

DATE: MAY 11, 2023

TO: Mayor Andre Dickens, City of Atlanta
ATTN TO: Keyetta Holmes, Planning and Development Director, City of Atlanta
FROM: Mike Alexander, Director, ARC Center for Livable Communities

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: 1865 River Forest Drive RC-23-04A
MRPA Code: RC-23-04A

Description: A Metropolitan River Protection Act review of a project to construct an addition to a single-family home on a 2.2 acre (94,689 SF) site of which 63,844 SF is within the Chattahoochee River Corridor at 1865 River Forest Drive NW in the City of Atlanta. The project will include a new garage, home addition, motorcourt, entry with stairs, and terrace area. The proposed disturbed area of 27,319 SF and impervious area of 21,320 SF are within allowed limits.

Preliminary Finding: ARC staff have initiated a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Atlanta
Date Opened: May 11, 2023
Deadline for Comments: May 23, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
RIVERLINE HISTORIC AREA

CHATTAHOOCHEE RIVERKEEPER
CITY OF SMYRNA
CITY OF SANDY SPRINGS

For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments on or before May 23, 2023, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

April 13, 2023

Good afternoon. Please find attached an application for MRPA. The applicant is copied in this correspondence and can reply to you with regard to payment.

Keyetta M. Holmes, AICP

Director

Office of Zoning and Development

Department of City Planning

55 Trinity Avenue, S.W.

Suite 3350

Atlanta GA 30303

404-546-0166



APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** City of Atlanta / Fulton County

2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Larry and Gaye Heck
Mailing Address: 1865 River Forest Rd NW
City: Atlanta **State:** GA **Zip:** 30327
Contact Phone Numbers (w/Area Code):
Daytime Phone: _____ **Fax:** _____
Other Numbers: _____

3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Collin Bentley
Mailing Address: 1201 Peachtree St., NE, Suite 1925
City: ATLANTA **State:** GA **Zip:** 30361
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-876-7051 X 107 **Fax:** _____
Other Numbers: _____

4. **Proposed Land or Water Use:**
Name of Development: Heck Residence
Description of Proposed Use: Proposed addition to the house, Expansion of motorcourt, add terrace and site stairs

5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: located in Land lot 235, 17th District, City of Atlanta, Fulton CountyGA

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
1450.50' to Paces Ferry Rd.
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** 63,844 SF
Outside Corridor: 30,845 SF
Total: 94,689 SF
Lots: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Units: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

Revised at REC meeting
to correct table. JMS 4/26/2023

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? YES

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): Add Pool, pool deck and cabana, MRPA -12-001 - 01/04/2012

7. How Will Sewage from this Development be Treated?

A. Septic tank EXISTING

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Proposed addition to the house, Expansion of motorcourt, add terrace and site stairs within C & E categories

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	35,480 SF	24,192 SF	19,266 SF*	(70) 68.2%	(45) 54.3*
D	_____	_____	_____	(50)_____	(30)_____
E	28,364 SF	3,127 SF	2054.6 SF*	(30) 11.0%	(15) 7.76*
F	_____	_____	_____	(10)_____	(2)_____
Total:	63,844 SF	27,319 SF	21,320 SF	N/A	N/A

* INCLUDES A TRANSFER OF 2200 SF OF IMPERVIOUS SURFACE FROM E TO C AT 1 TO 1.5 (2200 X 1.5=3300 SF) AS PER PART 2.A.3.C.(1) OF THE CHATTAHOOCHEE CORRIDOR PLAN



9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO
If “yes”, indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the “E” Category; its allowable allocations can be combined with those of other “E” land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO
If “yes”, indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

____ Written consent of all owners to this application. (Space provided on this form)

____ Name, address, and phone number(s) of applicant or applicant’s agent. (Space provided on this form)

____ Description of proposed use(s). (Space provided on this form)

____ Existing vegetation plan.

____ Proposed grading plan.

____ Certified as-builts of all existing land disturbance and impervious surfaces.

____ Approved erosion control plan.

____ Detailed table of land-disturbing activities. (Both on this form and on the plans)



____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.

____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Collin Bentley 02-13-23

Signature(s) of Applicant(s) or Agent(s)

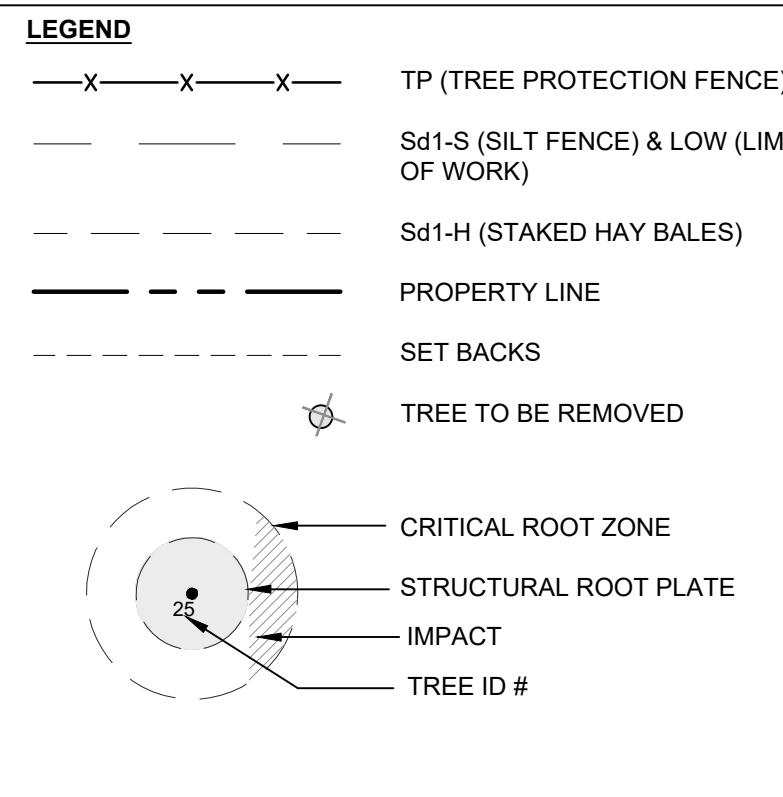
Date

14. The governing authority of City of Atlanta requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Keyetta M. Holmes 04/13/2023
Signature of Chief Elected Official or Official's Designee Date

