL, POOL DECK, AND SPA. SEE LOT COVERAGE CHART FOR DETAILS.

THERE WILL BE ONE STONE STORAGE TRENCH. TRENCH #1 WILL BE LOCATED TO THE FRONT OF THE MAIN HOUSE.

TRENCH #1 WILL DETAIN FOR A TOTAL OF 2,083 OF IMPERVIOUS AREA, AS MENTIONED ABOVE. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO) AND A 36" PERFORATED PIPES. THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND MODIFIED PERFORATED PIPE SYSTEM IS 297.6 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND MODIFIED PERFORATED PIPE SYSTEM IS 311.4 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM THE STRUCTURES AND PROPERTY LINES. THE BOTTOM OF THE STORAGE TRENCH IS 6 FEET DEEP. ANY OVERFLOW DRAINAGE FROM THE SYSTEMS WILL FLOW TO THE SOUTH WEST SIDE OF THE PROPERTY.

THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE WQ STORAGE REQUIREMENTS. THE STONE STORAGE TRENCH WILL PROMOTE GROUNDWATER RECHARGE. BECAUSE OF THE AVAILABLE SPACE, A LARGER SURFACE AREA TRENCH WAS DESIGNED TO KEEP THE STORAGE FACILITY AS SHALLOW AS POSSIBLE AND PROMOTE MORE DIRECT INFILTRATION.

WATER QUALITY NOTES:

VEGETATION

THE LANDSCAPED AREA ABOVE THE SURFACE OF TRENCH CAN BE LANDSCAPED WITH SOD OR MAY BE COVERED WITH AN ENGINEERED SOIL MIX, AND PLANTED WITH MANAGED TURF OR OTHER HERBACEOUS VEGETATION. THE STONE STORAGE IS FOR STORAGE ONLY AND CAN BE GRADED ABOVE PER THE GRADING PLAN WITH A MINIMUM COVER OF 6".

MAINTENANCE

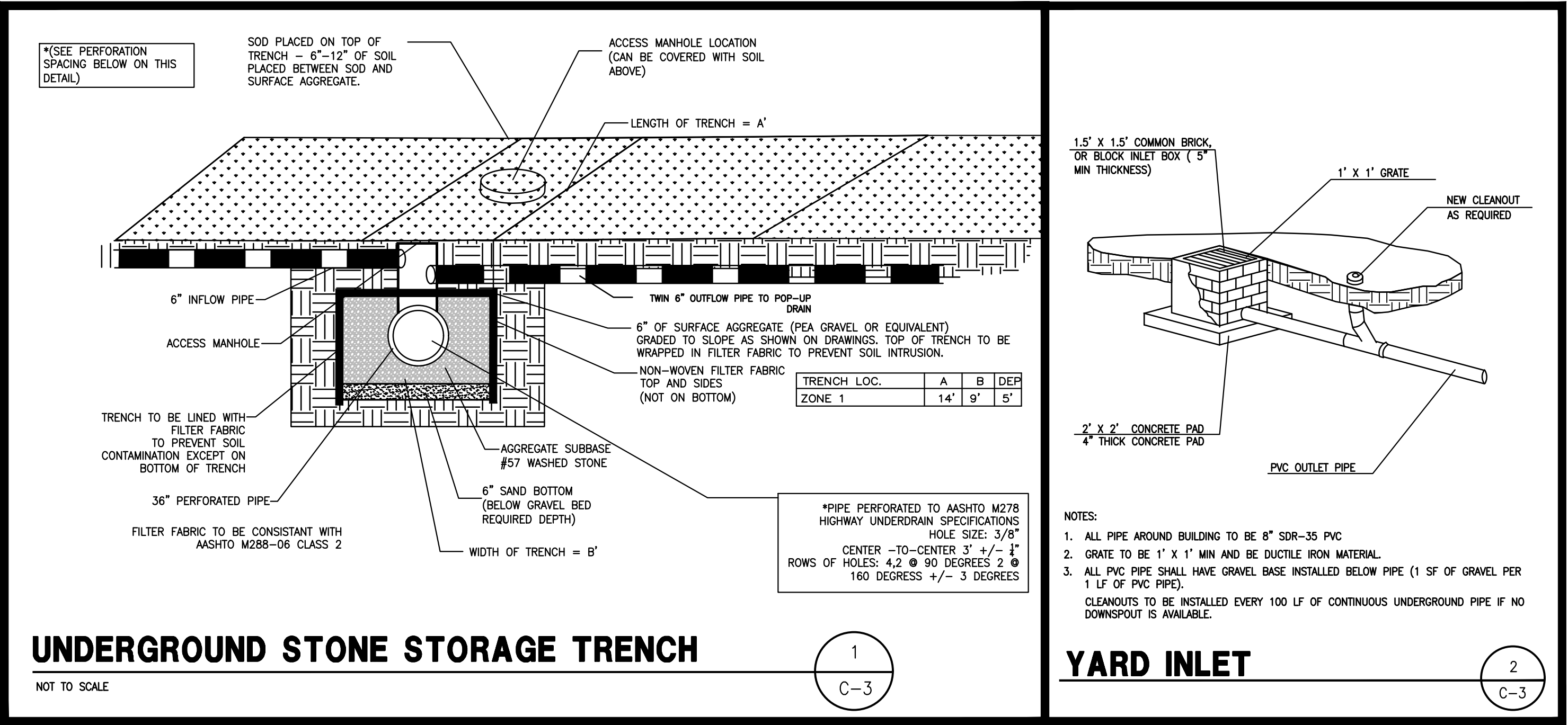
MONTHLY

- ENSURE THAT CONTRIBUTING AREA, FACILITY AND INLETS ARE CLEAR OF DEBRIS.
- ENSURE THAT THE CONTRIBUTING AREA IS STABILIZED.
- REMOVE SEDIMENT AND OIL/GREASE FROM PRETREATMENT DEVICES, AS WELL AS OVERFLOW STRUCTURES.
- MOW GRASS FILTER STRIPS SHOULD BE MOWED AS NECESSARY. REMOVE GRASS CLIPPINGS.

