

DATE: MARCH 22, 2023

TO: MAYOR ANDRE DICKENS, City of Atlanta
ATTN TO: KEYETTA HOLMES, ZONING AND DEVELOPMENT DIRECTOR, City of Atlanta
FROM: Anna Roach, Executive Director, Atlanta Regional Commission



ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: 2691 George Street RC-23-01A

Submitting Local Government: City of Atlanta

Date Opened: March 3, 2023

Date Closed: March 22, 2023

FINDING: ARC staff have completed a review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: No other comments were received.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY
CITY OF ATLANTA

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
FULTON COUNTY

CHATTAHOOCHEE RIVERKEEPER
CITY OF SMYRNA
HISTORIC RIVER LINE

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC website at <https://atlantaregional.org/plan-reviews>.

RECEIVED

DATE: JANUARY 25, 2023

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: City of Atlanta

2. Owner(s) of Record of Property to be Reviewed:

Name(s): Stoney River Construction S.E. Inc.

Mailing Address: PO Box 2507

City: Decatur State: GA Zip: 30031

Contact Phone Numbers (w/Area Code):

Daytime Phone: 770 616 1356 Fax: N/A

Other Numbers: Bdb@stoneyriverhomes.com

3. Applicant(s) or Applicant's Agent(s):

Name(s): Bob Warrison (Agent)

Mailing Address: 702 Highland Ave NE

City: Atlanta State: GA Zip: 30312

Contact Phone Numbers (w/Area Code):

Daytime Phone: 770 616 1356 Fax: N/A

Other Numbers: Bdb@stoneyriverhomes.com

4. Proposed Land or Water Use:

Name of Development: 2691 George St NW

Description of Proposed Use: Dwelling Construct new single family

5. Property Description (Attach Legal Description and Vicinity Map):

Land Lot(s), District, Section, County: 66-253 D-17th Fulton County

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: Lot 1 / 2691 George St NW Atlanta GA 30308 / 394.29' to Main St

Size of Development (Use as Applicable):

Acres:	Inside Corridor:	<u>.172</u>
	Outside Corridor:	
	Total:	
Lots:	Inside Corridor:	<u>1</u>
	Outside Corridor:	
	Total:	
Units:	Inside Corridor:	<u>1</u>
	Outside Corridor:	
	Total:	

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor:

Outside Corridor:

Total:

RECEIVED

DATE: JANUARY 25, 2023

6. Related Chattahoochee Corridor Development:

- A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No
 If "yes", describe the additional land and any development plans: _____

- B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

- A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

- B. Public sewer system Yes City of Atlanta

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	7500.00	5140.29	2721.98	(70) 69	(45) 36
D	_____	_____	_____	(50)_____	(30)_____
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	_____	_____	_____	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? Yes
If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No
If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- ☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries). *Attached legal description plus see surveyed boundaries on site plan*
- ☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- ☒ Written consent of all owners to this application. (Space provided on this form)
- ☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- ☒ Description of proposed use(s). (Space provided on this form)
- ☒ Existing vegetation plan. *All currently grass as noted*
- ☒ Proposed grading plan.
- ☒ Certified as-builts of all existing land disturbance and impervious surfaces. *See final plat attached*
- ☒ Approved erosion control plan.
- ☒ Detailed table of land-disturbing activities. (Both on this form and on the plans) *See site plan*

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☒ Documentation on adjustments, if any.

☐ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

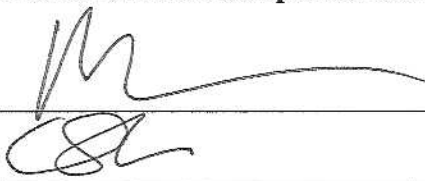
☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.


☐ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

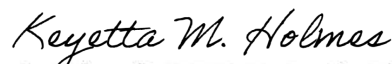

Robert G. Garrison
Camp Sloughsta
1/17/23
Signature(s) of Owner(s) of Record Date

for Stone
River
Construction
S.E. Inc.

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:


Signature(s) of Applicant(s) or Agent(s) Date 1/17/23

14. The governing authority of City of Atlanta requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.


Keyetta M. Holmes
2/13/2023
Signature of Chief Elected Official or Official's Designee Date

MRPA-23-001

EXHIBIT "A"

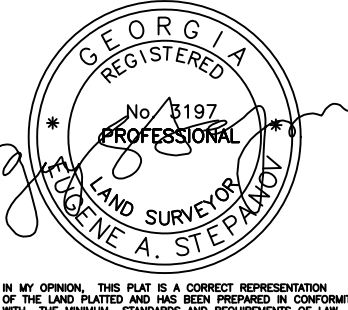
Legal Description

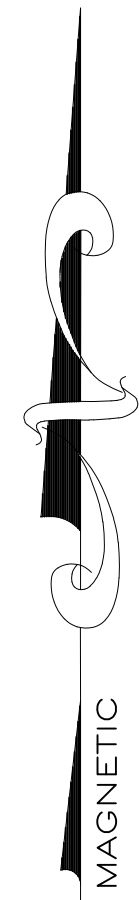
All that tract or parcel of land lying and being in Land Lot 253 of the 17th District of Fulton County, Georgia, being Lot 1 of Final Plat of 2695 George Street, dated May 11, 2018, prepared by Lowery & Associates Land Surveying, LLC as per plat recorded in Plat Book 432, Page 33, Fulton County, Georgia Records, which plat is incorporated herein by reference and made a part hereof.