TREE INFORMATION

IMPACTED TREE TABLE					RECOMPENSE
TREE #	DBH	SPECIES	IMPACT %	STATUS	DBH
1	29	PINE	0.0%	SAVE	0
2	21	PINE	0.0%	SAVE	0
3	17	PINE	0.0%	SAVE	0
4	42	MAG	25.8%	SAVE-PRESC.	0
5	28	HW	100.0%	DESTROY	28
6	11	HW	100.0%	DESTROY	11
7	10	HW	0.0%	SAVE	0
8	22	HW	22.4%	SAVE-PRESC.	0
9	22	POP	100.0%	DESTROY	22
10	8	P	100.0%	DESTROY	8
11	13	P	100.0%	DESTROY	13
12	24	OAK	21.2%	SAVE-PRESC.	0
13	11	HW	16.0%	SAVE	0
14	22	HW	0.3%	SAVE	0
15	23	POP	20.3%	SAVE-PRESC.	0
16	25	HW	100.0%	DESTROY	25
17	16	MAP	100.0%	DESTROY	16
18	9	HW	5.5%	SAVE	0
19	6	MAG	99.9%	DESTROY	6
20	17	OAK	1.7%	SAVE	0
21	30	OAK	15.8%	SAVE	0
22	19	POP	6.2%	SAVE	0
23	14	HW	0.0%	SAVE	0
24	13	HW	100.0%	DESTROY	13
25	15	HW	0.0%	SAVE	0
26	6	CHERRY	99.9%	DESTROY	6
27	21	OAK	5.1%	SAVE	0
28	38	MAG	0.0%	SAVE	0
29	25	PINE	26.7%	SAVE-PRESC.	0
30	20	SG	0.0%	SAVE	0
31	23	OAK	3.9%	SAVE	0
32	25	PINE	1.6%	SAVE	0
33	16	HW	1.4%	SAVE	0
34	32	HW	0.3%	SAVE	0
10					148



ZONING
R-1
FRONT: 60 FT
SIDES: 25 FT
REAR: 35 FT
MAX LOT COVERAGE: 25%

DRIVEWAY NOTE: EXISTING DRIVEWAY TO BE REMOVED WITH HAND TOOLS AND EQUIPMENT AROUND ALL CRITICAL ROOT ZONES. NO GRADING TO OCCUR, REPLACED IN SAME LOCATION

WATERS OF THE STATE ARE NOT PRESENT WITHIN 200 FEET OF THE PROJECT SITE

TOTAL ACREAGE OF SITE : 94.689 (2.174+ AC)
TOTAL AREA DISTURBED: 34.207 SF (78 AC)

CUT / FILL CALCULATIONS

TOTAL CUT: 942 CU YD
TOTAL FILL: 377 CU YD
TOTAL CUT TO BE BROUGHT OFF SITE: **564 CU YRD**
TOTAL FILL TO BE BROUGHT ON SITE: **0 CU YD**

* CUT / FILL CALCULATIONS ARE APPROXIMATE. NOT TO BE USED FOR BID PURPOSES.

HAUL ROUTE IS NEEDED

SEE SURVEY FOR TOP ELEVATIONS OF SANITARY, STORM SEWERS AND STRUCTURES.

CONTRACTOR SHALL LOCATE ALL UTILITIES ON SITE PRIOR TO ANY CONSTRUCTION ACTIVITIES

NO GRADED SLOPE TO EXCEED 2H:1V

ALL TREES OVER 6" DBH SHALL BE PROTECTED DURING CONSTRUCTION

SEE ARCHITECT'S DRAWINGS FOR HOUSE CALCULATIONS

ES&PC AND TREE PROTECTION LEGEND

Co	CONSTRUCTION ENTRANCE
Tr	TREE PROTECTION FENCE
S1-S	SILT FENCE
S1-H	STAKED HAY BALES
Ds1	ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
Ds3	ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
Ds4	ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD ON A HIGHLY ERODABLE OR CRITICALLY ERODED LANDS.
Du	CONTROL SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADWAYS AND SIMILAR SITES.

SEE RETAINING WALL SCHEDULE IN STRUCTURAL ENGINEER PACKAGE FOR ALL LANDSCAPE WALLS.

24 HR CONTACT:
NEAL GASAWAY
(678)414-8030

EROSION CONTROL NOTES

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY DURING ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
- CONTRACTOR TO EXCAVATE OR FILL TO TO ACHIEVE WITHIN 3" OF FINISH GRADES ON GRADING PLAN.
- EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE CLEANED WHEN THEY REACH 1/3 CAPACITY.
- CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES AFTER COMPLETION AND AFTER PERMANENT COVER HAS BEEN ESTABLISHED.

SWIMMING POOL BARRIER REQUIREMENT NOTES:

- ALL OUTDOOR AQUATIC VESSELS AND INDOOR SWIMMING POOLS SHALL BE SURROUNDED BY A BARRIER THAT COMPLIES WITH SECTIONS 305.2.1 THROUGH 305.7.
- THE TOP OF THE BARRIER SHALL NOT BE LESS THAN 48" ABOVE GRADE WHERE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE AQUATIC VESSEL. SUCH HEIGHT SHALL EXIST AROUND THE ENTIRE PERIMETER FOR THE VESSEL AND FROM A DISTANCE OF 3 FEET WHERE MEASURED HORIZONTALLY FROM THE REQUIRED BARRIER.
- THE VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF BARRIER SHALL NOT EXCEED 2 INCHES FOR GRADE SURFACES THAT ARE NOT SOLID WHERE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE VESSEL.
- THE VERTICAL CLEARANCE BETWEEN A SURFACE BELOW THE BARRIER TO A SOLID SURFACE, SUCH AS CONCRETE, AND THE BOTTOM BARRIER SHALL NOT EXCEED 4" WHERE MEASURED ON THE SIDE OF THE REQUIRED BARRIER THAT FACES AWAY FROM THE VESSEL.
- WHERE THE TOP OF THE VESSEL STRUCTURE IS ABOVE GRADE, THE BARRIER SHALL BE INSTALLED ON GRADE OR SHALL BE MOUNTED ON TOP OF THE VESSEL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON THE TOP OF THE VESSEL, THE VERTICAL CLEARANCE BETWEEN THE TOP OF THE VESSEL AND THE BOTTOM OF THE BARRIER SHALL NOT EXCEED 4 INCHES.
- DOORS OR OPERABLE WINDOWS WITH A SILL HEIGHT 48" OR LESS SHALL HAVE MEANS OF PROTECTIONS, SUCH AS SELF-CLOSING DOORS WITH SELF-LATCHING DEVICES AND ALARMS.

REPLACEMENT TREES	QTY	TOTAL INCHES
4" SWEETBAY MAGNOLIA <i>Magnolia virginiana</i>	4	16
3" FLOWERING DOGWOOD <i>Cornus florida</i>	2	6
3" EASTERN REDBUD <i>Cercis canadensis</i>	2	6
5" SHUMARD OAK <i>Quercus shumardii</i>	2	10
TOTAL REPLACED	10	38

TREE RECOMPENSE CALCULATION

TREES DESTROYED	10
TREES REPLACED	10
INCHES DESTROYED	148
INCHES REPLACED	38
Recompense = (\$100(10-10)) + (\$30(148-38))	\$3,300.00