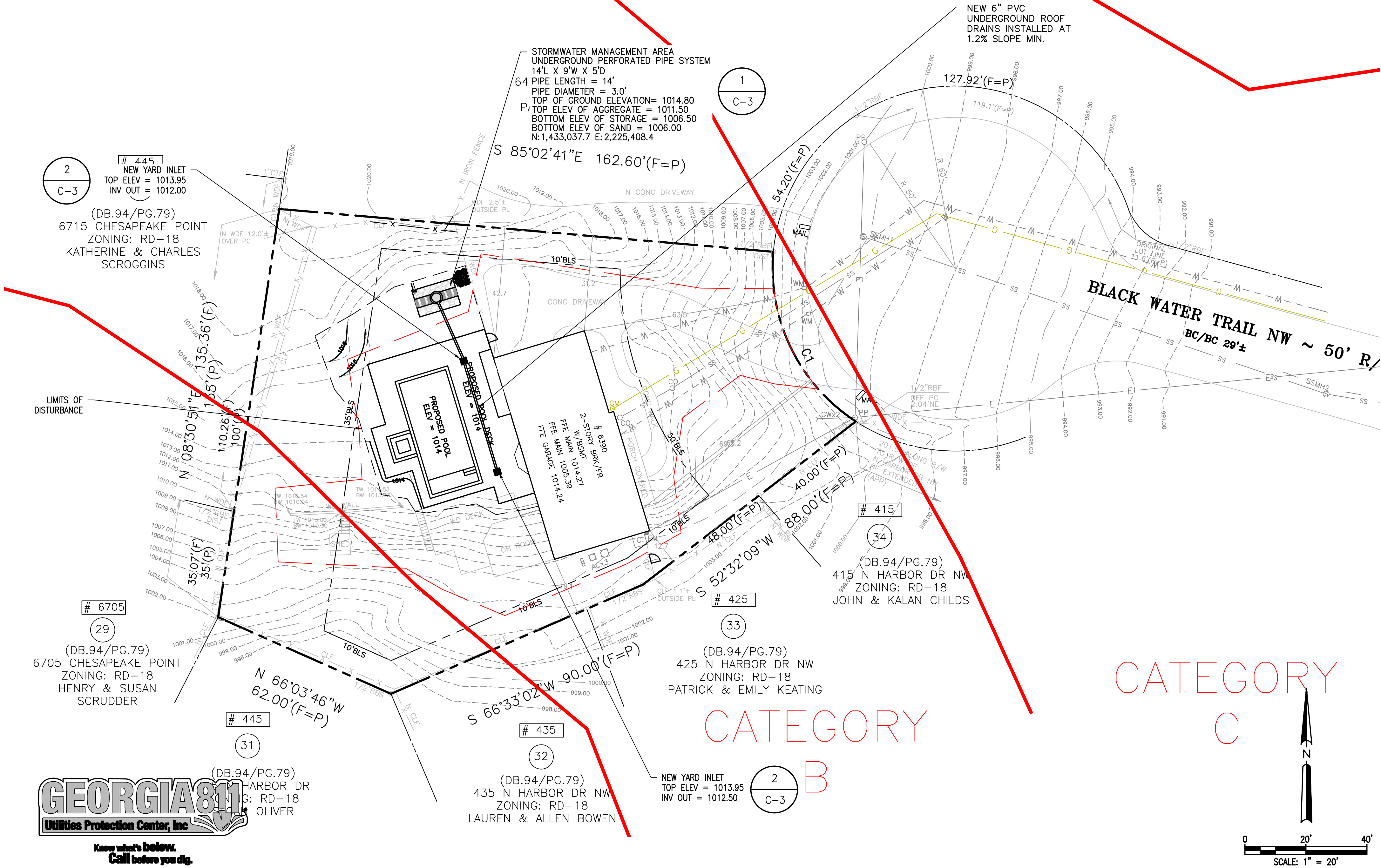
SEMIANNUAL INSPECTION

- CHECK OBSERVATION WELLS FOLLOWING 3 DAYS OF DRY WEATHER. FAILURE TO PERCOLATE WITHIN THIS TIME PERIOD INDICATES CLOGGING.
- INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE.
- REMOVE TREES THAT START TO GROW IN THE VICINITY OF THE TRENCH.REPLACE PEA GRAVEL/TOPSOIL/GRASSING AND TOP SURFACE FILTER FABRIC (WHEN CLOGGED).
- AS NEEDED
 - PERFORM TOTAL REHABILITATION OF THE TRENCH TO MAINTAIN DESIGN STORAGE CAPACITY.
 - EXCAVATE TRENCH WALLS TO EXPOSE CLEAN SOIL.UPON FAILURE

24 HOUR EMERGENCY CONTACT: ASHLEY BARTON 404-863-2450



THE MODIFIED TAFT METHOD IS NOT ACCEPTABLE TO DETERMINE INFILTRATION RATES. A PERCOLATION TEST MAY BE USED TO OBTAIN INFILTRATION RATES PROVIDED IT IS PERFORMED USING THE "PORCHET METHOD".



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12540 BROADWELL ROAD, SUITE 2201
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STORMWATER PLAN



CONSTRUCTION PLANS FOR:

6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTONCOUNTY, GEORGIA

CVE PI # 22-621

SHEET NO.

C-3

TREE LIST:

TREE NUMBER	DBH (IN INCHES)	TYPE	REMOVE	ONSITE	SETBACK	BOUNDARY TREE (>1=10")	LANDMARK TREE	PROTECTED TREE	SETBACK MITIGATION (>1=10")	% IMPACT
1	18	HARDWOOD	N	N	N	N	N	Y	N	0.00%
2	18	PINE	N	N	N	Y	N	Y	N	0.00%
3	12	PINE	N	N	N	N	N	N	N	0.00%
4	8	HARDWOOD	N	N	N	N	N	N	N	0.00%
5	12	HARDWOOD	N	N	N	Y	N	N	N	0.00%
6	13	PINE	N	N	N	Y	N	N	N	0.00%
7	6	HARDWOOD	N	N	N	N	N	N	N	0.00%
8	6	HARDWOOD	N	N	N	N	N	N	N	0.00%
9	7	HARDWOOD	N	N	N	N	N	N	N	0.00%
10	17	PINE	N	N	N	Y	N	N	N	0.00%
11	25	HARDWOOD	N	N	N	Y	N	Y	N	0.00%
12	12	HARDWOOD	N	Y	Y	N	N	N	Y	0.00%
13	30	HARDWOOD	N	Y	N	N	Y	Y	N	0.00%
14	11	PINE	N	N	N	Y	N	N	N	0.00%
15	23	PINE	N	N	N	Y	N	Y	N	0.00%
16	19	PINE	N	Y	Y	N	N	Y	Y	6.32%
17	19	PINE	N	Y	Y	N	N	Y	Y	19.75%
18	15	HARDWOOD	N	N	N	Y	N	N	N	0.00%
19	13	HARDWOOD	N	N	N	Y	N	N	N	0.00%
20	20	PINE	N	N	N	Y	N	Y	N	0.00%
21	23	PINE	N	N	N	Y	N	Y	N	0.00%
22	12	PINE	N	N	N	Y	N	N	N	0.00%
23	18	PINE	N	N	N	Y	N	Y	N	0.00%
24	9	PINE	N	N	N	N	N	N	N	0.00%
25	16	HARDWOOD	N	Y	Y	N	N	N	Y	13.69%
26	9	HARDWOOD	N	Y	Y	N	N	N	N	0.00%
27	13	HARDWOOD	N	N	N	Y	N	N	N	0.00%
28	10	HARDWOOD	N	N	N	Y	N	N	N	0.00%
29	15	PINE	N	N	N	Y	N	N	N	0.00%
30	19	PINE	N	N	N	Y	N	Y	N	0.00%
31	11	PINE	N	N	N	Y	N	N	N	0.00%
32	6	HARDWOOD	N	N	N	N	N	N	N	0.00%
33	24	PINE	N	N	N	Y	N	Y	N	9.83%
34	13	MAGNOLIA	N	N	N	Y	N	N	N	0.00%
35	12	HARDWOOD	N	N	N	Y	N	N	N	0.00%
36	22	PINE	N	Y	N	N	N	Y	N	0.00%
37	11	MAGNOLIA	N	N	N	Y	N	N	N	0.00%
38	20	HARDWOOD	N	Y	Y	N	N	Y	Y	0.00%
39	15	PINE	N	Y	Y	N	N	N	Y	0.00%
40	8	HARDWOOD	N	Y	Y	N	N	N	N	0.00%
41	22	PINE	N	Y	Y	N	N	Y	Y	0.00%
42	20	HARDWOOD	N	Y	Y	N	N	Y	Y	0.00%

TREE CALCULATIONS:

CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT AT (770)730-5660 TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION.

CANOPY COVERAGE - EXISTING TO REMAIN
NOTE - IF SPECIFIC SPECIES WERE NOT PROVIDED BY SURVEY, THEREFORE THE SMALLER CANOPY COVERAGE FOR TREE TYPE HARDWOOD WAS SELECTED TO PROVIDE A CONSERVATIVE ESTIMATION, WITH EXCEPTION OF LANDMARK TREES, WHICH WERE GIVEN THE 1250 SF CANOPY COVERAGE ESTIMATION.

