

REGIONAL REVIEW FINDING

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: MARCH 22, 2023

TO: MAYOR ANDRE DICKENS, City of Atlanta

ATTN TO: KEYETTA HOLMES, ZONING AND DEVELOPMENT DIRECTOR, City of Atlanta

FROM: Anna Roach, Executive Director, Atlanta Regional Commission

ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: 2691 George Street RC-23-01A

Submitting Local Government: City of Atlanta

Date Opened: March 3, 2023 | Date Closed: March 22, 2023

<u>FINDING</u>: ARC staff have completed a review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: No other comments were received.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION NATIONAL PARK SERVICE COBB COUNTY

CITY OF ATLANTA

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY

FULTON COUNTY

CHATTAHOOCHEE RIVERKEEPER

CITY OF SMYRNA HISTORIC RIVER LINE

For questions, please contact Donald Shockey at (470) 378-1531 or dshockey@atlantaregional.org. This finding will be published to the ARC website at https://atlantaregional.org/plan-reviews.



APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1.	Name of Local	Government: City of Atlanta
2.	Owner(s) of Re	cord of Property to be Reviewed:
	Name(s):	Stoney Rover Construction S. E. Inc.
	Mailing Ac	
	City:	
		oone Numbers (w/Area Code): Zip: 3003
	Davtim	e Phone: 770 (a)6 1356 Fax: NA
	Other N	Numbers:
	O LLLOX I	
3.	Applicant(s) or	Applicant's Agent(s):
	Name(s):	Bus avanisan (Chert)
	Mailing Ad	Idress: 702 High and the
	City:	770000
	*	one Numbers (w/Area Code):
	Daytim	e Phone: 170 616 1356 Fax: MA
	Other N	Numbers:
		The & Staney riverhauls com
4.	Proposed Land	or Water Use:
	Name of De	evelopment: 2691 George STWW
		of Proposed Use: Construct hour Chala town
	_ Ou	elling
5.	Property Descri	ption (Attach Legal Description and Vicinity Map):
	Land Lot(s)), District, Section, County:
		- U-253 D-17th Fulter Country
	Subdivision	Lot Block, Street and Address, Distance to Nearest Intersection:
	Size of Deve	Plopment (Use as Applicable): 394.29' to May
	Acres:	Inside Corridor: 177 374.69 10 Main
		Outside Corridor:
		Total:
	Lots:	Inside Corridor:
		Outside Corridor:
	Units:	Total: Inside Corridor:
		Outside Corridor:Total:
	Other Size I	Descriptor (i.e., Length and Width of Easement):
		Inside Corridor:
		Inside Corridor: Outside Corridor: Total:
		(1) (1) (1) (1) (1) (1) (1) (1) (1) (1)
		Total:

v. Re	lated Chattahoochee Corridor Development:		DATE:
A	. Does the total development include additional land in the Chais not part of this application?	ttahoochee Corrid	or that
	If "yes", describe the additional land and any development pla	ns:	
В	Has any part of the property in this application, or any right-o		
	bordering this land, previously received a certificate or any off Corridor review approval?	I-way or easement her Chattahoochee	.
	If "yes", please identify the use(s), the review identification nu of the review(s):	mber(s), and the d	ate(s)
7. Ho	w Will Sewage from this Development be Treated? Septic tank		
B.	Note: For proposals with septic tanks, the application must in local government health department approval for the selected Public sewer system	deita	riate
		1	
8. Sun	nmary of Vulnerability Analysis of Proposed Land or Water Use	2:	
Vulnera Categ		Percent Perc Land Impe	erv. <u>f.</u>
		(Maximums Show Parentheses)	vn In
A		(90) (75)	
В		(80) (60)	
(c)	7500.00 / 5,40.29 / 2721.98	1.0	36
D		(50)(30)	
E		(30)(15)	
F		(10)(2)	-
Total:		N/A N/A	



9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? If "yes", indicate the 100-year floodplain elevation: NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction. NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.
10. Is any of this land within the 500-year floodplain of the Chattahoochee River? If "yes", indicate the 500-year flood plain elevation: NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction. NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).
11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.
Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries). Hamber (and description or surveyed boundaries). Hamber (and description of surveyed boundaries) of owner(s) of record of the land in the application. (Space provided on this form)
Written consent of all owners to this application. (Space provided on this form)
Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
Description of proposed use(s). (Space provided on this form)
Existing vegetation plan. All currently grass as noted
Proposed grading plan.
Certified as-builts of all existing land disturbance and impervious surfaces. Se final plat Approved erosion control plan.
Detailed table of land-disturbing activities. (Both on this form and on the plans)