Address (for information only): 2691 George Street, N.W., Atlanta, GA 30318

Parcel No.: 17-0253-0011-042-7







* LEGEND *

- APD AS PER DEED
- AE ACCESS EASEMENT
- APF AS PER FIELD
- AI ANGLE IRON FOUND
- AIF ANGLE IRON FOUND
- APP AS PER PLAT
- APR AS PER RECORD
- BC BACK OF CURB
- BLK BLOCK
- BL BUILDING LINE SETBACK
- BR BRICK
- CB CATCH BASIN
- CBX CABLE BOX
- CL CENTER LINE
- CLF CHAIN LINK FENCE
- CMP CORRUGATED METAL PIPE
- C.O.A. CITY OF ATLANTA
- CO SAN. SEWER CLEANOUT
- CP CALCULATED POINT
- CPT CARPORT
- CTP CRIMP TOP PIPE FOUND
- D DEED
- DE DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EB ELECTRIC POWER BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FR FIRE HYDRANT
- R FRAME
- GL GAS LINE
- GM GAS METER
- GV GAS VALVE
- GW GUY WIRE
- HDW HEAD WALL
- HW HARDWOOD TREE
- IPF IRON PIN FOUND
- IPS IRON PIN SET
- IR IRON ROD FOUND
- IRF IRON FENCE
- IV IRRIGATION VALVE
- JB JUNCTION BOX
- LP LIGHT POLE
- LLL LAND LOT LINE
- MAG MAGNETIC READING
- MGN MAGNOLIA TREE
- MH MAN HOLE
- MTF METAL FENCE
- N NBORS
- OH OVERHANG
- OTP OPEN TOP PIPE FOUND
- OU OWNERSHIP UNCLEAR
- P PORCH
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PN PINE TREE
- POB POINT OF BEGINNING
- PP POWER POLE
- PW POWER LINE
- (P) PLAT
- R RECORD
- RBF REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- RCP REINFORCED CONC. PIPE
- R/W RIGHT-OF-WAY
- SSN SANITARY SEWER LINE
- SSE SANITARY SEWER EASEMENT
- SP SCREENED PORCH
- TB TOP OF BANK
- TP TRAFFIC POLE
- UE UTILITY EASEMENT
- WD WOOD
- WDF WOOD FENCE
- WDK WOOD DECK
- WL WATER LINE
- WM WATER METER
- WRF WIRE FENCE
- WV WATER VALVE
- WW WET WEATHER
- YI YARD INLET
- X-X FENCE
- INDICATES STAIRS



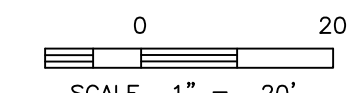
TREE PRESERVATION PROTOCOLS:

ARBORIST REQUIREMENT FOR REMOVING A DRIVEWAY WITHIN CRZ OF TREES

- DO NOT REMOVE PAVEMENT UNTIL IT IS REPLACED WITH MULCH.
- USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER
- NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- REMOVE STONE BASE BY HAND (NO MACHINERY)
- REPLACE WITH 2" TOPSOIL AND 4" HARDWOOD MULCH.
- IMMEDIATELY RESET TPF INCREASING TREE SAVE IN THIS AREA.

ARBORIST REQUIREMENT FOR 'IN-KIND' REPLACEMENT OF EXISTING DRIVEWAY WITHIN THE CRZ OF EXISTING TREES

- DO NOT REMOVE PAVEMENT UNTIL IT IS TO BE REPLACED.
- USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER
- NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- LEVEL USING 57 STONE - DO NOT COMPACT SOIL.
- LAY 6 MIL PLASTIC SHEET BEFORE POURING CONCRETE.



INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

NO GRADED SLOPES SHALL EXCEED 2H:1V

BMP W.Q. DEVICE

NEW DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STONE STORAGE

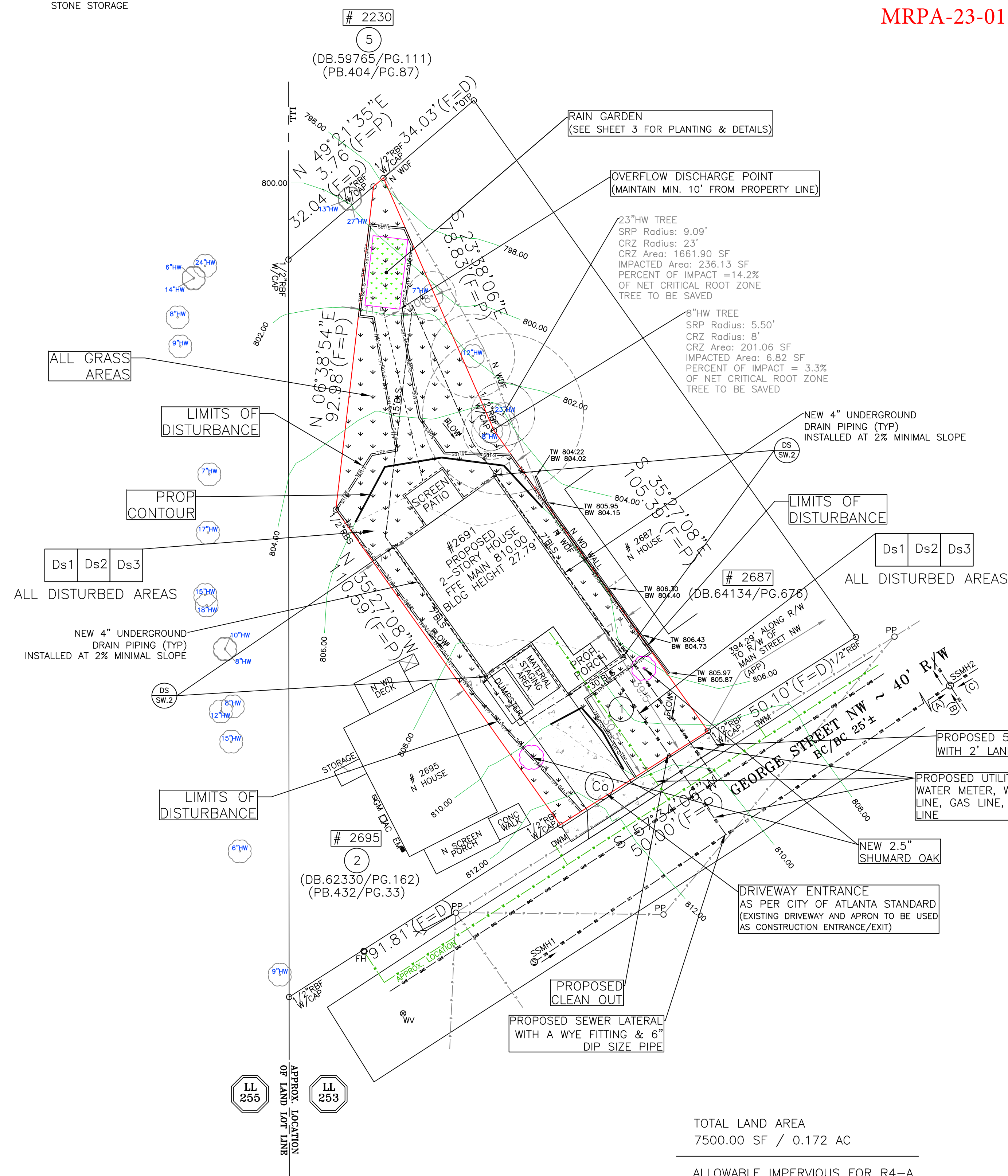
NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

NO RETAINING WALLS PROPOSED

ATLANTA REGIONAL COMMISSION:

* VULNERABILITY CATEGORY - C
* REFER TO FINAL PLAT FOR THE AS BUILT FOR ALL EXISTING LAND DISTURBANCE AND IMPERVIOUS AREAS. SD 18 - 032