(4) HARDWOOD AT 1,000 SQFT EACH = 4,000 SQFT
(1) LANDMARK HARDWOOD AT 1,250 SQFT EACH = 1,250 SQFT
(11) PINE AT 1,000 SQFT EACH = 11,000 SQFT
= 16,250 SQFT
(TOTAL CANOPY REMAINING)

REPLACEMENT/RECOMPENSE - LANDMARK TREES

REQUIRED RECOMPENSE/REPLACEMENT = PER CITY OF SANDY SPRINGS, REQUIRED REPLACEMENT IS 150% CANOPY PER EACH LANDMARK TREE REMOVED (OR 2 LARGE REPLACEMENT TREES PER EACH LANDMARK TREE REMOVED)
0 LANDMARK TREES TO BE REMOVED = 0 REPLACEMENT TREES

RESIDENTIAL FRONT YARD TREES PER SEC. 8.2.3.
PER SECTION 8.2.3, THERE IS TO BE ONE SHADE TREE PLANTED IN THE FRONT YARD PER EVERY 40 FT OF FRONTAGE.
TOTAL FRONTAGE = 65 FT = 2 REQUIRED FRONT YARD TREES

REQUIREMENT MET THROUGH EXISTING TREES

YARD DISTURBANCE MITIGATION CALCULATION

PER CODE SECTION 9.4.2.G:
FOR EACH TREE OF 10 INCHES DBH OR GREATER REMOVED OR DAMAGED BY GRADING IN THE SIDE SETBACK, ONE TREE MUST BE PLANTED.

TOTAL TREES LOST IN SIDE YARD = 0 REMOVED = 0 REPLACEMENT TREES REQUIRED

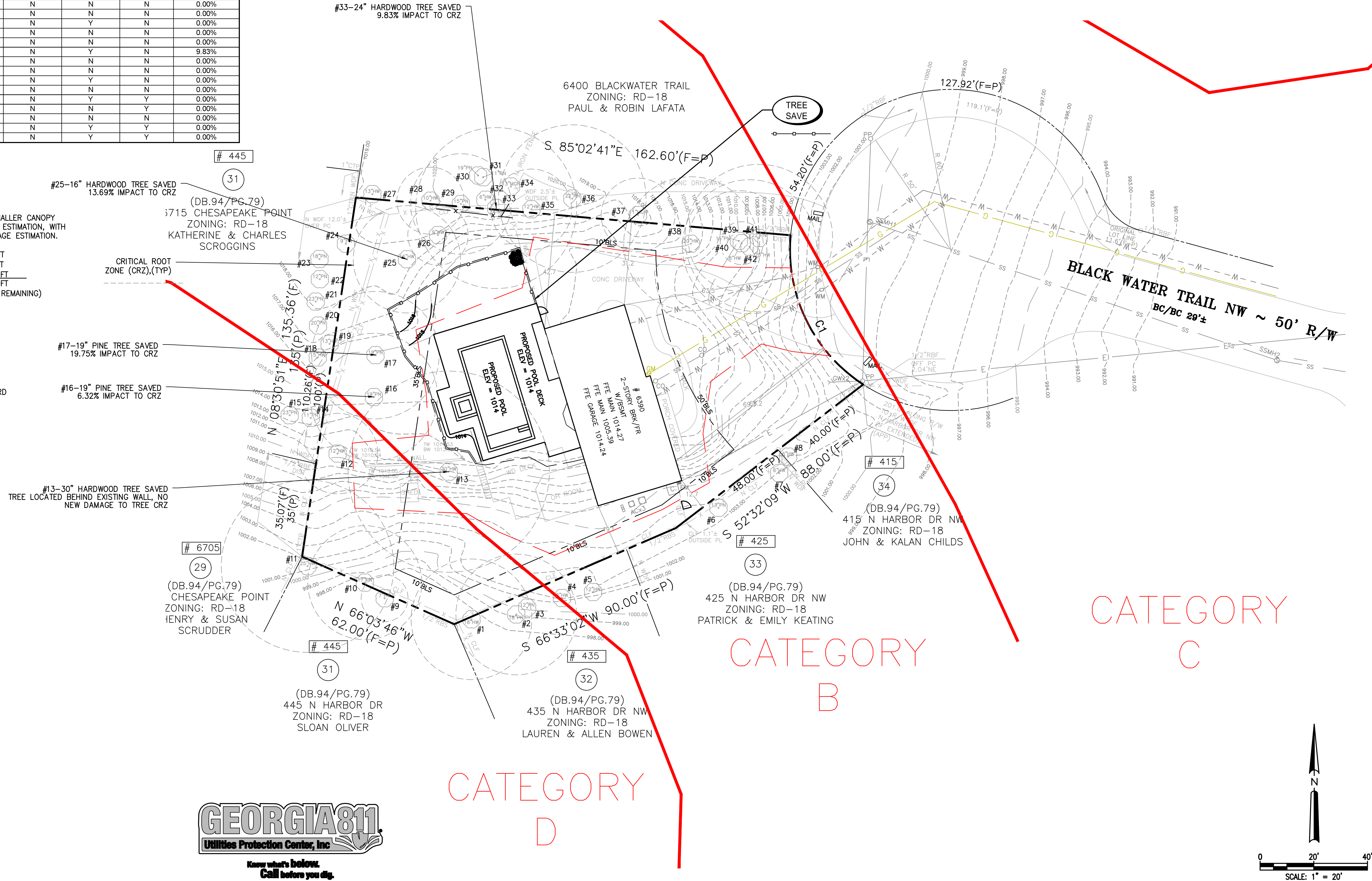
TOTAL PROPOSED REPLACEMENT CANOPY
PROPOSED EXISTING CANOPY TO REMAIN = 16 QTY TREES / 16,250 SQFT
PROPOSED REPLACEMENT CANOPY = 0 QTY TREES.
TOTAL PROPOSED CANOPY (EXISTING + PROPOSED REPLACEMENT) = 16 QTY TREES / 16,250 SQ FT

TOTAL PROPOSED CANOPY (NOT INCLUDING MITIGATION) = 16,250 SQ FT
REQUIRED CANOPY = 22,716 SQ FT X 0.35 = 7,951 SQ FT (REQUIREMENT MET THROUGH EXISTING TREES)

COST ASSIGNMENT
PER CODE SECTION 9.3.8.D.2 WHEN PROPOSED CONSTRUCTION CAUSES CANOPY TO FALL BELOW THE MINIMUM CANOPY REQUIREMENT AN ASSESSED VALUE OF \$1,200 /1000 SF OF CANOPY IS USED TO DETERMINE FEE FOR DEFICIENT

REQUIRED CANOPY = 7,951 SF
PRE-CONSTRUCTION CANOPY = 16,250 SF
POST-CONSTRUCTION EXISTING CANOPY = 16,250

NO RECOMPENSE. ALL REQUIREMENTS MEET BY EXISTING TREES



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CITY OF SANDY SPRINGS LANDSCAPE NOTES:

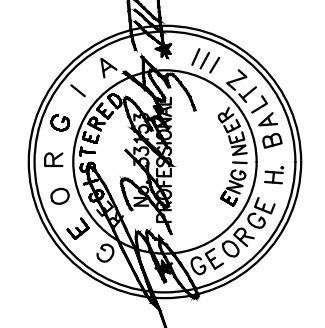
CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT AT (770) 730-5660 OR THROUGH PORTAL TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION.