METROPOLITAN RIVER PROTECTION

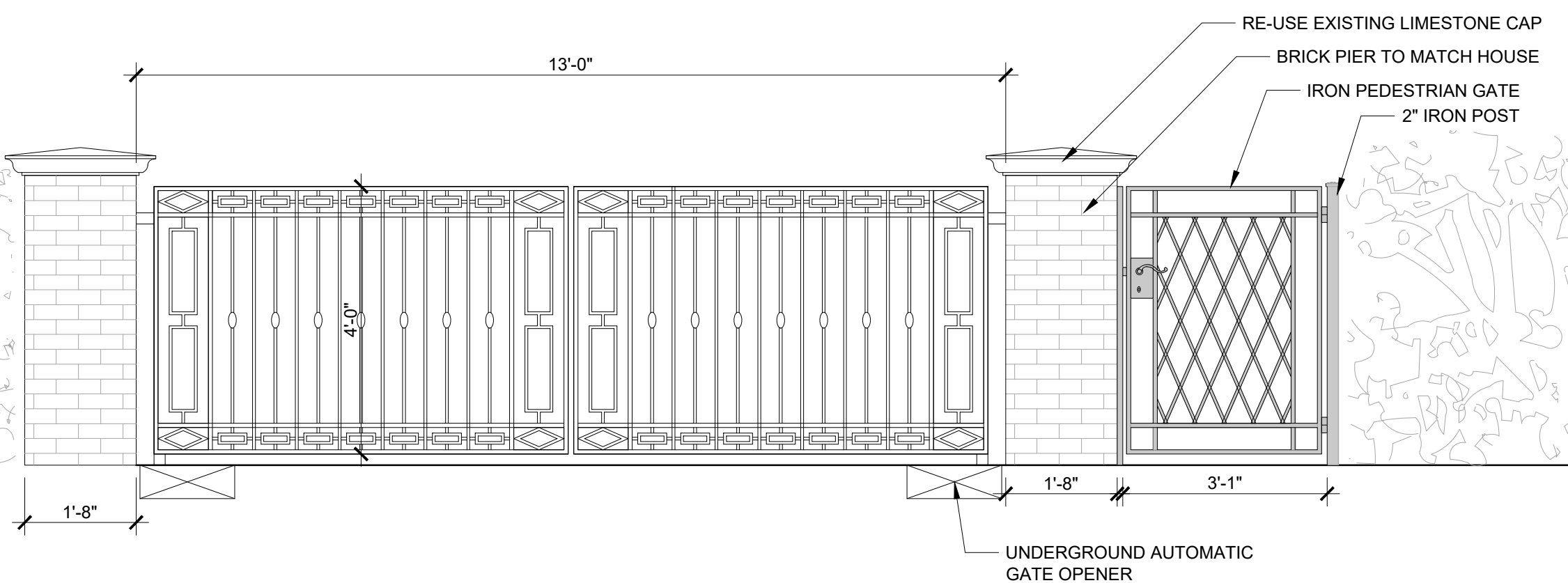
VULNERABILITY CATEGORY	TOTAL SF	TOTAL SF LAND DISTURBANCE	TOTAL SF IMPERV. SURFACE	PERCENT LAND DISTURB.	PERCENT IMPERVIOUS
A					
B					
C	35,480	24,192	19,266	68.2%	54.3%**
D					
E	28,364	3,127	2054.6	11.0%	7.76%**
F					
TOTAL	63,844	27,319	21,321		

**Includes a transfer of 2200 SF of impervious surface from E to C at 1 to 1.5 (2200 x 1.5 = 3300 SF) as per Part 2.A.3.c.(1) of the Chattahoochee Corridor Plan

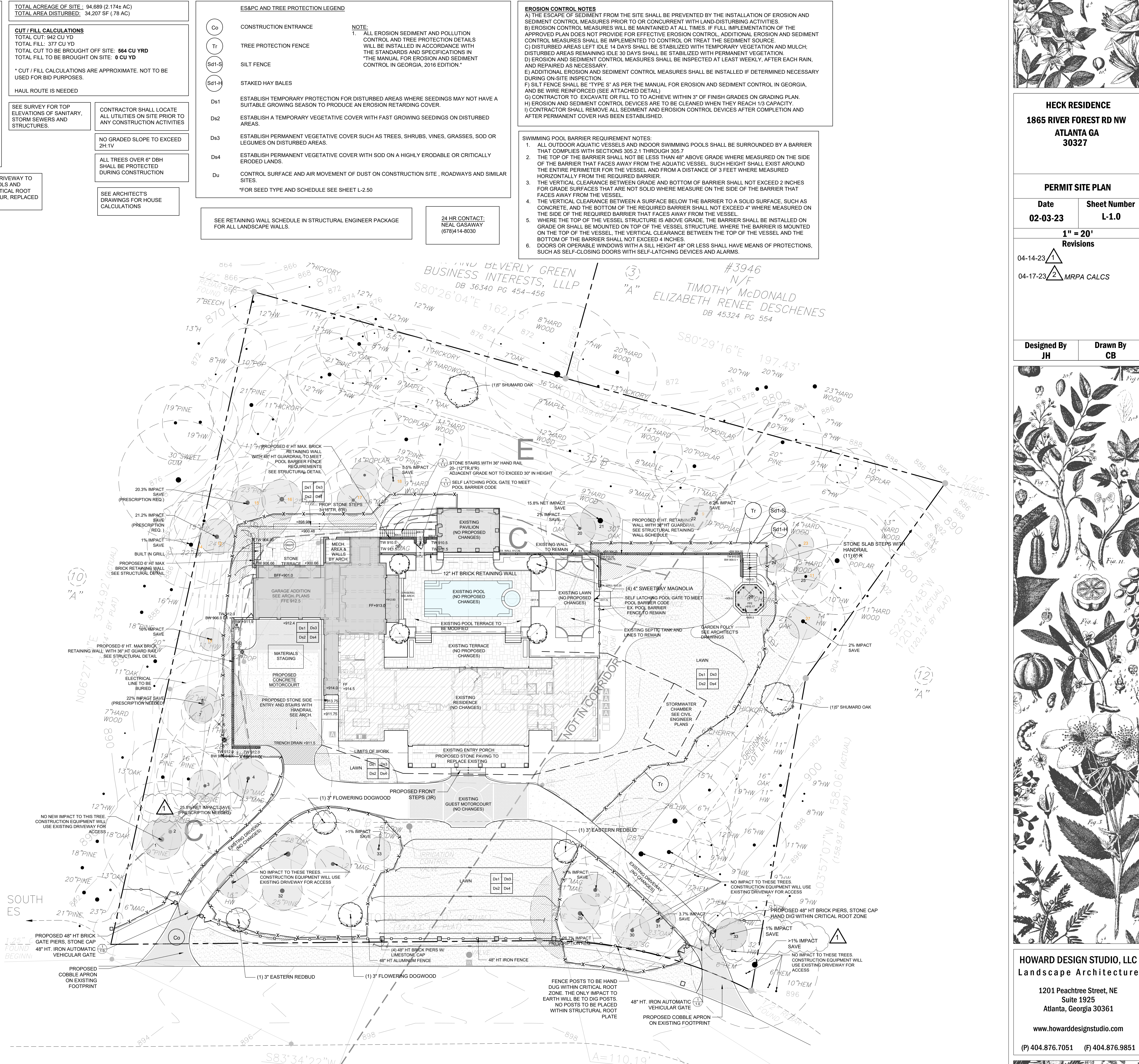
LOT COVERAGE CALCULATIONS

LOT SIZE	94,689 SF
R-1 MAXIMUM LOT COVERAGE	25% 23,672.25

LOT COVERAGE AREA	EXISTING TO REMAIN SF	PROPOSED IMPROVEMENTS SF	SUBTOTAL SF
HOUSE	5,274	2,621	7,895
DRIVEWAY AND MOTORCOURT	5,110	2,790	7,900
POOL PAVILION	785		785
POOL, POOL DECK AND REAR TERRACE	3,018	228	3,246
FRONT ENTRY PORCH AND STEPS	745		745
PROPOSED OTHER AREAS (FOLLY)		237	237
SITE WALLS AND STAIRS	66	630	696
BASEMENT TERRACE		840	840
TOTAL IMPERVIOUS	14,998	7,346	22,344
			23.6%