TOTAL LAND AREA
7500.00 SF / 0.172 AC

ALLOWABLE IMPERVIOUS FOR R4-A
4125.00 SF / 0.095 AC / 55%

PROPOSED LOT IMPERVIOUS AREA
2721.98 SF / 0.062 AC / 36.29%

FLOOR AREA RATIO
1ST FLOOR 1189 SF
2ND FLOOR 1760 SF
TOTAL 2949 SF / 39.3%

DISTURBED AREA
5140.29 SF / 0.118 AC / 68.5%

MRPA:
VULNERABILITY CATEGORY - C
MAXIMUM ALLOWABLE IMPERVIOUS AREA - 45%
PROPOSED IMPERVIOUS AREA - 36.29%
MAXIMUM ALLOWABLE DISTURBED AREA - 70%
PROPOSED DISTURBED AREA - 68.5%



MRPA-23-01

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

TREE SAVE STATUS:

X INDICATES TREE TO BE REMOVED

TREE PROTECTION: Tr

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

- Co CONSTRUCTION ENTRANCE/EXIT
- Sd1-S INDICATES Sd1 TYPE S SILT FENCE
- Sd1-Hb INDICATES Sd1 TYPE Hb (HAYBALES)
- Tr INDICATES TREE PROTECTION FENCE
- Ds1 DISTURBED AREA STABILIZATION (WITH MULCH)
- Ds2 DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

STANDARD RECOMPENSE

$R = \$100(NREM - NREP) + \$30(TDBHREM - TCIREP)$
 $R = \$100(0 - 2) + \$30(0" - 5")$
 $R = \$100(0) + \$30(0")$
 $R = \$0 + \0.00
 $R = \$0.00$

TREE PLAN	
TREE LIST	REMOVED TREES
DBH 7"HW	NONE
DBH 8"HW	NONE
NEW TREES	
2 x New 2.5" Shumard Oak	
PRESERVED DBH INCHES= 15"	
REMOVED DBH INCHES= 0"	
REPLACEMENT TREES= 5"	
TOTAL DBH INCHES= 20"	
0.172 AC x 120 INCHES/ACRE = 20 INCHES REQUIRED FOR PRESERVATION.	

EROSION CONTROL, GRADING

SITE PLAN PREPARED FOR: SHEET 2 OF 3

BOB GUNNISON

PROPERTY ADDRESS:
2691 GEORGE STREET NW
ATLANTA, GA 30318

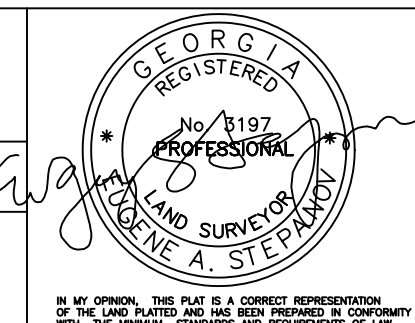
LOT 1	BLOCK
2695 GEORGE STREET SUBDIVISION	UNIT
LAND LOT 253	17TH DISTRICT
FULTON COUNTY, GEORGIA	SECTION
DB./PG.	PB.432/PG.33
FIELD WORK DATE FEB 04, 2022	PRINTED/SIGNED JUNE 13, 2022
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"

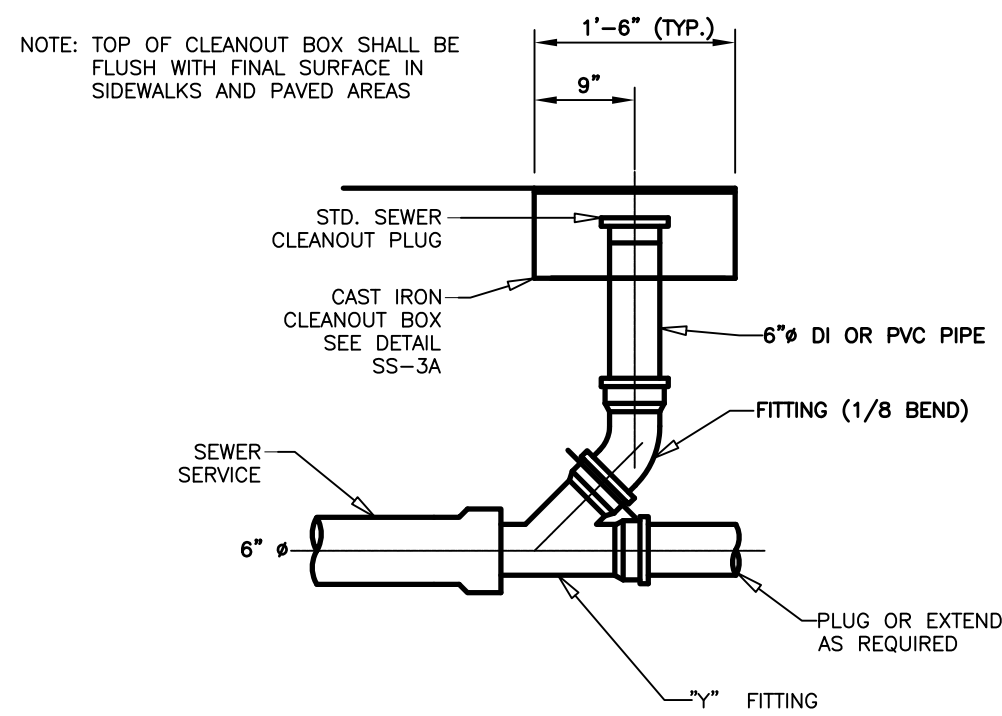
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000 FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A TOP CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