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TREE PLAN

DATE	REVISIONS
01-04-23	CITY COMMENTS
AS SHOWN	02-02-23
DRAWN	AJC
CHECKED	GHB



CONSTRUCTION PLANS FOR:

6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTONCOUNTY, GEORGIA

CVE Pl # 22-621

SHEET NO.
C-4

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SAWDUST APPLIED TO DEPTH OF 2 - 3 INCHES

PLANTS, PLANTING RATES, & PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS												
PLANTING DATES BY RESOURCE AREAS				PLANTING DATES BY RESOURCE AREAS				PLANTING DATES BY RESOURCE AREAS				
SPECIES	BROADCAST RATES 2 1/2 - PLS. 3 PER 6500 SQ. FT.	RESOURCE AREAS 4/2 (SOLID LINES INDICATE OPTIMUM DATES; DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES)	REMARKS	SPECIES	BROADCAST RATES 2 1/2 - PLS. 3 PER 6500 SQ. FT.	RESOURCE AREAS 4/2 (SOLID LINES INDICATE OPTIMUM DATES; DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES)	REMARKS					
		J F M A M J J A S O N D				J F M A M J J A S O N D						
BARLEY (HORDEUM VULGARE)		M-L P C	14,000 SEED PER POUND. QUICK DENSE COVER. USE ON PRODUCTIVE SOILS.	MILLET, PEARL (Pennisetum glaucum)		M-L P C	88,000 SEED PER POUND. QUICK DENSE COVER. MAY REACH 5 FEET IN HEIGHT. NOT RECOMMENDED FOR MIXTURES.					
ALONE	3 bu. (144 lb.)			ALONE	50 lbs. 1.1 lb.							
IN MIXTURES	1/2 bu. 0.6 lb. (24 lbs.)	J F M A M J J A S O N D				J F M A M J J A S O N D						
LESPEDEZA, ANNUAL (LESPEDEZA STRATA)		M-L P C	200,000 SEED PER POUND. USE FOR SEVERAL YEARS. USE INOCULANT EL.	OATS (Avena sativa)		M-L P C	13,000 SEED PER POUND. USE ON PRODUCTIVE SOILS. NOT RECOMMENDED AS RYE OR BARLEY.					
ALONE	40 lbs. 0.9 lb.			ALONE	4 bu (128 lb.)							
IN MIXTURES	10 lbs. 0.2 lb.	J F M A M J J A S O N D		IN MIXTURES	1 bu. 0.7 lb. (32 lbs.)	J F M A M J J A S O N D						
LOVEGRASS, WEEPING (ERAGROSTIS CURVULA)		M-L P C	1,500,000 SEED PER POUND. MAY LAST FOR SEVERAL YEARS. MIX WITH SERICEA LESPEDEZA	RYE (SECALE CEREALE)		M-L P C	10,000 SEED PER POUND. QUICK COVER. DROUGHT TOLERANT AND WINTERHARDY.					
ALONE	4 lbs. 0.1 lb.			ALONE	3 bu. 3.9 lb. (198 lb.)							
IN MIXTURES	2 lbs. 0.05 lb.	J F M A M J J A S O N D		IN MIXTURES	1/2 bu. 0.6 lb. (28 lbs.)	J F M A M J J A S O N D						
MILLET, BROWNIPO (Panicum fasciculatum)		M-L P C	137,000 SEED PER POUND. QUICK DENSE COVER. WILL PROVIDE 100 MCH COMPETITION IN MIXTURES IF SEEDED AT HIGH RATES.	RYEGRASS, ANNUAL (LOLIUM TEMULENTUM)		M-L P C	227,000 SEED PER POUND. DENSE COVER. VERY COMPETITIVE AND IS NOT TO BE USED IN MIXTURES.					
ALONE	40 lbs. 0.9 lb.			ALONE	40 lbs. 0.9 lb.							
IN MIXTURES	10 lbs. 0.2 lb.	J F M A M J J A S O N D		SUDANGRASS (SORGHUM SUDANENSE)		M-L P C	55,000 SEED PER POUND. GOOD ON DROUGHTY SITES. NOT TO BE USED IN MIXTURES.					
				ALONE	6 lbs. 1.4 lb.							

NOT TO SCALE

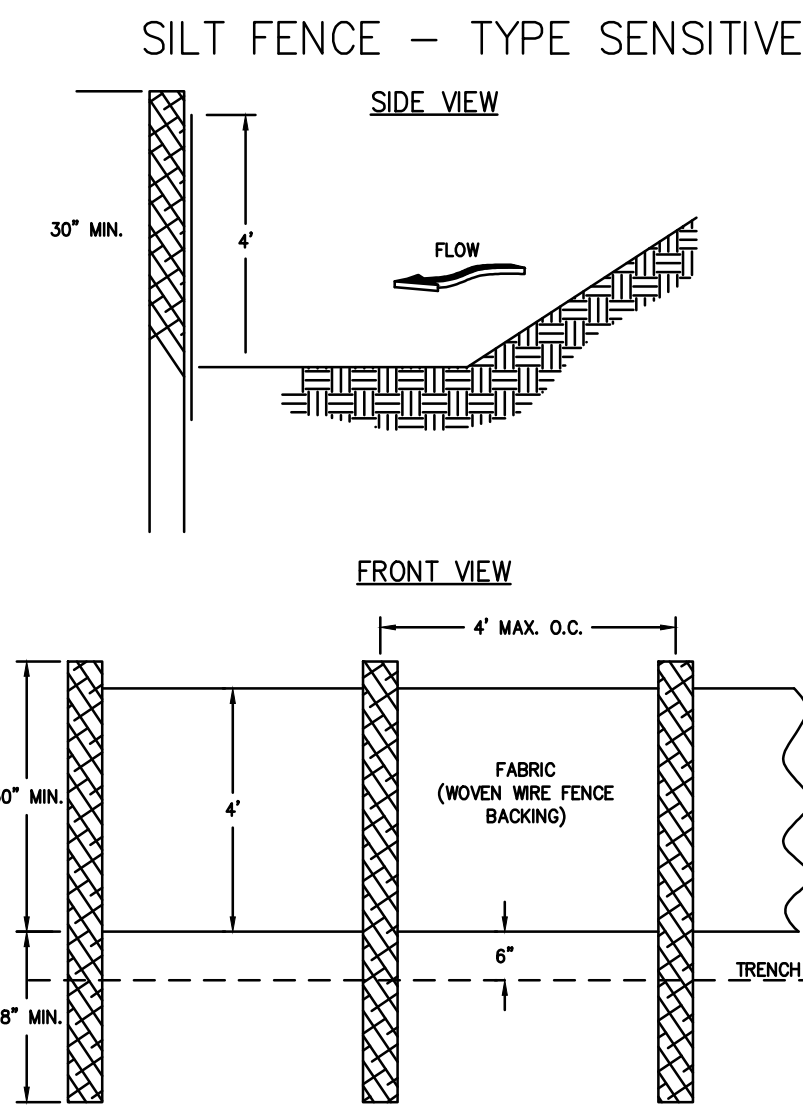
FERTILIZER REQUIREMENTS				
TOP OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N DRESSINGS RATE
1. COOL SEASON GRASSES	FIRST	6-12-12	1500 lbs./ac.	10-100 lbs./ac. 1/2/3
	SECOND MAINTENANCE	6-12-12	1500 lbs./ac. 10-10-10	
2. COOL SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500 lbs./ac.	0-50 lbs./ac. 1/ -
	SECOND MAINTENANCE	6-12-12	1000 lbs./ac. 10-10-10	
3. WARM SEASON COVER CROPS	FIRST	10-10-10	1500 lbs./ac. 3/	-
	SECOND MAINTENANCE	10-10-10	1000 lbs./ac. 3/ 1100 lbs./ac.	
4. PINE LANDING	FIRST	20-10-5	ONE 21-GRAM PELLETT PER SEEDLING PLACED IN THE CLOSING HOLE	
5. SHRUB LUSITICIA	FIRST	10-10-10	700 lbs./ac.	-
	MAINTENANCE	10-10-10	700 lbs./ac. 4/	
6. TEMPORARY COVER CROPS GROWN SEEDS ALONE	FIRST	10-10-10	500 lbs./ac.	50 lbs./ac. 5/
7. WARM SEASON GRASSES	FIRST	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2/6/ 10-100 lbs./ac.
	SECOND MAINTENANCE	10-10-10	800 lbs./ac. 400 lbs./ac.	
8. WARM SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500 lbs./ac.	50 lbs./ac. 6/
	SECOND MAINTENANCE	10-10-10	1000 lbs./ac. 400 lbs./ac.	