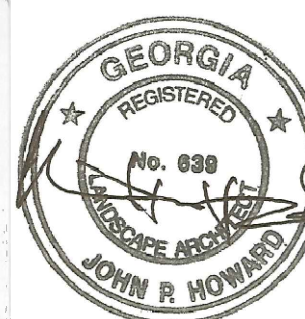


1 FRONT ENTRY VEHICULAR GATE SCALE: 1/2"=1'-0"



GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

John P Howard
Level II Certified Design Professional
CERTIFICATION NUMBER: 0000061980
ISSUED: 10/13/2022 EXPIRES: 10/13/2025



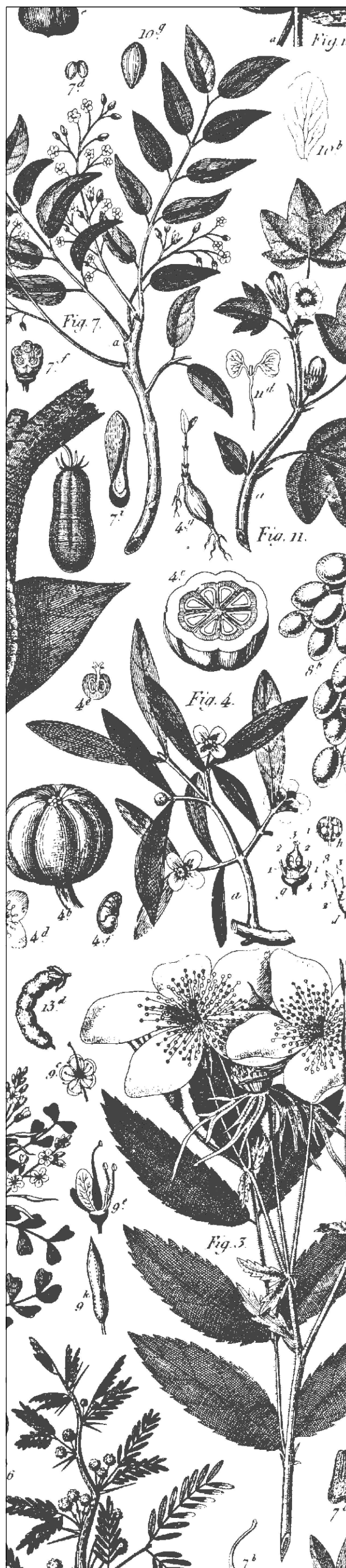
HECK RESIDENCE
1865 RIVER FOREST RD NW
ATLANTA GA
30327