AM COORD #20220055 DWG #20220055

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

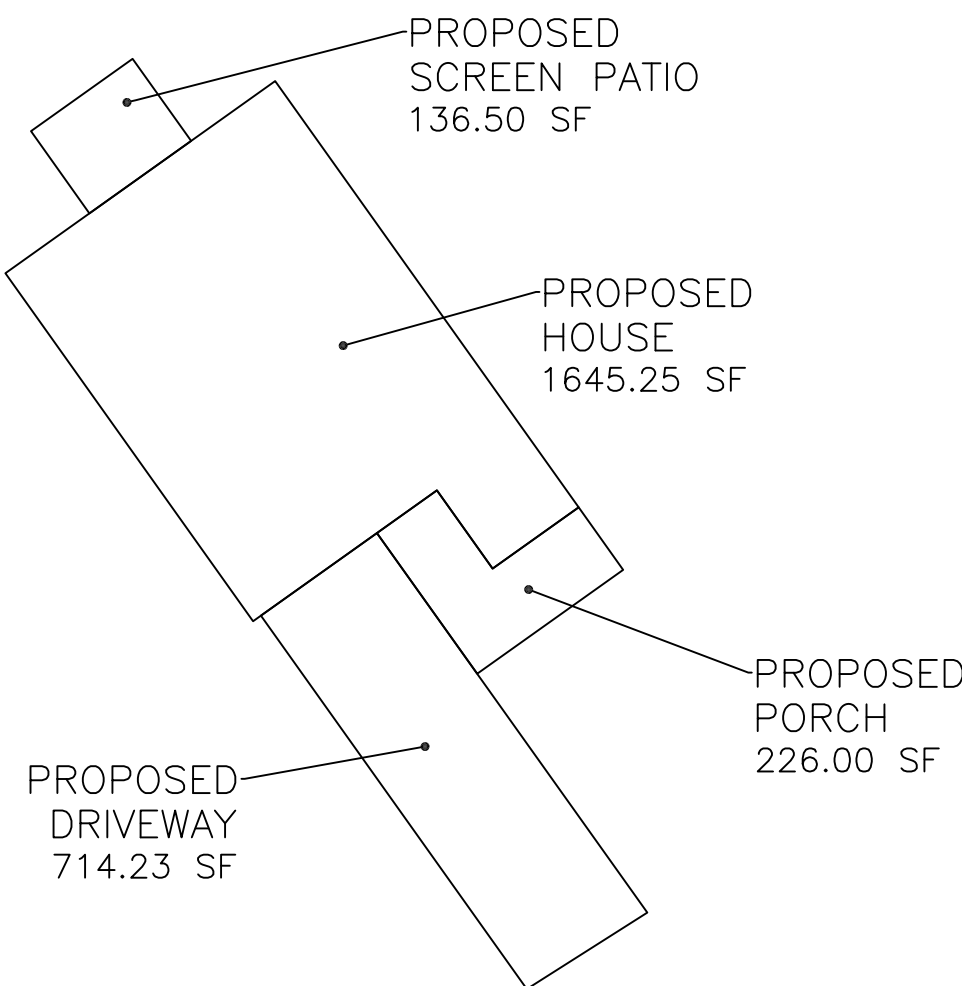




STANDARD SANITARY CLEANOUT DETAIL
(NOT TO SCALE)

PROPOSED COVERAGE AREA DETAILS

TOTAL: 2721.98 SF



WATER QUALITY DEVICE CONTRIBUTION DETAIL

TOTAL: 2901 SF*
(*AREAS CONTRIBUTING TO WQDs)

SIZING CALCULATION:

Contributing Drainage Area (square feet)	Depth of Amended Soil (inches)			
	18	24	30	36
100	6.6	5.7	5.1	4.6
500	35	30	25	23
1000	65	60	50	45
2000	135	115	100	90
3000	200	170	150	140
4000	260	230	200	185
5000	330	290	255	230

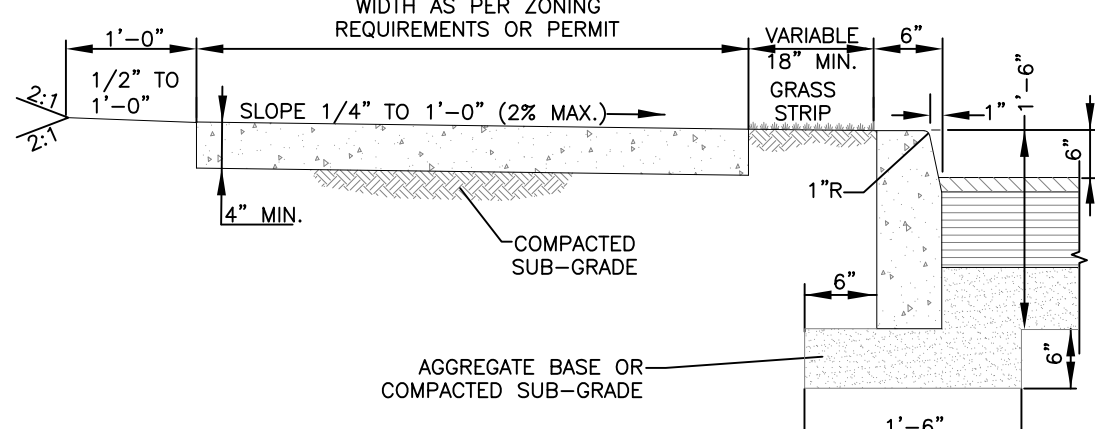
MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

CONTRIBUTING DRAINAGE AREA= **2721.98** SQ FT
DEPTH OF SOIL MEDIA= **18** INCHES
AREA OF RAIN GARDEN= **200** SQ FT TOTAL

[(3,000/3,000)x200=200] REQUIRED RATIO

CONCRETE SIDEWALK AND CONCRETE HEADER CURB

(NOT TO SCALE)

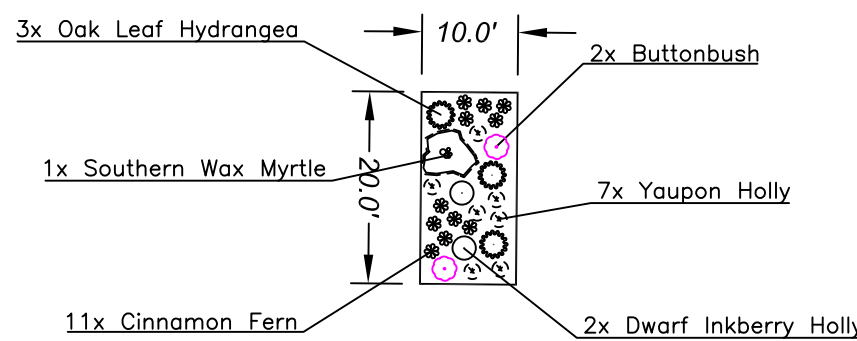


NOTES:

1. SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET.
2. CONCRETE SHALL BE TYPE "A" 3,000 P.S.I. MIN. STRENGTH.
3. EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDEWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A DRIVEWAY APRON AND NOT MORE THAN 100 FEET APART.
4. PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK.
5. ALL CONCRETE WORK SHALL BE PER CITY OF ATLANTA STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. NEITHER WIRE MESH NOR REBAR CAN BE USED IN THE R/W

GREEN INFRASTRUCTURE PLAN

(200 SF TOTAL REQUIRED)
200 SF PROPOSED



PLANTS FOR RAIN GARDEN:

- 1 - Southern Wax Myrtle
- 2 - Buttonbush
- 2 - Dwarf Inkberry Holly
- 7 - Yaupon Holly
- 3 - Oak Leaf Hydrangea
- 11 - Cinnamon Fern

MAINTENANCE SCHEDULE FOR RAIN GARDENS:

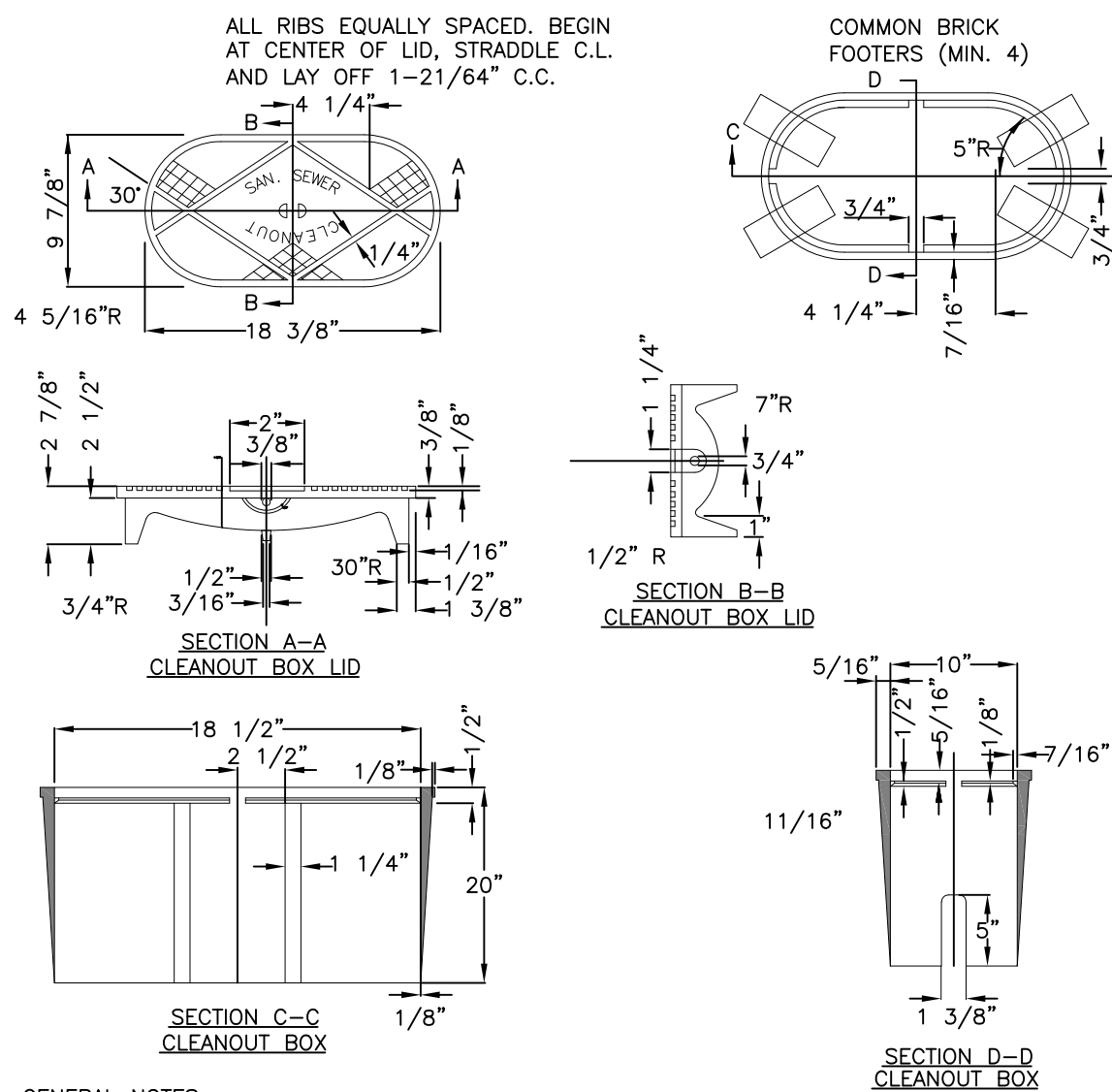
1. IRRIGATE VEGETATION AS NEEDED (IN FIRST SEASON).
2. REMOVE WEEDS (AS THEY APPEAR).
3. REPLACE UNSUCCESSFUL PLANTINGS (UPON FAILURES).
4. REPLENISH MULCH (SEASONALLY).
5. REPAIR ERODED AREAS (AS NEEDED).
6. RAKE CLOGGED SURFACE TO RESTORE INFILTRATION (MONTHLY).
7. VISUALLY INSPECT RAIN GARDEN (WEEKLY).
8. MONITOR RAIN GARDEN FOR APPROPRIATE DRAINAGE TIMES. IF RAIN GARDEN DOES NOT, AN UNDERDRAIN MAY BE NECESSARY.

RAIN GARDEN BMP NOTES:

1. ALL DOWNDRAINS TO BE CONNECTED TO 4" PIPES DIRECTED TO RAIN GARDENS.
2. PIPES FROM DOWNDRAINS MUST EXTEND AT LEAST 12" INTO RAIN GARDENS
3. ALL PIPES SHALL BE SURROUNDED BY 1" OF CLEAN GRAVEL ON ALL SIDES WITHIN THE TRENCH WHERE EACH PIPE LIES.
4. RAIN GARDENS MUST BE INSTALLED A MINIMUM OF 10 FEET AWAY FROM ALL FOUNDATIONS.
5. RAIN GARDENS MAY NOT BE INSTALLED: WITHIN PUBLIC RIGHT-OF-WAYS; NOT NEAR UTILITY LINES; NOT OVER SEPTIC FIELDS, NOT NEAR A STEEP BLUFF.
6. RAIN GARDEN SHALL HAVE A BERM AT ITS DOWNHILL EDGES AND SIDES. TOPS OF THE BERM NEEDS TO BE LEVEL, AND SET AT THE MAXIMUM PONDING ELEVATION.
7. OVERFLOW FROM WATER QUALITY BMPs SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
8. OVERFLOW POINT(S) OF RAIN GARDEN SHALL BE A MINIMUM OF 10 FEET AWAY FROM ALL PROPERTY LINES.
9. REFER TO THE CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT'S GREEN INFRASTRUCTURE MANUAL
6. WQ BMPs TO BE INSTALLED AT TIME OF FINAL LANDSCAPING.
7. ALL COLLECTED WATER SHALL BE DIRECTED TO WQ BMPs.