- 1) APPLY IN SPRING FOLLOWING SEEDING.
- 2) APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
- 3) APPLY IN 3 SPLIT APPLICATIONS.
- 4) APPLY WHEN PLANTS ARE PRUNED.
- 5) APPLY TO GRASS SPECIES ONLY.
- 6) APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

TIME APPLICATION REQUIREMENT - 2 TONS/ACRE

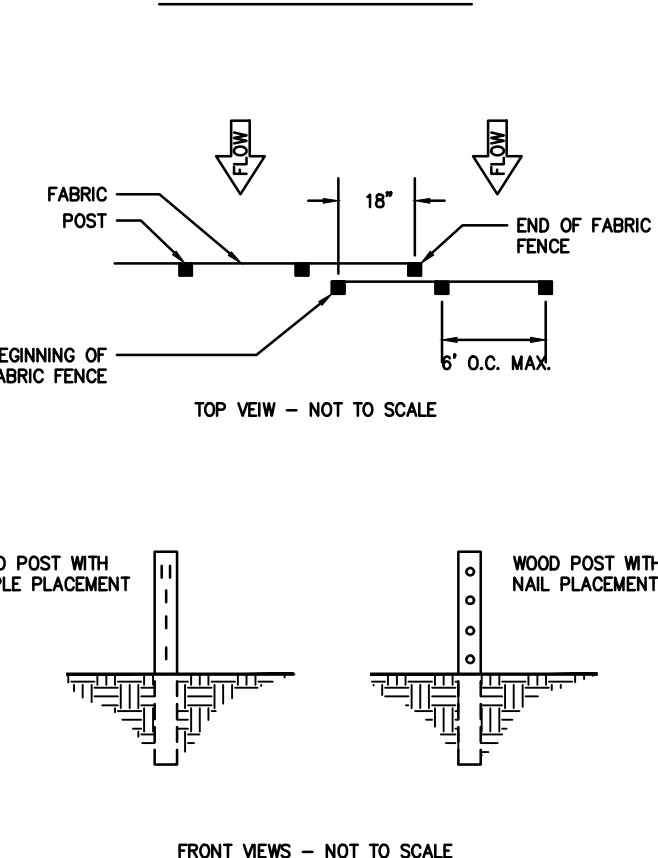
LIME APPLICATION REQUIREMENT		Z TONS/
90% PASS THROUGH	10 - MESH SIEVE	
50% PASS THROUGH	50 - MESH SIEVE	
25% PASS THROUGH	25 - MESH SIEVE	

NOT TO SCALE



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

OVERLAP AT FABRIC ENDS



- NOTES:**
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

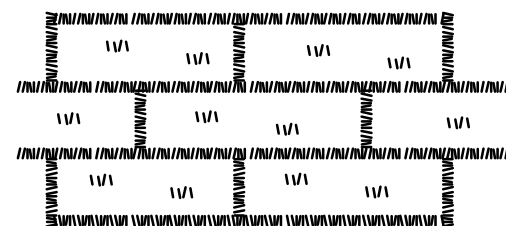
SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS. CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED -

TEMPORARY METHODS: Ds1-MULCHING, Tb-TACKIFIERS AND BINDERS, Ds2-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION

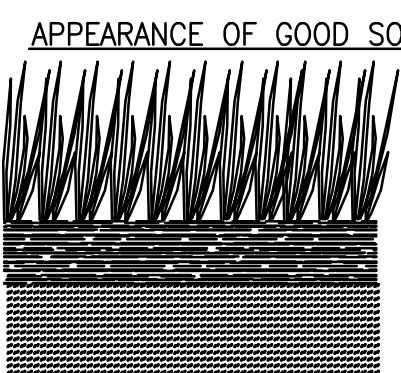
PERMANENT METHODS: Ds3-PERMANENT VEGETATION, Ds4-SODDING

PLANTS, PLANTING RATES, & PLANTING DATES FOR PERMANENT COVER											
SPECIES	BROADCAST RATES 1/-PLS 2/ PER ACRE SOIL TON	PLANTING DATES BY RESOURCE		REMARKS	SPECIES	BROADCAST RATES 1/-PLS 2/ PER ACRE SOIL TON	PLANTING DATES BY RESOURCE		REMARKS		
		AREAS PLANTING DATES					AREAS PLANTING DATES				
		(SOLID LINES INDICATE OPTIMUM DATES, DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES)	(SOLID LINES INDICATE OPTIMUM DATES, DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES)				(SOLID LINES INDICATE OPTIMUM DATES, DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES)	(SOLID LINES INDICATE OPTIMUM DATES, DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES)			
BAHA/PASCALOSA (PASPALUM NOTIATUM)		P	C				M-L			A CUBIC FOOT CONTAINS APPROXIMATELY 650 SPRINGS. A BUSHEL SPRINTING 1.25 CUBIC FEET OR APPROXIMATELY 800 SPRINGS	
ALONE OR WITH TEMPORARY COVER	60 lbs. 1.4 lb.										
W/ OTHER PERENNIALS	30 lbs 0.7 lb.	J	F	165,000 SEED PER POUND. LOW GROWING SOD FORMING. SLOW TO ESTABLISH. PLANT W/ A COMPANION CROP. WILL SPREAD INTO BERGAMA PASTURES & LAJUNES. MID-COASTAL, COMMON, W/ SCAVIA LEPESIZIA OR WEEDING LONGEVITY	BERGAMA SPRINGS (CYNODON DACTYLON)						
		J	F								
BAHA/MILMINGTON (PASPALUM NOTIATUM)		M-L	P								
ALONE OR WITH TEMPORARY COVER	60 lbs. 1.4 lb.										
W/ OTHER PERENNIALS	30 lbs 0.7 lb.	J	F	SAME AS ABOVE.	COASTAL, COMMON MIDLAND, OR TIFT 44		P		SAME AS ABOVE		
		J	F				C				
BERGAMA COMMON (CYNODON DACTYLON)		P	C								
WITH TEMPORARY COVER	10 lbs. 0.2 lb.				CENTIPEDIA (ERMEOCHLOA OPHIUROIDES)	BLOCK SOO ONLY	P		SOUTHERN COASTAL PLAIN ONLY		
WITH OTHER PERENNIALS	6 lbs 0.1 lb.	J	F						DROUGHT TOLERANT. BROWN SPRING OR PARTIAL SHADE. EFFECTIVE ADJACENT TO CONCRETE AND IN CONCENTRATED FLOW AREAS. IRRIGATION IS NEEDED UNTIL FULLY ESTABLISHED. DO NOT PLANT NEAR PASTURES. WINTERHARDY AS FAR NORTH AS ATHENS AND ATLANTA.		
		J	F								
BERGAMA COMMON (CYNODON DACTYLON)		P	C								
UNHILLED SEED	10 lbs. 0.2 lb.			1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN GOOD FOR ATHLETIC FIELDS.	PESCUE, TALL (FESTUCA ARUNDINACEA)		M-L		227,000 SEED PER POUND. USE ALONE ON ON BETTER SITES, NOT FOR DROUGHTY SOILS. MIX WITH PERENNIAL LEPESIZIA OR CROWNCRACK. APPLY HYPREXISIN IS SPRING FOLLOWING FALL PLANTINGS. NOT FOR HEAVY USE AREAS OR ATHLETIC FIELDS.		
ALONE	10 lbs. 0.2 lb.				ALONE	50 lbs. 1.1 lb.					
WITH OTHER PERENNIALS	6 lbs 0.1 lb.	J	F	PLANT WITH WINTER ANNUALS. PLAY WITH TALL PESCUE.	WITH OTHER PERENNIALS	30 lbs 0.7 lb.					
		J	F								

NOT TO SCALE

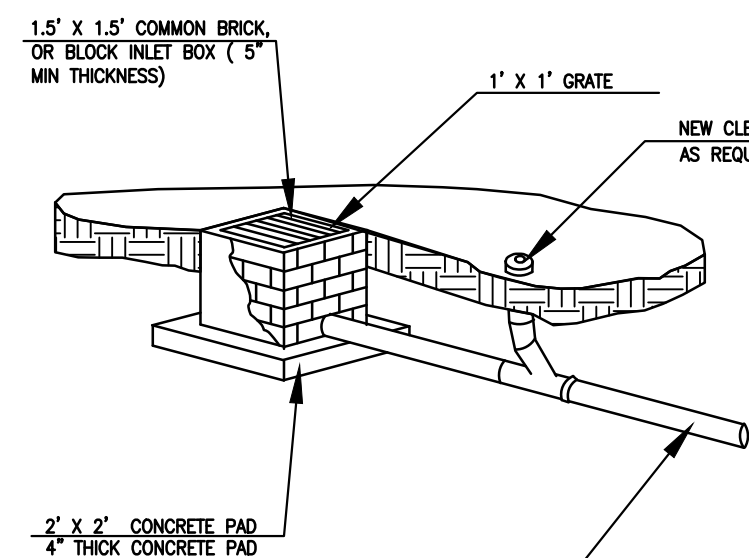


- LAY SOD IN A STAGGERED PATTERN. BUTT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.