\vee	Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of -way; 100- and 500-year river floodplains; vulnerability category
M	boundaries; topography; any other information that will clarify the review.
NK	Documentation on adjustments, if any.
	Cashier's check or money order (for application fee).
	SINGLE-STEP APPLICATIONS (NON-SUBDIVISION): Site plan.
$\frac{\checkmark}{}$	Land-disturbance plan.
FOR	TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY: Concept plan.
·	Lot-by-lot and non-lot allocation tables.
12.	I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)
	necessary) Mhut Gavaisa Granding Constitution of the Metropolitan River Protection Act: (use additional sheets as necessary) Mhut Gavaisa Granding Constitution of the Metropolitan River Protection Act: (use additional sheets as necessary) May Staving
	Signature(s) of Owner(s) of Record Date
13.	I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:
	1/1/23
	Signature(s) of Applicant(s) or Agent(s) Date
14.	The governing authority of City of Atlanta requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.
	Keyetta M. Holmes 2/13/2023
	Signature of Chief Elected Official or Official's Designee Date

EXHIBIT "A"

Legal Description

All that tract or parcel of land lying and being in Land Lot 253 of the 17th District of Fulton County, Georgia, being Lot 1 of Final Plat of 2695 George Street, dated May 11, 2018, prepared by Lowery & Associates Land Surveying, LLC as per plat recorded in Plat Book 432, Page 33, Fulton County, Georgia Records, which plat is incorporated herein by reference and made a part hereof.

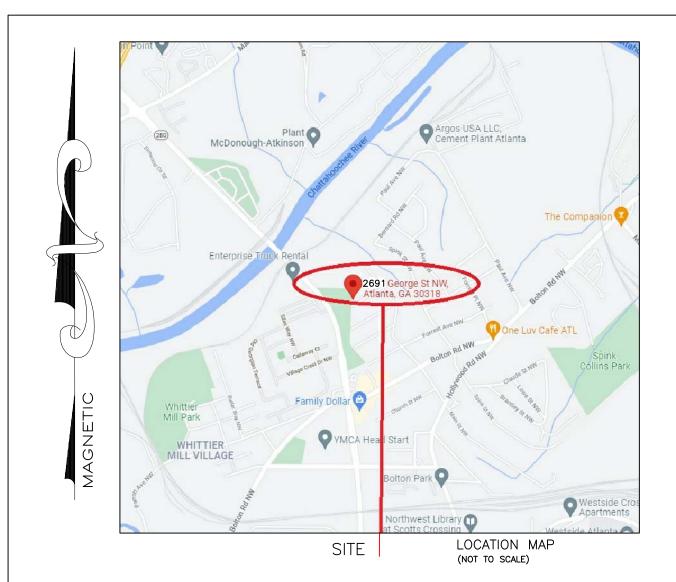
Address (for information only): 2691 George Street, N.W., Atlanta, GA 30318

Parcel No.: 17-0253-0011-042-7



MRPA-23-001

DATE: JANUARY 25, 2023



FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS. WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID WATERS OF THE STATE DO NOT EXIST WITHIN 200 FEET OF THE PROJECT

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOWN THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

- 1. LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 2. LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 3. ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.

GENERAL NOTES (SITE PLAN):

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OR EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS
- 3. DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST
- WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE
- 6. SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

GENERAL NOTES:

- 1. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
- 2. THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION. 3. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY
- AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND. 4. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER
- MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE
- 5. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
- 6. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION. 7. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT
- EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY. 8. EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE
- PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION. 9. STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS,
- UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA. 10. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE
- SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. 11. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL
- 12. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.

DISTURBED AREAS ARE STABILIZED.