SANITARY CLEANOUT BOX

(NOT TO SCALE)



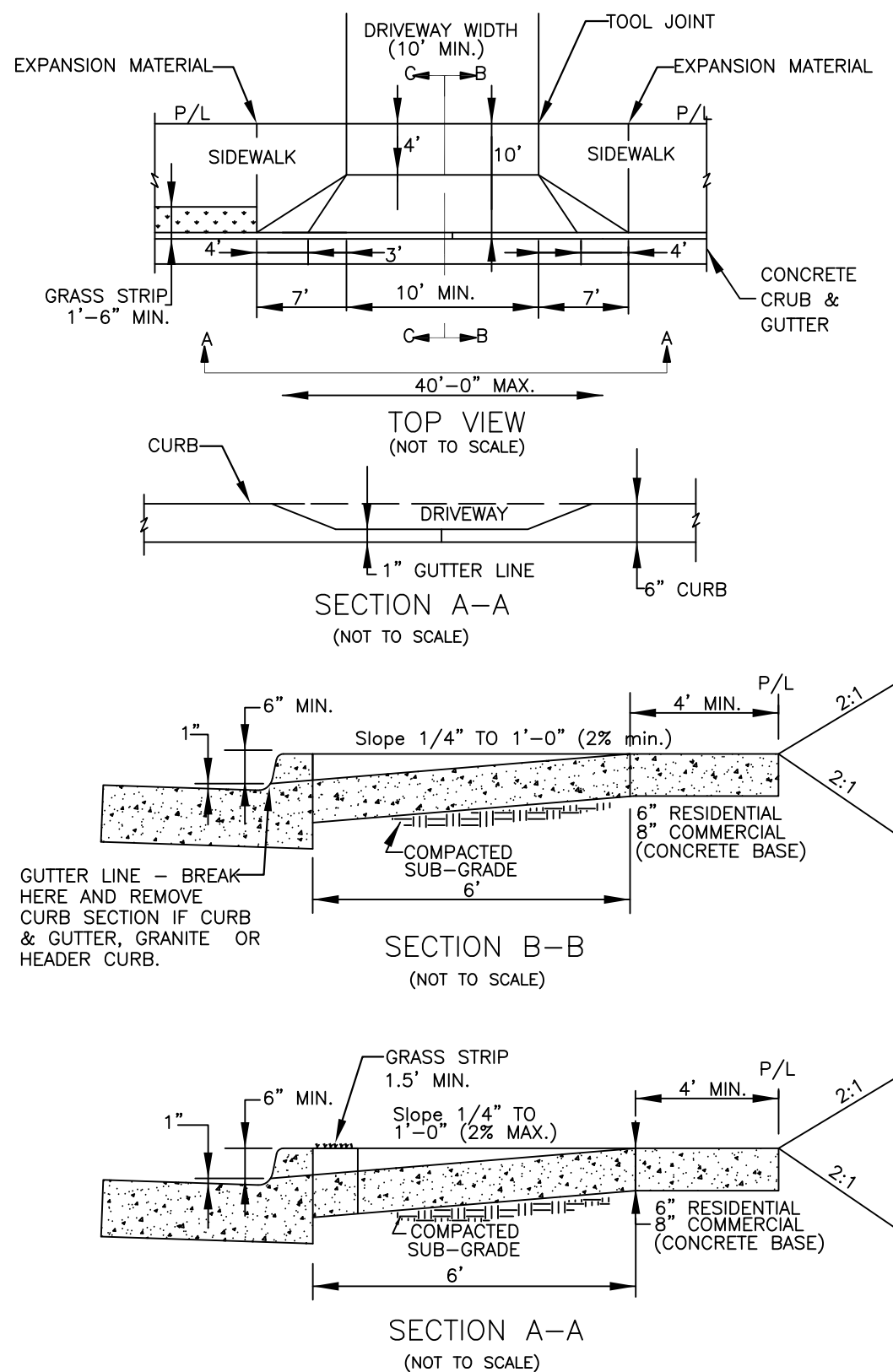
GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, CAST IRON SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A48 LATEST REVISION FOR CLASS 20 GREY IRON CASTINGS.
2. CASTINGS SHALL BE TRUE AND FREE OF HOLES. THEY SHALL BE CLEANED ACCORDING TO GOOD FOUNDRY PRACTICE, CHIPPED AND GROUND AS NEEDED TO REMOVE FINIS AND ROUGH PLACES.
3. FINISHED CASTINGS SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR PITCH VARNISH AS INDICATED IN A.W.W.A. SPECIFICATIONS C110, LATEST REVISION. COATING MAY BE APPLIED COLD AND SHALL BE SMOOTH, GLOSSY, NOT BRITTLE WHEN COLD, NOT STICKY WHEN EXPOSED TO THE SUN, AND SHALL ADHERE TO THE METAL AT ALL TEMPERATURES.
4. WHEN COATING IS COMPLETE, LID SHALL FIT SNUGLY WITHOUT ROCKING.

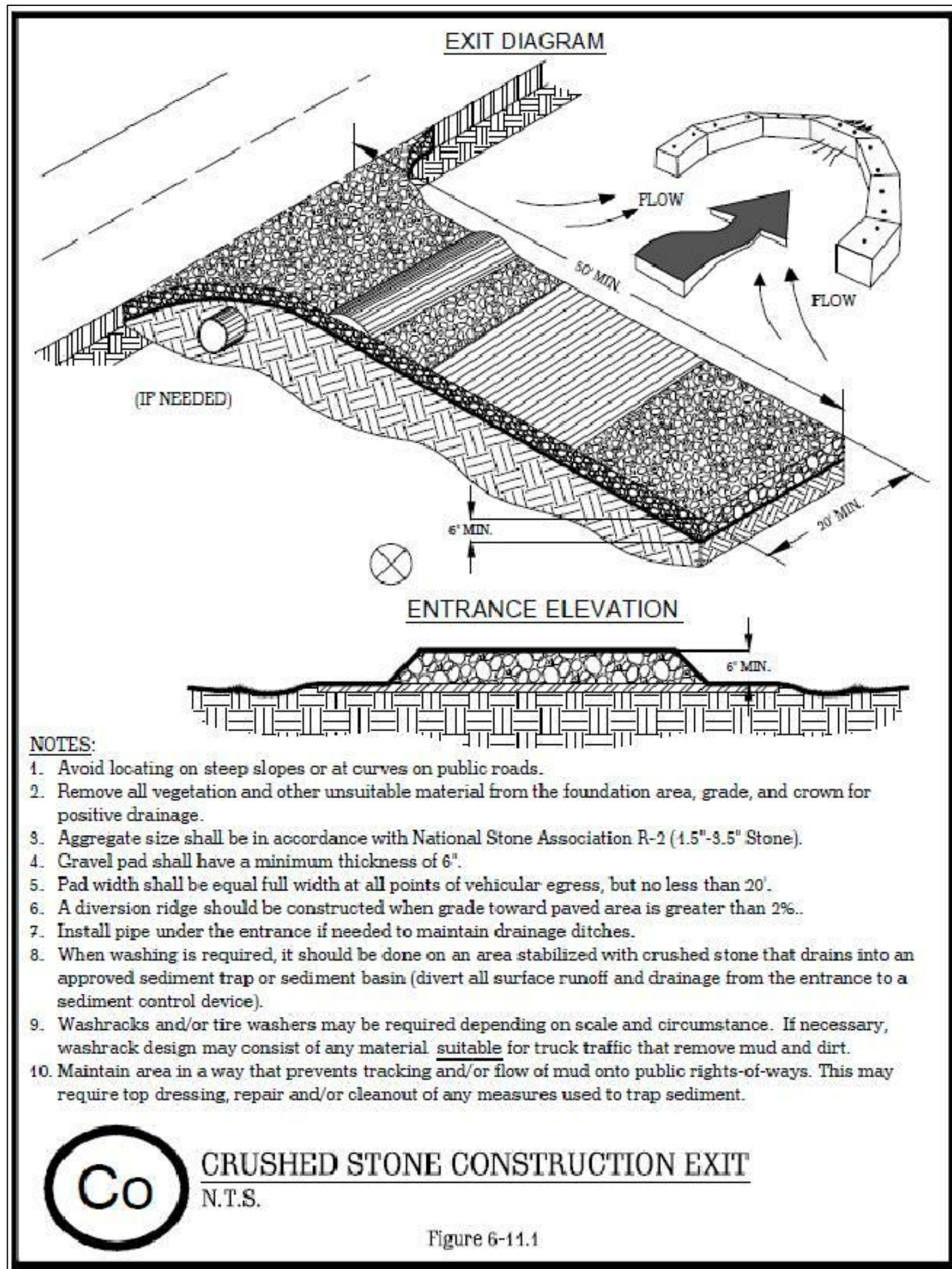
THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