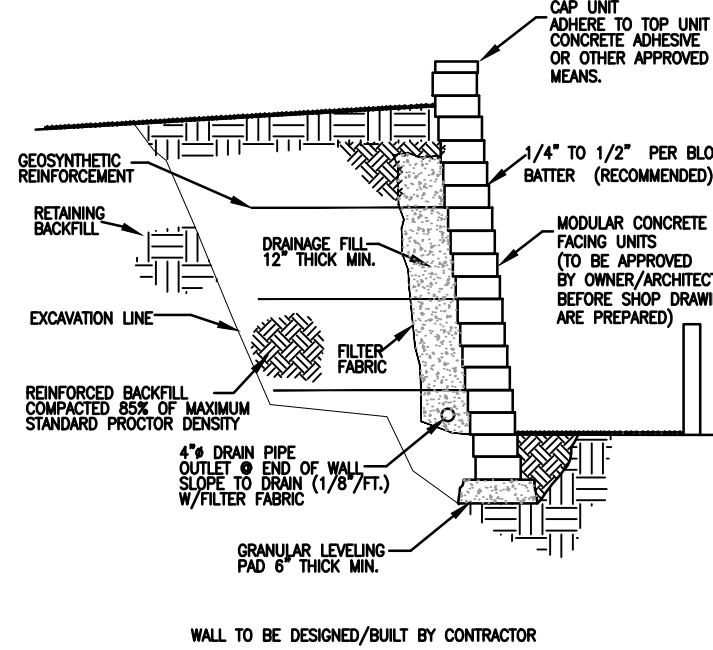


- SHOOTS OR GRASS BLADES.**
GRASS SHOULD BE GREEN AND
HEALTHY, MOWED AT A 2"-3"
CUTTING HEIGHT.
- THATCH** - GRASS CLIPPINGS AND
DEAD LEAVES, UP TO 1/2" THICK.
- ROOT ZONE** - SOIL AND ROOTS.
SHOULD BE 1/2"-3/4" THICK, WITH
DENSE ROOT MAT FOR STRENGTH.

NOT TO SCALE

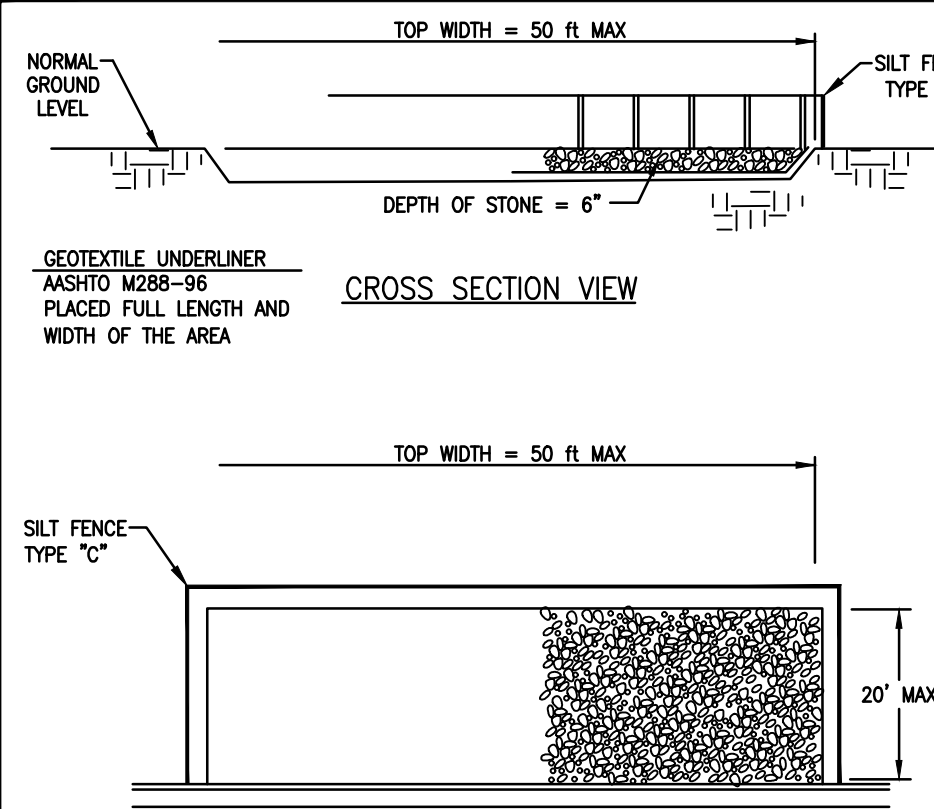


- NOTES:
1. ALL PIPE AROUND BUILDING TO BE 8" SDR-35 PVC
 2. GRATE TO BE 1' X 1' MIN AND BE DUCTILE IRON MATERIAL.
 3. ALL PVC PIPES SHALL HAVE GRAVEL BASE INSTALLED BELOW PIPE (1 SF OF GRAVEL PER 1 LF OF PVC PIPE).
- CLEANOUTS TO BE INSTALLED EVERY 100 LF OF CONTINUOUS UNDERGROUND PIPE IF NO DOWNSPOUT IS AVAILABLE.



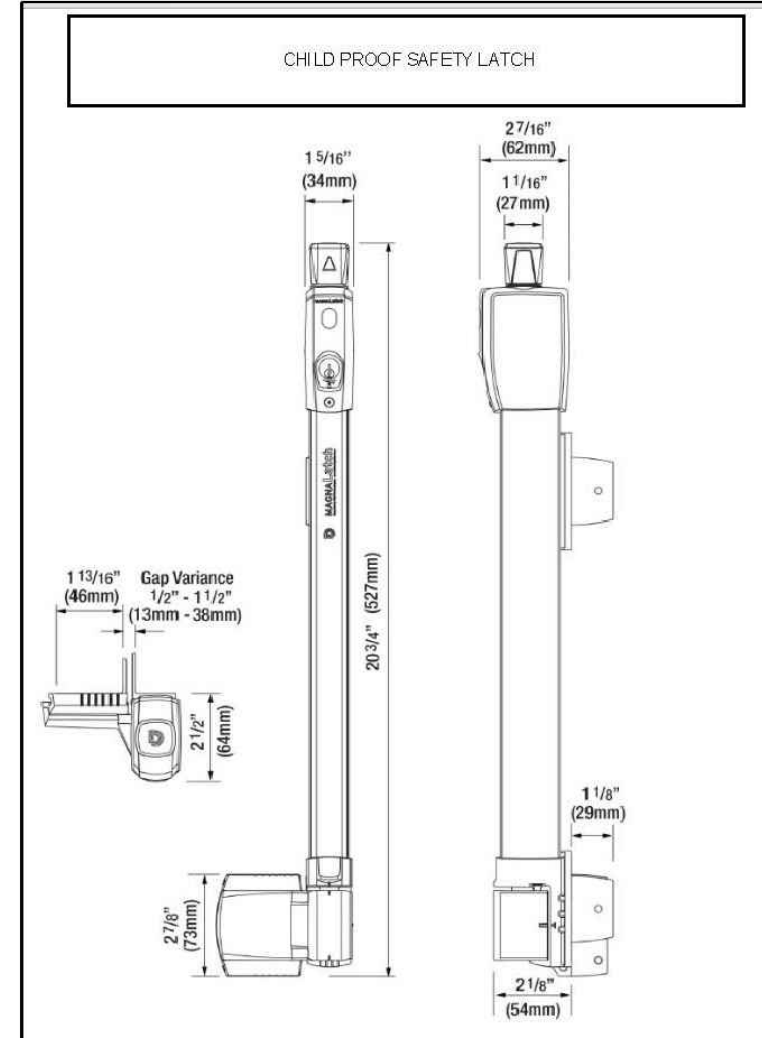
- WALLS GREATER THAN 6 FT REQUIRE A STATE OF GEORGIA PROFESSIONAL
ENGINEER SEAL SIGNED AND DATED, AND AN EXECUTED ENGINEER
CERTIFICATION / INDEMNIFICATION FOR RETAINING WALLS