PERMIT SITE PLAN

Date	Sheet Number
02-03-23	L-1.0

1" = 20'
Revisions
04-14-23 1
04-17-23 2 MRPA CALCS

Designed By	Drawn By
JH	CB



HOWARD DESIGN STUDIO, LLC
Landscape Architecture

1201 Peachtree Street, NE
Suite 1925
Atlanta, Georgia 30361

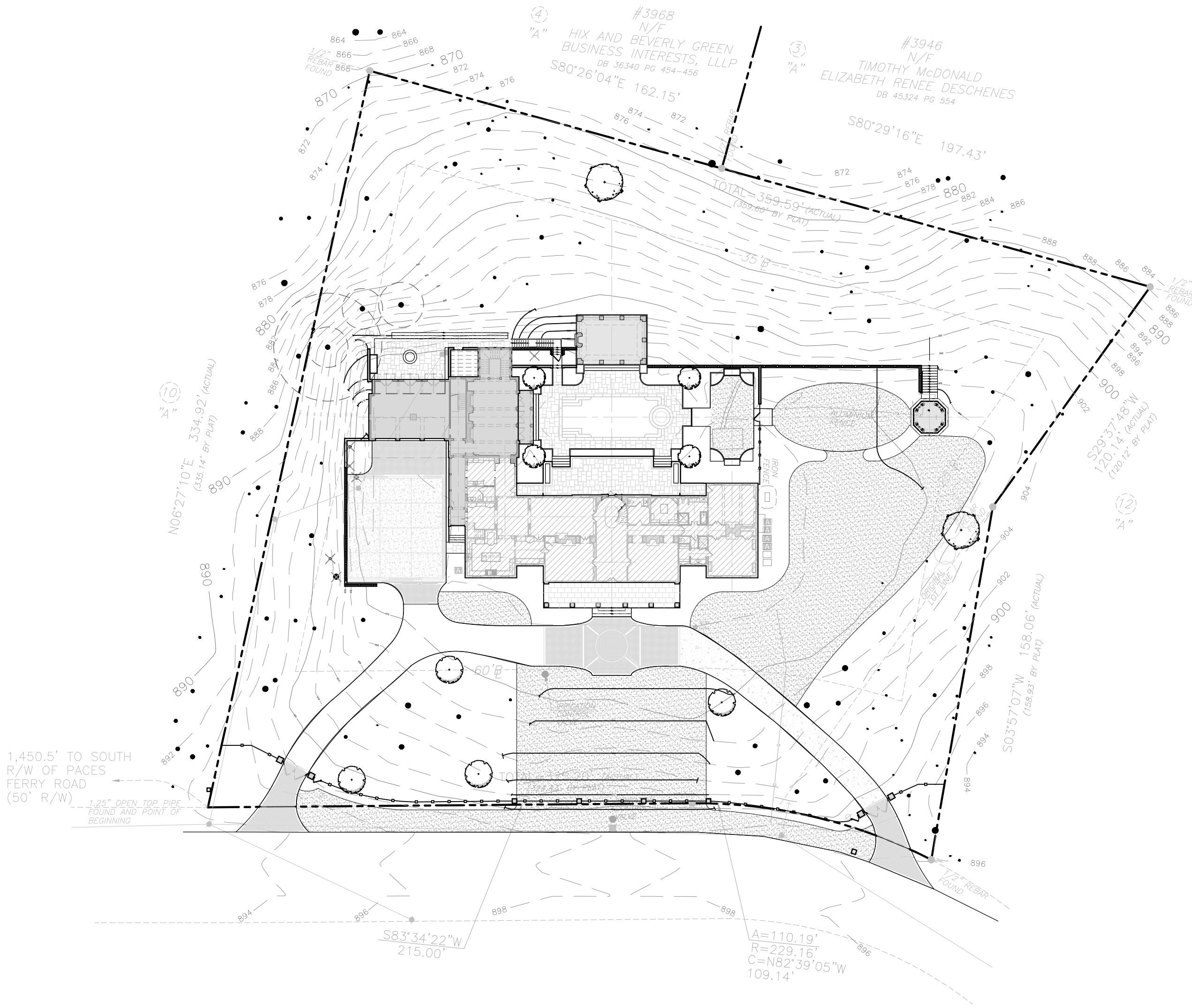
www.howarddesignstudio.com

(P) 404.876.7051 (F) 404.876.9851



A GARAGE ADDITION AND SITE IMPROVEMENTS
FOR
THE HECK RESIDENCE

1865 RIVER FOREST DR NW
ATLANTA ,GA 30327



PROJECT DATA

OWNER:
LARRY AND GAYE HECK
1865 RIVER FOREST DR NW
ATLANTA, GA 30327

ARCHITECT
D.STANLEY DIXON, ARCHITECT
2300 PEACHTREE ROAD
SUITE C-101
ATLANTA, GA 30309
(404) 574-1430

LANDSCAPE ARCHITECT
HOWARD DESIGN STUDIO, LLC
1201 PEACHTREE STREET, NE,
400 COLONY SQUARE, SUITE 1925
ATLANTA, GEORGIA 30361
(404)876-7051

CIVIL ENGINEER
JVG ENGINEERING
1309 ARNOLD AVE
ATLANTA GA 30324
(770) 402-3471

STRUCTURAL ENGINEER
KOBLASZ AND KENNISON
ENGINEERING.PC
333 CREEKSTONE RIDGE,
WOODSTOCK, GA 30188
(404) 860-2600

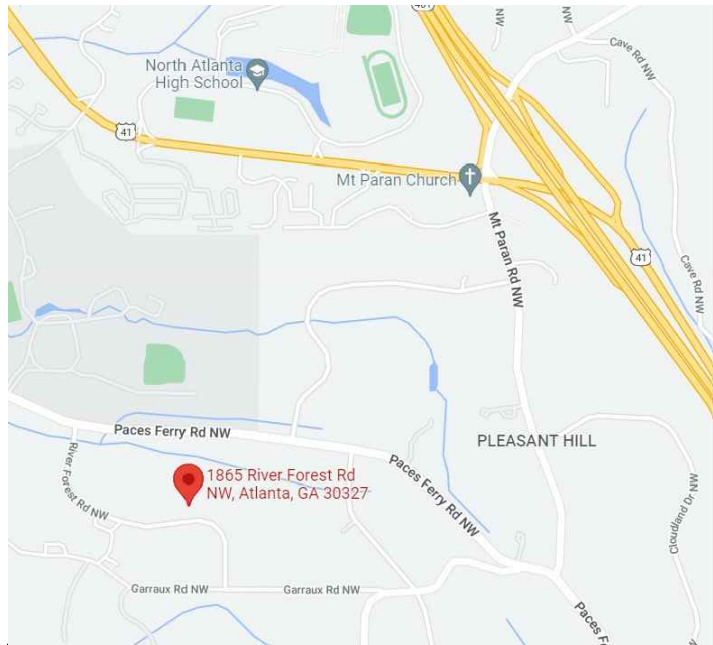
SURVEY INFORMATION:
MCCLUNG SURVEYING
4833 SOUTH COBB DR STE 200
SMYRNA, GA 30080
(770)434-3383

GENERAL CONTRACTOR / 24 HOURS CONTACT:
NEAL GASAWAY
(678)414-8030

EROSION CONTROL CONTRACTOR:
NEAL GASAWAY
(678)414-8030



MRPA-23-04



VICINITY MAP

ZONING R-1

ZONING BUILDING LINE SETBACKS

FRONT: 60'
SIDE : 25'
REAR : 35'

ZONING LOT REQUIREMENTS SUMMARY

MIN. LOT AREA - 2 ACRES
MIN. STREET FRONTAGE - 200'
MAX. LOT COVERAGE - 25%
MAX. FLOOR AREA RATIO - 0.25

MIN. REQUIRED CAR PARKING SPACES - 2

BUILDING CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE, 2017 EDITION, WITH NO GEORGIA AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2012 EDITION WITH GEORGIA AMENDMENTS (2014)

ACTIVITY SCHEDULE

ACTIVITY SCHEDULE	DATE
INITIAL EROSION CONTROL BMP'S INSTALLATION	MARCH 2023
INTERMEDIATE EROSION CONTROL BMP'S	MARCH 2023
FINAL PHASE EASC BMP'S	MARCH 2023
MAINTENANCE OF EASC PRACTICES	ONGOING
DEMOLITION	MARCH 2023
CLEARING & GRUBBING	MARCH 2023
GRADING	MARCH 2023
TEMPORARY GRASSING @14 DAY INTERVALS	MARCH 2023
PERMANENT GRASSING @ 30 DAY INTERVALS	ONGOING
FINAL CLEAN UP	SEPT. 2023

DISTURBED AREA:

TOTAL LOT AREA:	94,889 SF	2.17 ACRES
TOTAL DISTURBED AREA:	34,207 SF	.78 ACRES

% AREA DISTURBED: 36%

NOTES:

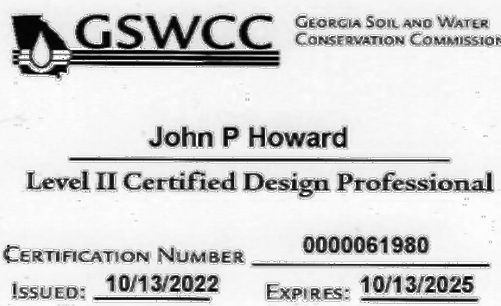
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION
- ANY DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE RIGHT-OF-WAY. CONTACT TECHNICAL SERVICES.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.
- MAINTENANCE STATEMENT - EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- MAINTENANCE STATEMENT - EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND BE REPAIRED BY THE GENERAL CONTRACTOR.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEMED NECESSARY BY ON-SITE INSPECTOR.
- NO GRADED SLOPE SHALL EXCEED 2H:1V.
- ALL UNSUITABLE SOILS AND TOP SOILS WILL BE STOCKPILED ON-SITE AND SPREAD ON ALL PROPOSED SLOPES TO FACILITATE THE ESTABLISHMENT OF ALL GROUND COVER.
- CONTRACTOR TO ANTICIPATE THAT ONE GRASSING ATTEMPT OF THE DISTURBED AREAS WILL NOT BE ADEQUATE TO PROVIDE A SUFFICIENT STAND OF GROUND COVER. MULTIPLE ATTEMPTS AT GRASSING OF DISTURBED AREA SHOULD BE ANTICIPATED FOR THIS PROJECT. GRASSING PROCEDURES WILL BE CARRIED OUT ON REGULAR AND TIMELY INTERVALS UNTIL A GOOD AND COMPLETE STAND OF GROUND COVER HAS BEEN ESTABLISHED

WATERS OF THE STATE DO EXIST WITHIN 200FT OF THE PROJECT SITE.