STANDARD DRIVEWAY WITH CURB AND GUTTER

STANDARD DRIVEWAY DETAILS
(NOT TO SCALE)



NOTE:
CAN EXCHANGE W./CONC. HEADER CURB OR GRANITE CURB.

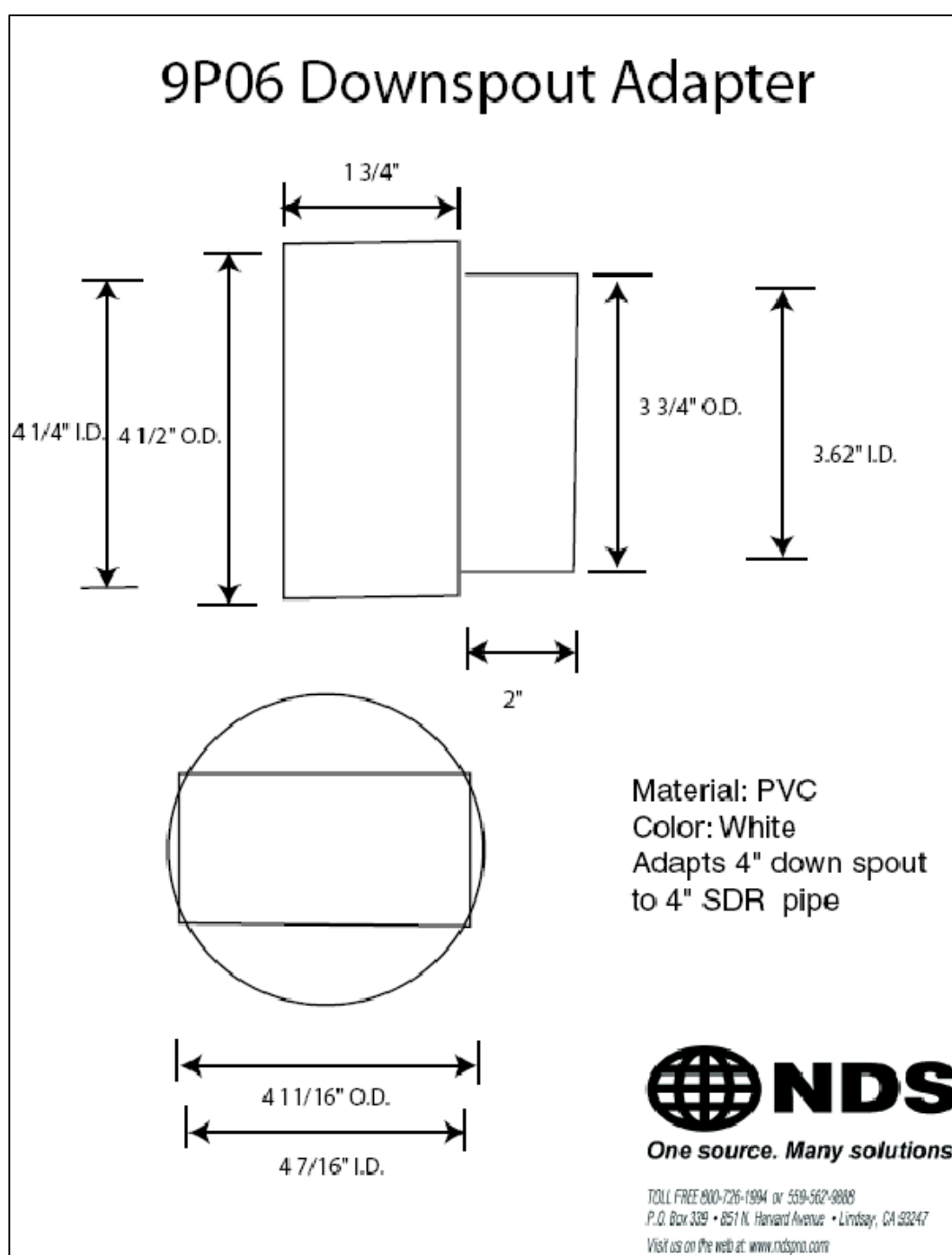


NOTES:

1. Avoid locating on steep slopes or at curves on public roads.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
4. Gravel pad shall have a minimum thickness of 6".
5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
6. A diversion ridge should be constructed when grade toward paved area is greater than 2%.
7. Install pipe under the entrance if needed to maintain drainage ditches.
8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
9. Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
10. Maintain area in a way that prevents tracking and/or flow of mud into public rights-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.

Co CRUSHED STONE CONSTRUCTION EXIT
N.T.S.