NOT TO SCALE - TO BE DESIGN BUILT BY CONTRACTOR

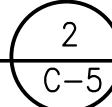


- NOTES:
1. AREA DESIGNATED FOR FUEL STORAGE AND CONCRETE TRUCKS TO DUMP EXCESS CONCRETE

NOT TO SCALE



NOT TO SCALE



—

24 HOUR EMERGENCY CONTACT: ASHLEY BARTON 404-863-2450

Prepared By:
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211 Frasier Street
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678-324-8410
www.crescentvieweng.com

PREPARED FOR:

GEORGIA CLASSIC POOLS
12540 BROADWELL ROAD, SUITE 2201
MILTON, GEORGIA, 30004

CONSTRUCTION DETAILS

DATE	01-04-23		REVISIONS
SCALE	AS SHOWN	02-02-23	CITY COMMENTS
DRAWN	AJC	03-13-23	ARC COMMENTS
CHECKED	CUB		

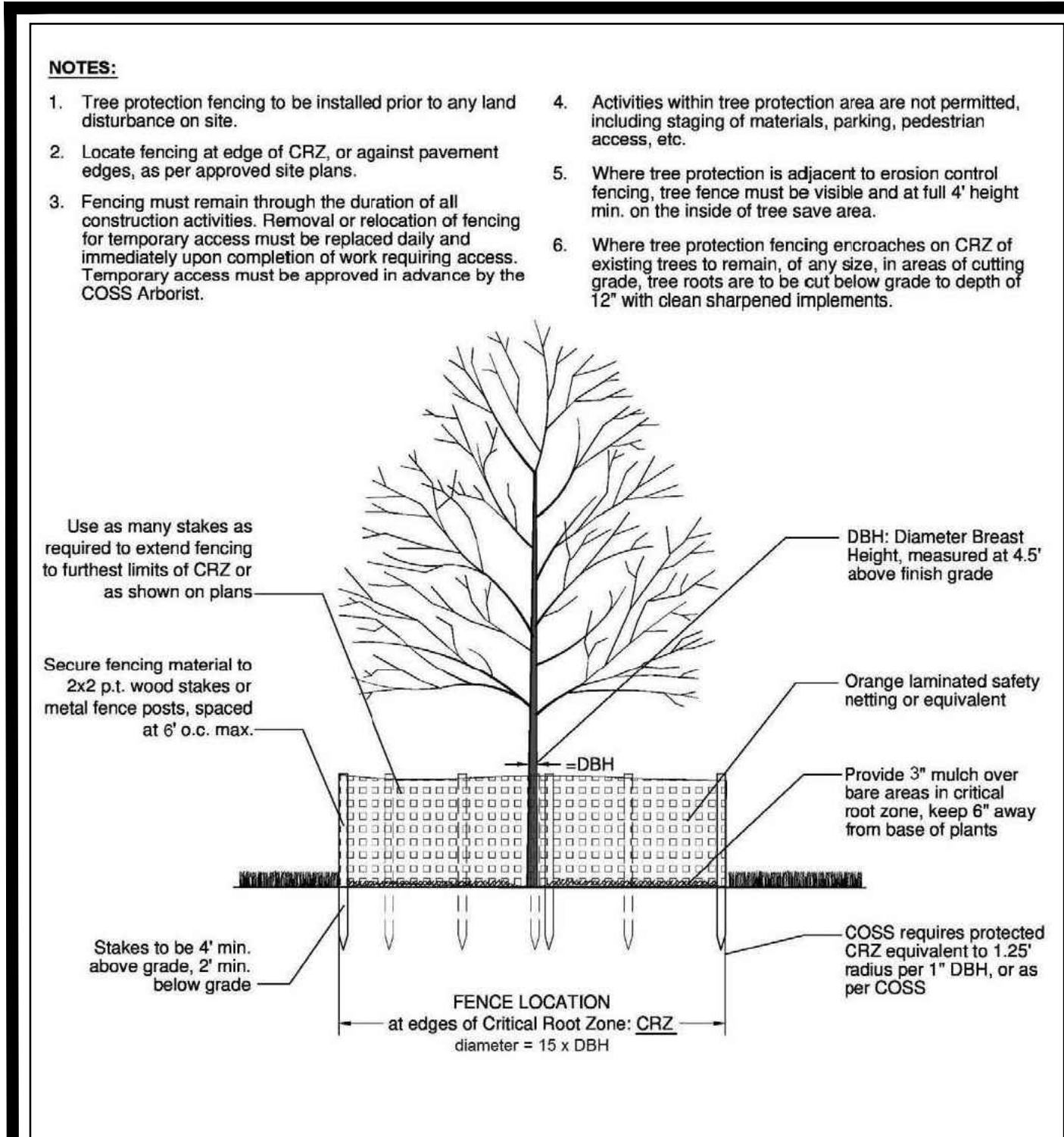


CONSTRUCTION PLANS FOR:

6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTON COUNTY, GEORGIA

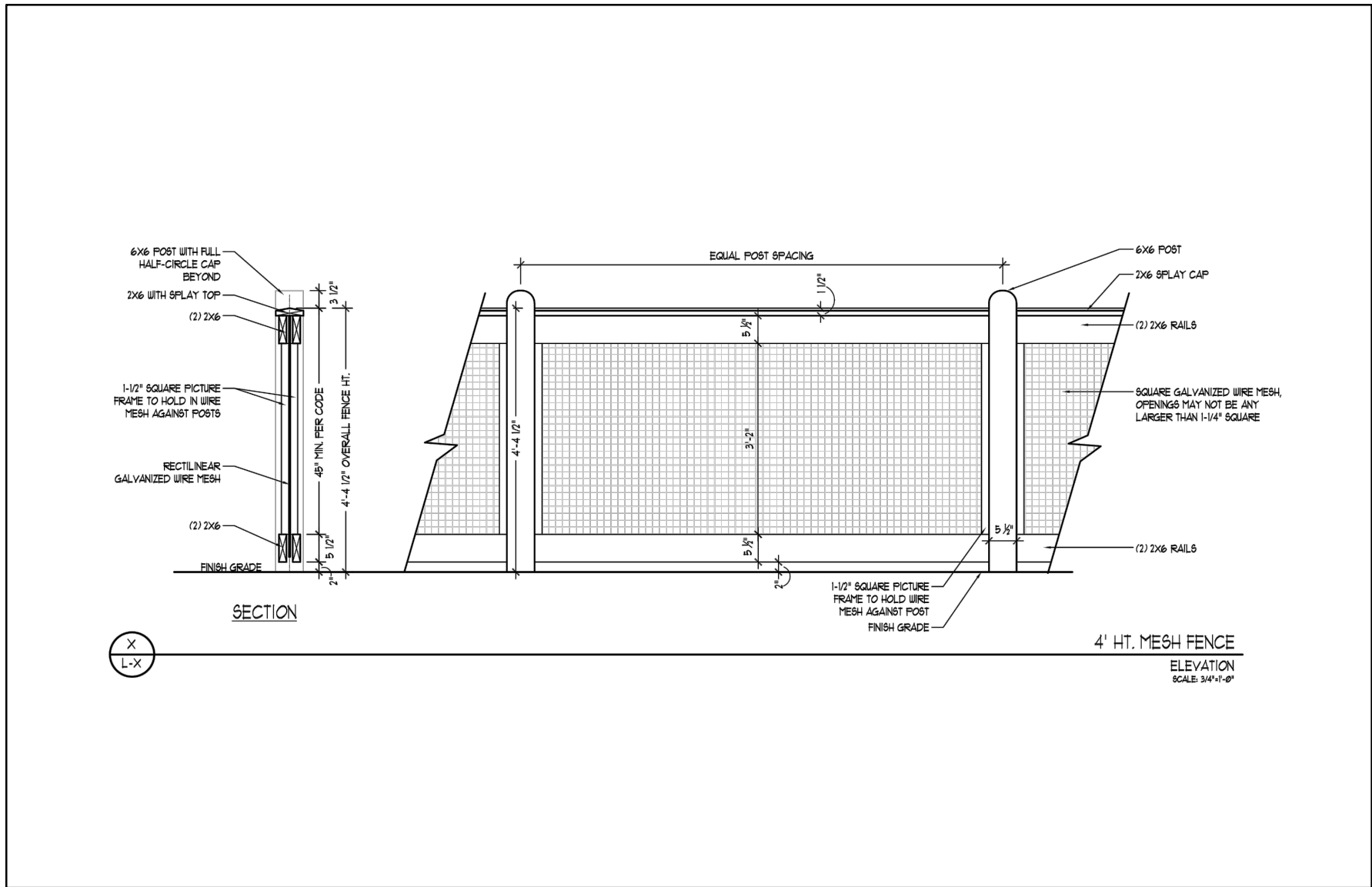
CVE PI #	22-621
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SHEET NO.
C-5