PROPERTY IS ZONED R-4A CITY OF ATLANTA

BUILDING SETBACKS: FRONT: 30' SIDE:

REAR: 15' MAXIMUM LOT COVERAGE: 55% MAXIMUM BUILDING HEIGHT: 35'

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

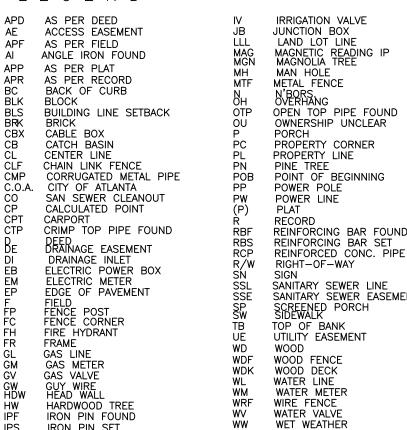
DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 03/01/2023 ANTICIPATED COMPLETION DATE: 09/15/2023 INSTALLATION OF EŔOSÍON SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

DIRT STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT: 40 TOTAL OF GROSS CUBIC YARDS OF FILL: 40 EXCESS OF SOIL TO BE HAULED OFF.

* L E G E N D *



* SYMBOLS * ■ ELECTRIC PANEL/METER WATER METER AIR CONDITIONER GAS METER JUNCTION BOX SANITARY SEWER MANHOLE STORM MANHOLE TRAFFIC/INFO SIGN GAS MARKER LAMP POST METAL POST WATER VALVE HEADWALL STAIRS

* LINE INDICATORS * — ss —— ss —— ss —— ss —— ss — INDICATES SANITARY SEWER LINE _____ P ____ P ____ P ____ INDICATES POWER LINE ____ w ____ w ____ w ____ w ____ INDICATES WATER LINE —— GAS —— GAS —— GAS —— GAS —— INDICATES GAS LINE INDICATES FENCE LINE INDICATES DRAINAGE LINE

DRAINAGE INLET

O FIRE HYDRANT

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BENCHMARK: FULTON COUNTY #9856, ELEVATION = 1066.979 FEET

INDICATES STAIRS

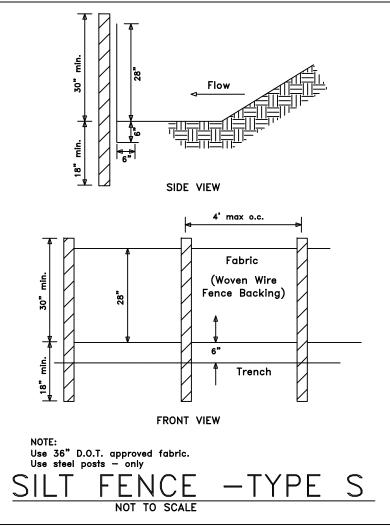
YARD INLET

SPECIAL SITE PLAN NOTES:

- 1. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 TEMPORARY
- SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED. 2. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL
- CONTRACTOR STATEMENT: ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF ATLANTA STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS. 5. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY
- VEGETATION AFTER 14 DAYS: AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED. ALL GRADED SLOPES TO BE 2H : 1V OR GREATER. ALL LOTS WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL
- REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED. ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS
- GREATER THAN 4 FEET IN HEIGHTS.
- GRADE TO DRAIN AWAY FROM FOUNDATION.
- WATERS OF THE STATE DO NOT EXIST WITHIN 200 FEET OF PROJECT SITE. 10. LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA.
- 11. THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 -IT'S THE LAW.
- 12. HAUL ROUTE PERMIT IS NOT REQUIRED. 13. LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED.
- 14. TOPOGRAPHY IS BASED ON FIELD RUN SURVEY ON FEBRUARY 04, 2022.

SURVEY NOTES:

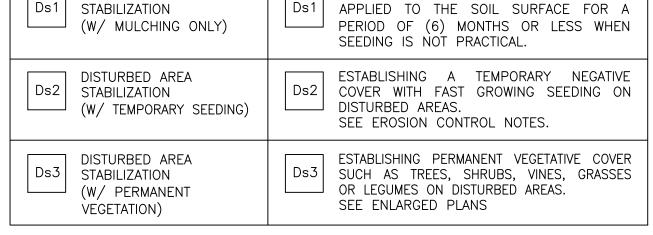
- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- 2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR **PRIVATE**
- 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE
- 5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON. PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.





EROSION CONTROL LEGEND

A TEMPORARY COVER OF PLANT RESIDUES



TREE PRESERVATION PROTOCOLS

DISTURBED AREA

ARBORIST REQUIREMENT FOR REMOVING A DRIVEWAY WITHIN CRZ OF TREES

- DO NOT REMOVE PAVEMENT UNTIL IT IS REPLACED WITH MULCH. USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- REMOVE STONE BASE BY HAND (NO MACHINERY)
- REPLACE WITH 2" TOPSOIL AND 4" HARDWOOD MULCH. IMMEDIATELY RESET TPF INCREASING TREE SAVE IN THIS AREA.