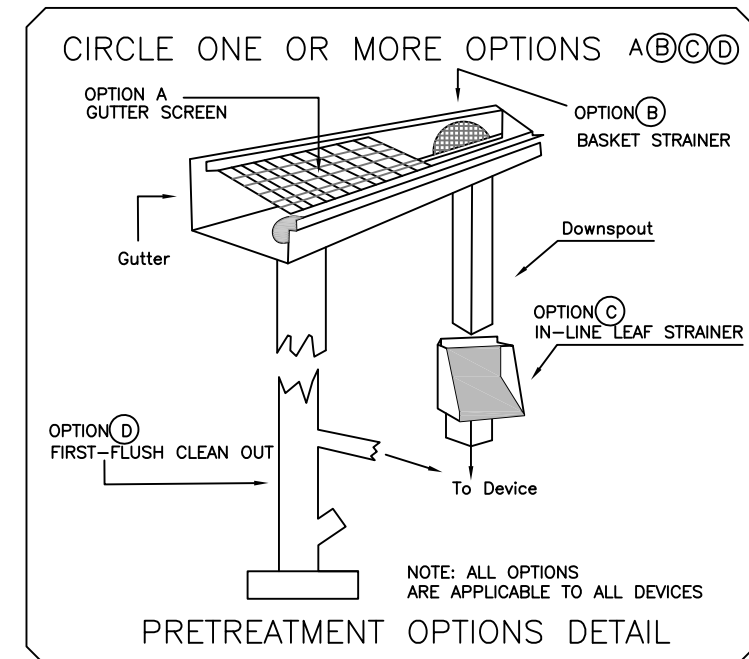
Figure 6-11.1



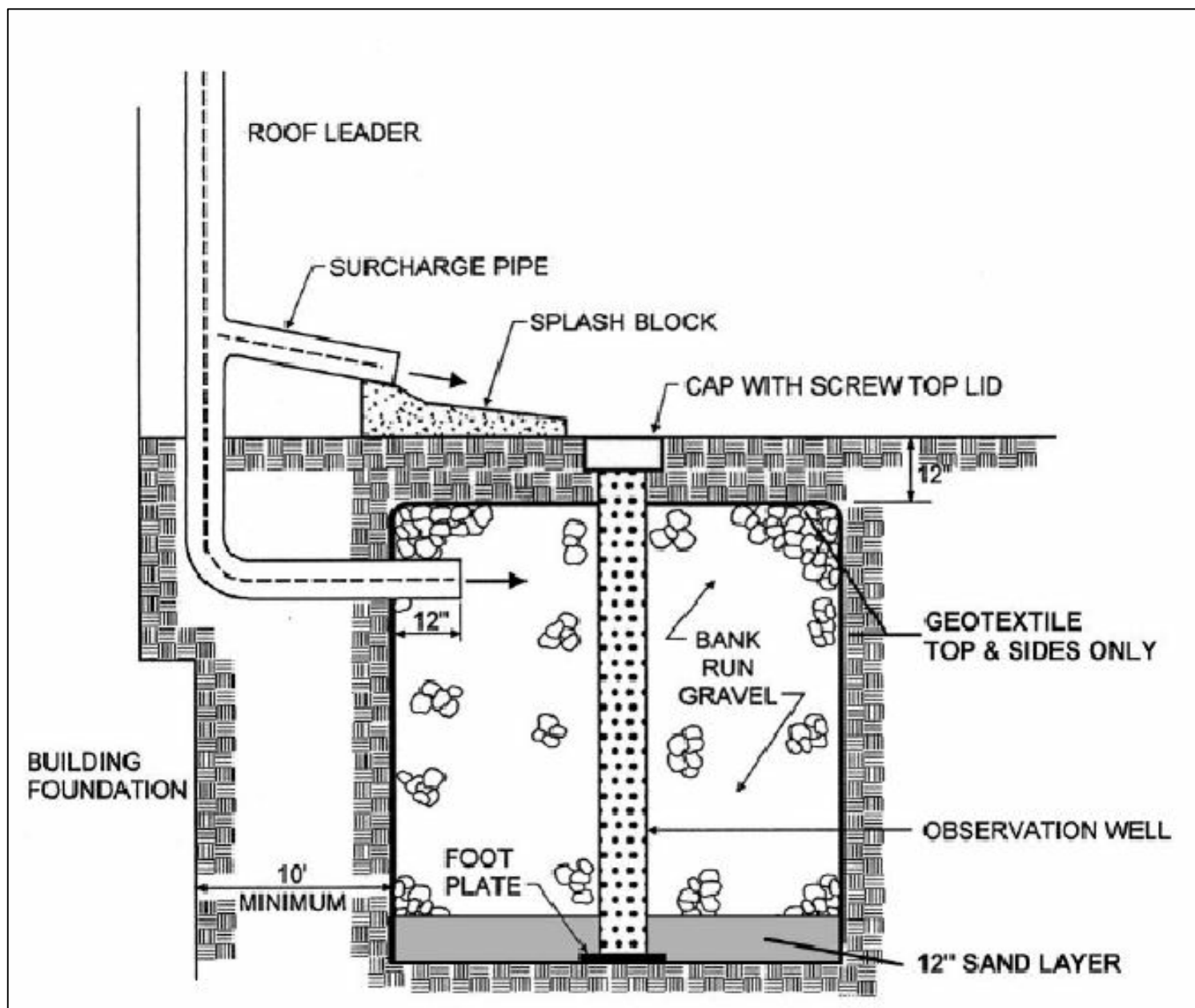
BMP W.Q. DEVICE

DS
SW.2

NEW DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STONE STORAGE



NOTE: ALL OPTIONS ARE APPLICABLE TO ALL DEVICES



STONE STORAGE DETAIL SIDE VIEW

PER GEORGIA STORMWATER MANAGEMENT TECHNICAL MANUAL, VOLUME 2 (2016 EDITION)

RELEASED FOR CONSTRUCTION

LOT 1	BLOCK
2695 GEORGE STREET SUBDIVISION	UNIT
LAND LOT 253	17TH DISTRICT
FULTON COUNTY, GEORGIA	DB./PG.
FIELD WORK DATE FEB 04, 2022	PRINTED/SIGNED JUNE 13, 2022
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"

STORMWATER MANAGEMENT & DETAILS

SITE PLAN PREPARED FOR: SHEET 3 OF 3

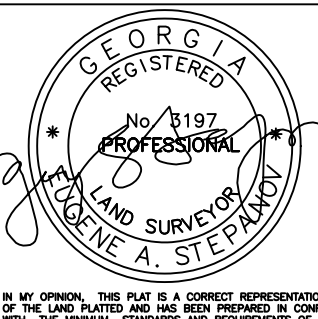
BOB GUNNISON

PROPERTY ADDRESS:
2691 GEORGE STREET NW
ATLANTA, GA 30318

AM
COORD #20220055
DWG #20220055

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM



IN WY OFFICE, THE SEAL & LICENSE REGISTRATION OF THE LAND SURVEYOR AND HAS BEEN PREPARED BY COMPANY AND THE SEALER, FURNISHED AND RECORDED BY THE