14. CONTRACTOR TO RE-USE EXISTING SEWER AND UTILITY CORRIDOR. IN THE EVENT THAT A NEW UTILITY OR SEWER LOCATION IS REQUIRED, THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE CITY OF ATLANTA ARBORIST DIVISION PRIOR TO SITE DISTURBANCE.

15. PER THE SURVEY BY MCCLUNG SURVEYING, WATER PROVIDED BY CITY OF ATLANTA. SEWER PROVIDED BY CITY OF ATLANTA.

FLOOD NOTE:
F.E.M.A.'S OFFICIAL "FLOOD INSURANCE RATE MAP"(FIRM)
NO. 13121C0232 F. EFFECTIVE DATE: 09/18/2013
GRAPHICALLY SHOWS THIS PROPERTY IS NOT IN AN AREA
HAVING A "SPECIAL FLOOD HAZARD"(100-YEAR FLOOD).
THIS DOES NOT IMPLY FLOODING IS NOT POSSIBLE.



ISSUED FOR CONSTRUCTION

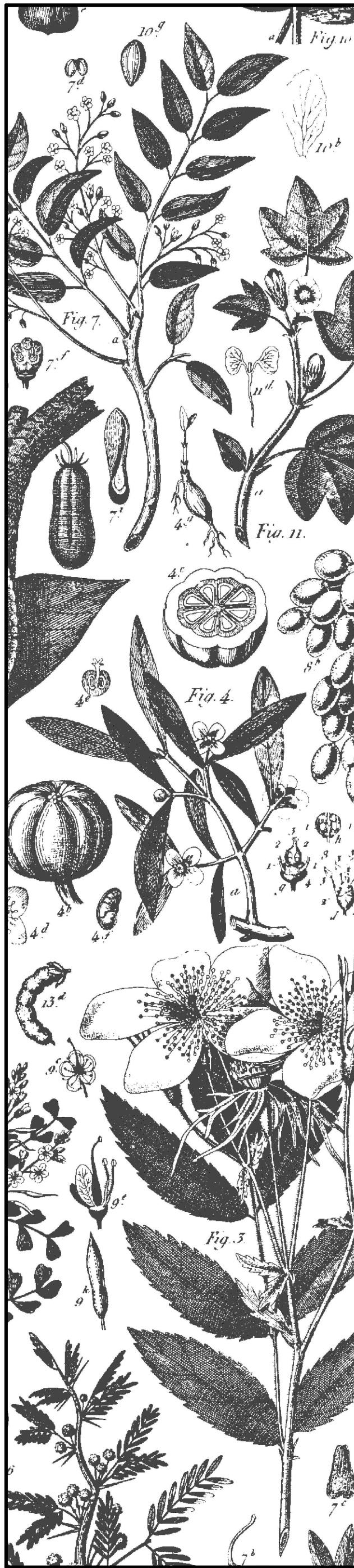
HECK RESIDENCE
1865 RIVER FOREST RD NW
ATLANTA GA
30327

PERMIT COVER

Date 02-03-23 Sheet Number COVER

Revisions

Designed By JH Drawn By CB



HOWARD DESIGN STUDIO, LLC
Landscape Architecture

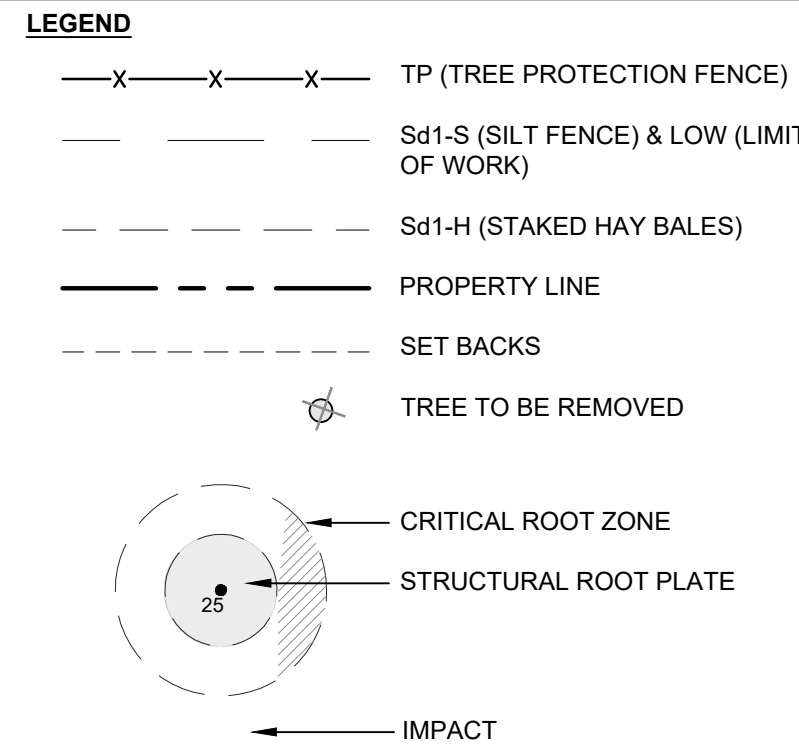
1201 Peachtree Street, NE
Suite 1925
Atlanta, Georgia 30361

www.howarddesignstudio.com

(P) 404.876.7051 (F) 404.876.9851



NO TREES DESTROYED
DURING DEMOLITION



ZONING
R-1
FRONT: 60 FT
SIDES: 25 FT
REAR: 35 FT
MAX LOT COVERAGE: 25%

SEE SURVEY FOR TOP
ELEVATIONS OF SANITARY,
STORM SEWERS AND
STRUCTURES.

WATERS OF THE STATE ARE
PRESENT WITHIN 200 FEET
OF THE PROJECT SITE

CONTRACTOR SHALL LOCATE
ALL UTILITIES ON SITE PRIOR TO
ANY CONSTRUCTION ACTIVITIES

NO GRADED SLOPE TO EXCEED
2H:1V

ALL TREES OVER 6" DBH
SHALL BE PROTECTED
DURING CONSTRUCTION

ES&PC AND TREE PROTECTION LEGEND

Co

CONSTRUCTION ENTRANCE

Tr

TREE PROTECTION FENCE

Sd1-S

SILT FENCE

Sd1-H

STAKED HAY BALES

Ds1

ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.

Ds2

ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.

Ds3

ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.

Ds4

ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD ON A HIGHLY ERODABLE OR CRITICALLY ERODED LANDS.

Du

CONTROL SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADWAYS AND SIMILAR SITES.