TREE SAVE FENCE DETAIL

NOT TO SCALE



4' HIGH MESH WIRE FENCE

NOT TO SCALE

1
C-6



POOL WINDOW ALARM

POOL ALARMS FOR DOORS AND WINDOWS:

PROVIDE POOL ALARMS ON ALL WINDOWS WITH A SILL HEIGHT OF 48 INCHES OR LESS ABOVE FINISH FLOOR THAT OPEN ONTO THE POOL ENCLOSURE, AS WELL AS ALL DOORS THAT OPEN ONTO THE POOL ENCLOSURE. NOTE THAT ALARMS MUST COMPLY WITH UL-2017. (TYPICAL HOME SECURITY ALARMS DO NOT MEET THE REQUIREMENTS.)

ALARM REQUIREMENTS:

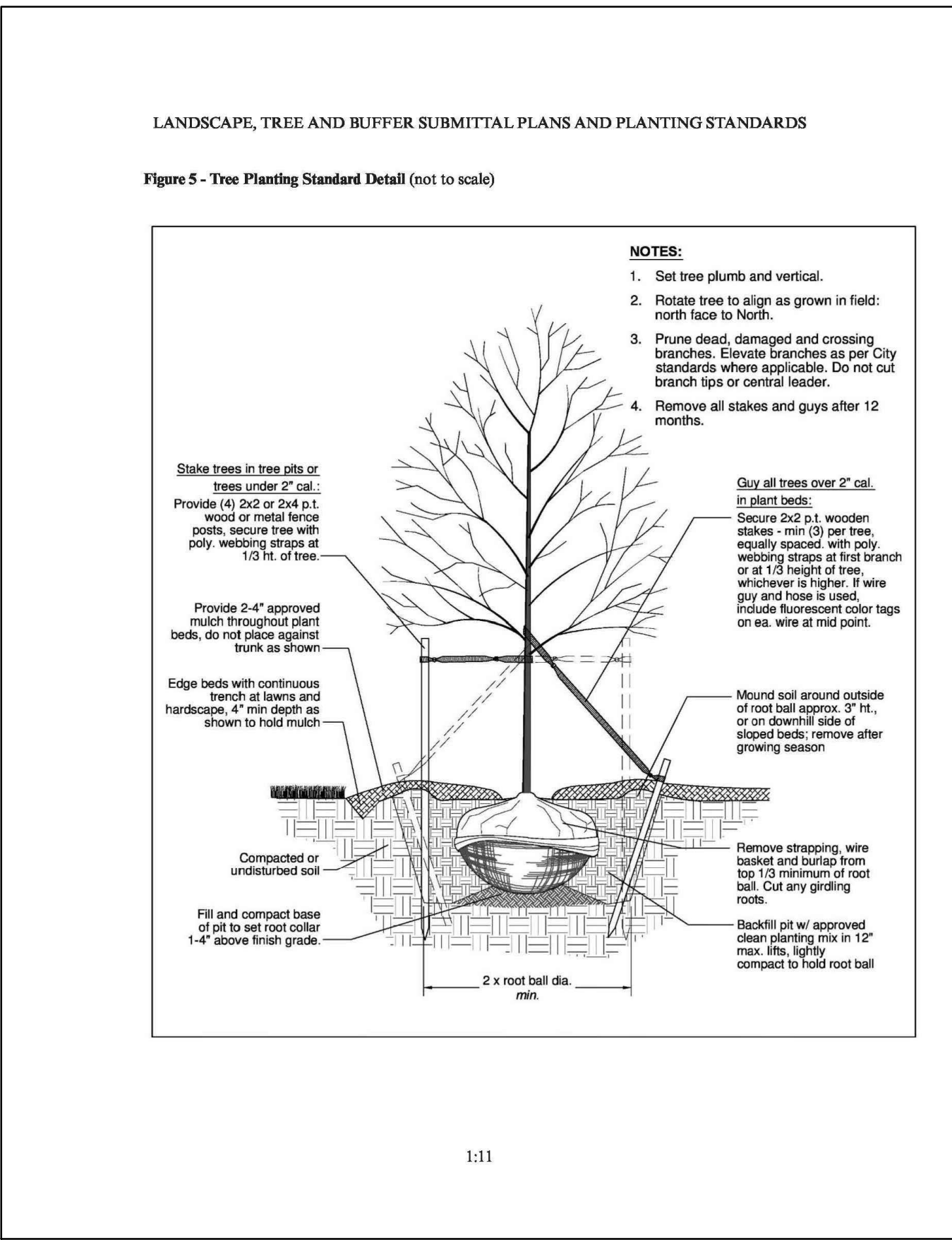
Door Alarms

All doors that allow access to a swimming pool should be equipped with an audible alarm which sounds when the door and/or screen are opened. Alarms should meet the requirements of *UL 2017 General-Purpose Signaling Devices and Systems, Section 77* with the following features:

- Sound lasting for 30 seconds or more within 7 seconds after the door is opened.
- The alarm should be loud: at least 85 dBA (decibels) when measured 10 feet away from the alarm mechanism.
- The alarm sound should be distinct from other sounds in the house, such as the telephone, doorbell and smoke alarm.
- The alarm should have an automatic reset feature to temporarily deactivate the alarm for up to 15 seconds to allow adults to pass through house doors without setting off the alarm. The deactivation switch could be a touchpad (keypad) or a manual switch, and should be located at least 54 inches above the threshold and out of the reach of children.

Self-closing doors with self-latching devices could be used in conjunction with door alarms to safeguard doors which give access to a swimming pool.

2
C-6



TREE PLANTING DETAIL

NOT TO SCALE

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CONSTRUCTION DETAILS

DATE	01-04-23	REVISIONS	
SCALE	AS SHOWN	CITY COMMENTS	
DRAWN	AJC	ARC COMMENTS	
CHECKED	GHB		



CONSTRUCTION PLANS FOR:
6390 BLACK WATER TRAIL NW
LAND LOT 130, 17 DISTRICT
SANDY SPRINGS, FULTONCOUNTY, GEORGIA

CVE PI # 22-621

SHEET NO.
C-6