*FOR SEED TYPE AND SCHEDULE SEE SHEET L-2.50

NOTE:

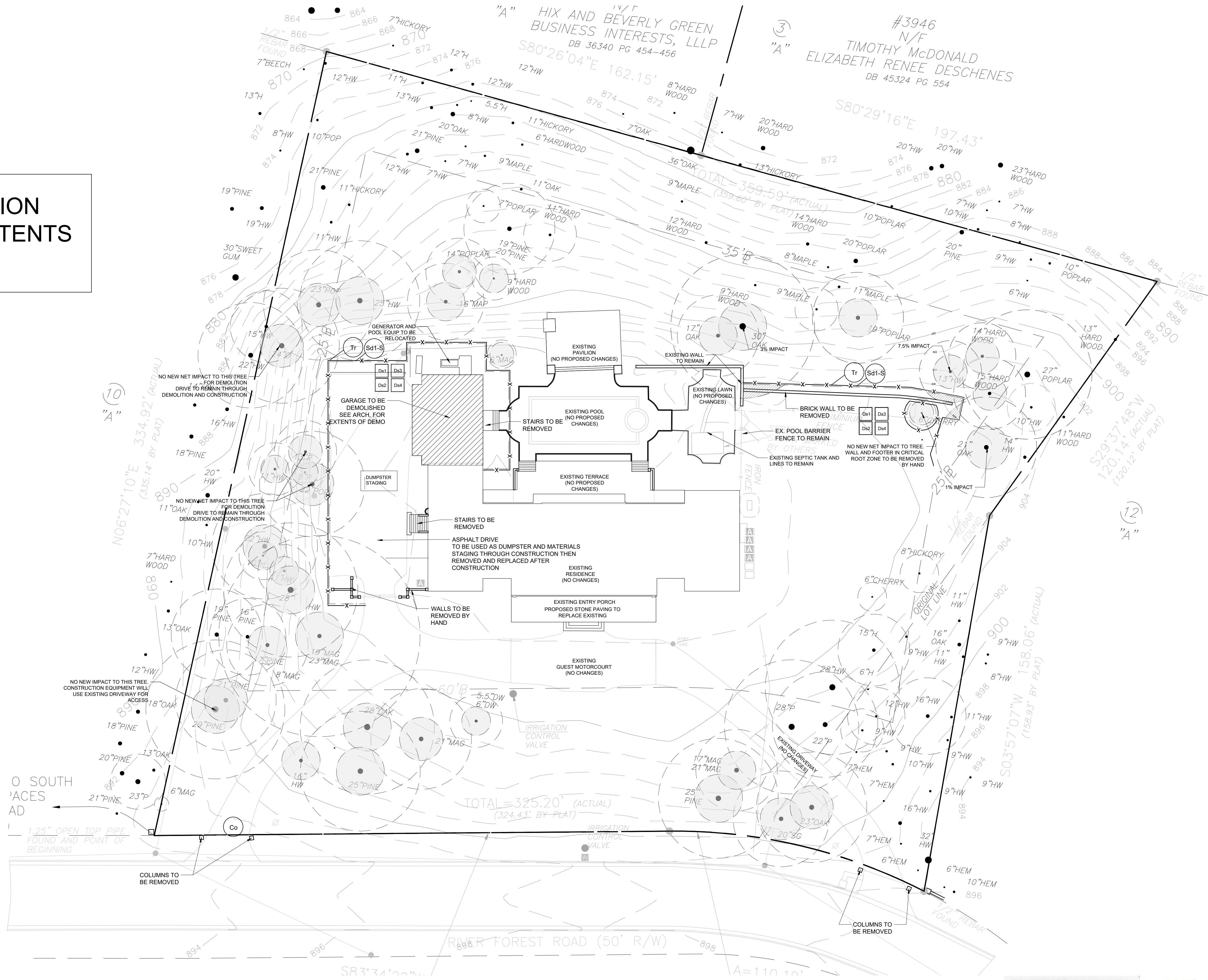
1. ALL EROSION SEDIMENT AND POLLUTION CONTROL AND TREE PROTECTION DETAILS WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS IN "THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, 2016 EDITION."

EROSION CONTROL NOTES

A) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
B) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
C) DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
E) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY DURING ON-SITE INSPECTION.
F) SILT FENCE SHALL BE "TYPE S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
G) CONTRACTOR TO EXCAVATE OR FILL TO TO ACHIEVE WITHIN 3" OF FINISH GRADES ON GRADING PLAN.
H) EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE CLEANED WHEN THEY REACH 1/3 CAPACITY.
I) CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES AFTER COMPLETION AND AFTER PERMANENT COVER HAS BEEN ESTABLISHED.

24 HR CONTACT:
NEAL GASAWAY
(678)414-8030

SEE C 2.1 DEMOLITION
PLAN FOR FULL EXTENTS
OF DEMOLITION



GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
John P Howard
Level II Certified Design Professional
CERTIFICATION NUMBER: 0000061980
ISSUED: 10/13/2022 EXPIRES: 10/13/2025



HECK RESIDENCE

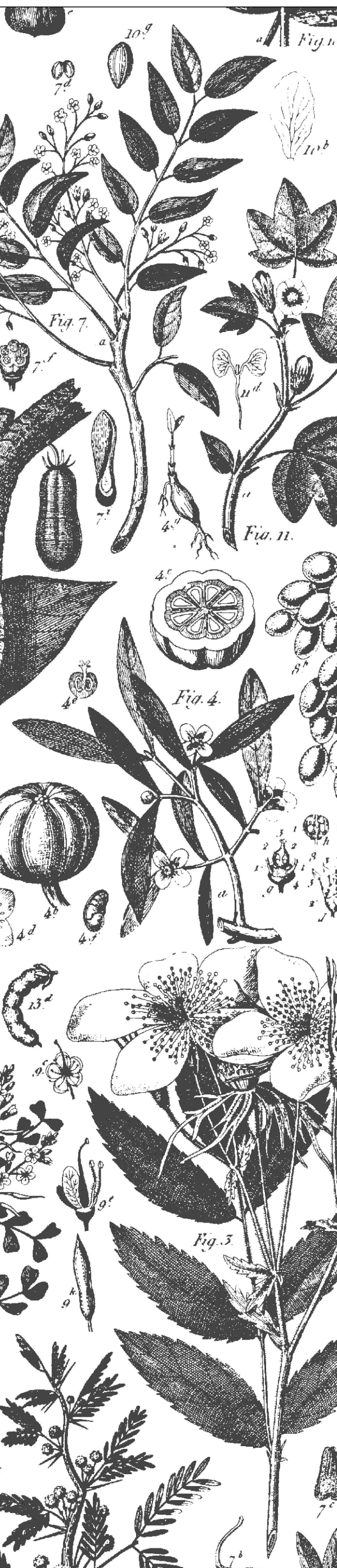
1865 RIVER FOREST RD NW
ATLANTA GA
30327

DEMO TREE PROTECTION PLAN

Date: 02-03-23 Sheet Number: L-0.5

1" = 20'
Revisions

Designed By: JH Drawn By: CB



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Landscape Architecture

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BEFORE ANY EXCAVATION WORK BEGINS OR ANY WORK BEGINS
WITHIN TEN(10) FT. OF OVERHEAD POWER LINES OF 750 VOLTS OR
MORE, NOTIFICATION MUST BE MADE TO THE UTILITIES PROTECTION
CENTER (UPC) AT TELEPHONE NUMBER 811 PER O.C.G.A. § 25-9-1 (2007)

LIMITS OF DISTURBANCE NOTE:
SILT-FENCE TO SERVE AS LIMITS OF DISTURBANCE
WHERE NO "LIMIT OF DISTURBANCE" LINE IS DEPICTED
ON THIS PLAN

NOTE:
SEE ADDITIONAL SHEETS FOR EROSION CONTROL NOTES,
DETAILS, AND CERTIFICATIONS.

TOTAL LAND DISTURBANCE: 0.75 ACRES

NOTE:
ANY TRACKING OF DIRT, SILT, MUD, ETC. ON TO A STREET
WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.

EROSION & SEDIMENT CONTROL LEGEND:

- Co CONSTRUCTION EXIT
Du DUST CONTROL
Ds1 MULCHING
Ds2 TEMPORARY VEGETATION
Ds3 PERMANENT VEGETATION
Mb MATTING BLANKET
Su SLOPE SURFACE ROUGHENING
Sd1-S SEDIMENT BARRIER - WIRE REINFORCED FOR SENSITIVE AREAS
Sd2 INLET SEDIMENT PROTECTION
St STONE DISCHARGE APRON

LINE LEGEND:

- X X X X SEDIMENT BARRIER
TP TP TP TP PLASTIC TREE PROTECTION FENCE /
LIMIT OF DISTURBANCE

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"ANY DISTURBED AREAS REMAINING IDLE FOR 30 DAYS SHALL BE
STABILIZED WITH PERMANENT VEGETATION."

CITY OF ATLANTA EROSION CONTROL NOTES:

- a) The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
b) Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
c) Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.
d) Any disturbed areas remaining idle for 30 days shall be stabilized with permanent vegetation.
e) Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
f) Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
g) Silt fence shall meet the requirements of Section 171 -- Type C temporary silt fence, of the Georgia Department of Transportation Standard Specifications, 1993 edition, and be wire reinforced.
h) The property owner and contractor are equally responsible for all erosion control activities.
i) It is the responsibility of the contractor to obtain qualified professional advice when questions arise concerning design and effectiveness of erosion control devices, not the City of Atlanta.
j) All temporary and permanent seeding must be performed at the appropriate season. In such instances where the establishment of vegetation is inopportune due to season or drought, disturbed areas shall be temporarily stabilized using 2"-4" of mulch (Ds1). Additional plantings will be necessary if a sufficient stand of grass fails to grow.
k) The City's designee will verify adequate cover (100% cover, 70% density) of permanent stabilization (Ds3, Ds4).
l) Silt fences shall not be placed in stream buffer or floodplains, unless utilized for the construction of an exempt activity (i.e. roadway drainage structures, sewer/water crossings, or drainage structures) per the approved plans. For such disturbances within the buffer, the area shall be immediately stabilized using erosion control matting and/or blankets once the activity is complete.
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n) Sediment storage volume @ 67 cy/acre must be installed prior to any other land disturbance activity and in place until final stabilization occurs.
o) For each site on which land disturbing activity occurs, each entity or person acting as either a primary, secondary, or tertiary permittee, as defined in the state general permit, shall have as a minimum one person who is in responsible charge of erosion and sedimentation control activities on behalf of said entity or person and meets the applicable (Level 1A) education or training certification requirements (O.C.G.A. 12-7-19(a)(2)).
p) Subcontractors involved with land disturbance activities shall meet the education requirements (Level 1) described in O.C.G.A. 12-7-19."

24 HOUR EROSION
CONTROL CONTACT*

NAME: _____
CELL #: _____

*CONTACT IS TO BE REPRESENTATIVE
OF CONTRACTOR/PRIMARY PERMITTEE.



ENGINEER CONTACT:

JONATHAN HICKS, P.E.
JVG CIVIL ENGINEERING, INC.
1309 ARNOLD AVENUE, NE
ATLANTA, GA 30324
PH: 770-402-3471
FAX: 404-487-8982

PHASE I EROSION, SEDIMENT,
AND POLLUTION CONTROL PLAN
1865 RIVER FOREST ROAD
LAND LOT 235, 17TH DISTRICT
THE CITY OF ATLANTA, FULTON COUNTY, GA
TAX ID: 17 02350001011

1	ISSUED FOR CONSTRUCTION	2/13/23
No.	Revision/Issue	Date

JVG
Civil Engineering

1309 Arnold Avenue, NE
Atlanta, GA 30324
770-402-3471

OWNER/DEVELOPER:

CONTACT:

Project	220428	Sheet
Date	4/28/2022	C7
Scale	1"=20'	



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Sd1-S SEDIMENT BARRIER - WIRE REINFORCED FOR SENSITIVE AREAS
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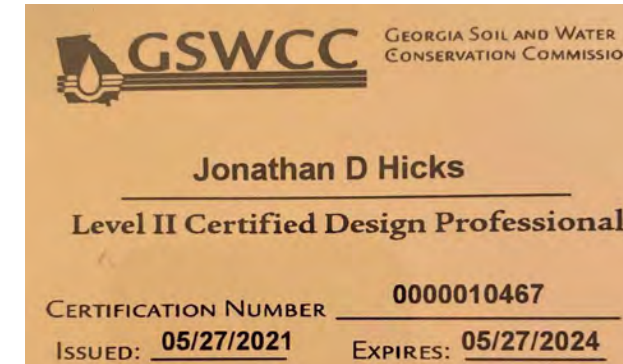
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24 HOUR EROSION CONTROL CONTRACT*

NAME: _____
CELL #: _____

*CONTACT IS TO BE REPRESENTATIVE
OF CONTRACTOR/PRIMARY PERMITTEE.



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JVG CIVIL ENGINEERING, INC.
1309 ARNOLD AVENUE, NE
ATLANTA, GA 30324
PH: 770-402-3471
FAX: 404-487-8982

PHASE II EROSION, SEDIMENT,
AND POLLUTION CONTROL PLAN
1865 RIVER FOREST ROAD
LAND LOT 235, 17TH DISTRICT
THE CITY OF ATLANTA, FULTON COUNTY, GA
TAX ID: 17 02350001011

1	ISSUED FOR CONSTRUCTION	2/13/23
No.	Revision/Issue	Date

JVG
Civil Engineering
1309 Arnold Avenue, NE
Atlanta, GA 30324
770-402-3471

OWNER/DEVELOPER:

CONTACT:

Project	220428	Sheet
Date	4/28/2022	C7.1
Scale	1"=20'	



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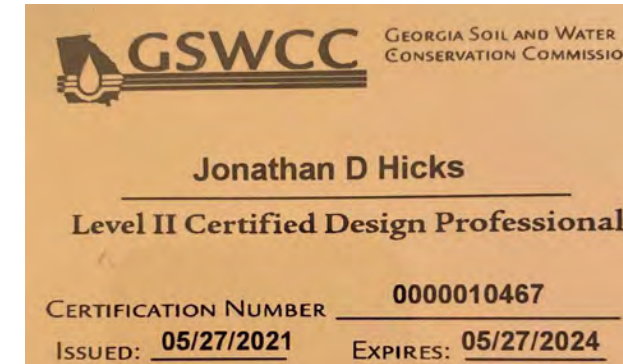
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TAX ID: 17 02350001011

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Project	220428	Sheet
Date	4/28/2022	C7.2
Scale	1"=20'	