ARBORIST REQUIREMENT FOR "IN-KIND" REPLACEMENT OF EXISTING DRIVEWAY WITHIN THE CRZ OF EXISTING TREES

- DO NOT REMOVE PAVEMENT UNTIL IT IS TO BE REPLACED.
- USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- LEVEL USING 57 STONE DO NOT COMPACT SOIL. 5. LAY 6 MIL PLASTIC SHEET BEFORE POURING CONCRETE

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING: RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

NAME, ADDRESS, AND PHONE NUMBER OF OWNER: NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPERS STONEY RIVER CONSTRUCTION STONEY RIVER CONSTRUCTION PO BOX 2507 PO BOX 2507 DECATUR, GA 30031

24-HRS CONTACT: CARY LIVINGSTON 24-HRS CONTACT: CARY LIVINGSTON TELEPHONE: 770-527-2598 TELEPHONE: 770-527-2598

DECATUR, GA 30031

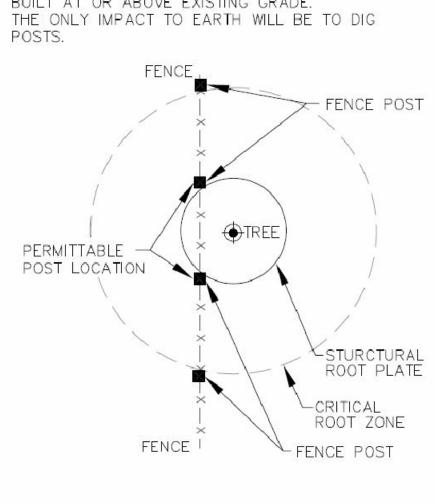
ISSUED: 01/27/2021 EXPIRES: 01/27/2024

IF YOU DIG GEORGIA. 1-800-282-7411 770-623-4344

(METRO ATLANTA ONLY UTILITY PROTECTION CENTER IT'S THE LAW

TREE NOTES: NO TREES WILL BE DESTROYED ACCORDING TO CITY OF ATLANTA PROTECTION ORDINANCE 158.

ALL CONTINUOUS FENCE FOOTERS/STRINGERS LOCATED IN TREE'S CRITICAL ROOT ZONES WILL BE BUILT AT OR ABOVE EXISTING GRADE.



SILT FENCE HAND DUG IN CRZ

TREE DIAGRAM N.T.S.

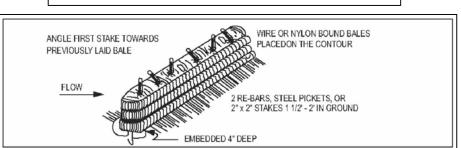
TREE PROTECTION:

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- 2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- 3. KEEP OUT SIGN.

Hay or Straw Bales (Sd1-Hb)

three months or less.

- Place in a single row, lengthwise, on the
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through
- the bales or by other adequate means. Place in areas of low rate sheet flow.
- For use on projects with a duration of



(Co) CONSTRUCTION ENTRANCE/EXIT INDICATES Sd1 TYPE S SILT FENCE

INDICATES Sd1 TYPE Hb (HAYBALES)

DISTURBED AREA STABILIZATION

(W/TEMPORARY VEGETATION)

INDICATES TREE PROTECTION FENCE • • • • • • • • • • • • DISTURBED AREA STABILIZATION (WITH MULCH)

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) DISTURBED AREA STABILIZATION

(WITH SODDING)

GEORGIA SOIL AND WATER CONSERVATION COMMISION

EUGENE A STEPANOV LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NUMBER 0000065549

FIELD WORK DATE FEB 04, 2022

PLAN VIEW Tree Protection Area – 1' per – – Fence at 1" DBH edge of CRZ, or as shown on plan. 3.5" x 1.5" openings Steel posts 2"x6" @ 8' o.c., or 2"x2"x8' Wood stakes @ 6' o.c. SECTION VIEW

No construction activity w/in CRZ; including no storing or stacking materials. Under no circumstances should the fence be trenched in.

Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

STANDARD DETAILS

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY



TREE PROTECTION—ORANGE PLASTIC FENCE

DATE: ORIG. DATE: JUNE 2017 SCALE: N.T.S. DETAIL NO. A-3

CRZ

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

<u>DEFINITION</u>

APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, PRODUCED ON THE SITE IF POSSIBLE, TO THE SOIL SURFACE.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

<u>SPECIFICATIONS</u> THIS STANDARD APPLIES TO GRADES OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION

. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH. . INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:

1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL

CUTBACK ASPHALT (SLOW CURING) SHALL BE APPLIED AT 1.200 GALLONS PER ACRE (OR 1/4 GALLON PER SQUARE YARD 4. POLYETHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED

WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.

1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.

2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20–30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES.

DAMAGE TO SHOES, CLOTHING, ETC.

4. APPLY POLYETHYLENE FILM TO EXPOSED AREAS. ANCHORING MULCH 1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS

MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BI DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BI ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIE ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 10 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION TO - TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN 1 INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO PROBLEMS OF "TRACKING IN" OR

ETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE ZE OF THE WOOD WASTE CHIPS. 3. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) SEEDING RATES FOR TEMPORARY SEEDING

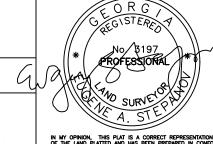
SEEDING RATES FOR TEMPORARY SEEDING					
SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**		
RYE	3.9 POUNDS	3 bu.	9/1-3/1		
RYEGRASS	0.9 POUND	40 lbs.	8/15-4/1		
ANNUAL LESPEDEZA	0.9 POUND	40 lbs.	1/15-3/15		
WEEPING LOVEGRASS	0.1 POUND	4 lbs.	2/15-6/15		
SUDANGRASS	1.4 POUNDS	60 lbs.	3/1-8/1		
BROWNTOP MILLET			4/1-7/15		

WHEAT 4.1 POUNDS 3 bu. *UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.
**SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS. Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**		
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31		
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1		
CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1		
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31		
WEEPING LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15		
SWITCHGRASS	0.9 POUND	40 lbs.	3/15-6/1		
*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES. **SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE					

RELEASED FOR CONSTRUCTION COVER SHEET & NOTES BLOCK SITE PLAN PREPARED FOR: 2695 GEORGE STREET SUBDIVISION UNIT BOB GUNNISON LAND LOT 253 17TH DISTRICT SECTION FULTON COUNTY, GEORGIA DB./PG. PB.432/PG.33

PROPERTY ADDRESS: PRINTED/SIGNED JUNE 13, 2022 2691 GEORGE STREET NW ATLANTA, GA 30318 ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"



SURVEY LAND EXPRESS, INC COORD #20220055 LAND SURVEYING SERVICES

24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM

VARIATIONS AND CONDITIONS.



SHEET 1 OF

OLD HOUSE FFE MAIN N/A

SSMH1 TOP=813.31 INV OUT=803.31

TOP=805.33 (A)INV IN=791.11(B)INV IN = 791.23(C)INV IN=795.53 INV OUT=790.73

WATERS OF THE STATE DO NOT EXIST WITHIN 200' OF THE PROJECT SITE

NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

THE RIGHT-OF-WAY.

THE PLACEMENT OF DUMPSTERS AND THE

PARKING OF AUTOMOBILES IS PROHIBITED IN

SILT FENCE HAND DUG IN CRZ

NO RETAINING WALLS PROPOSED

ATLANTA REGIONAL COMMISSION:

* VULNERABILITY CATEGORY - C

* REFER TO FINAL PLAT FOR THE AS BUILT FOR ALL EXISTING LAND DISTURBANCE AND IMPERVIOUS AREAS. SD 18 — 032

* L E G E N D * APD AS PER DEED ACCESS EASEMENT AS PER FIELD ANGLE IRON FOUND AIF ANGLE IRON FOUN.

APP AS PER PLAT

APR AS PER RECORD

BC BACK OF CURB

BLOCK

BUILDING LINE SETBACK

BRICK

CATCH BASIN

CARLE BOY AIF ANGLE IRON FOUND CABLE BOX CENTER LINE CHAIN LINK FENCE
CORRUGATED METAL PIPE
CITY OF ATLANTA
SAN. SEWER CLEANOUT
CALCULATED POINT CARPORT
CRIMP TOP PIPE FOUND
DEED
DRAINAGE EASEMENT
DRAINAGE INLET
ELECTRIC POWER BOX
ELECTRIC METER FIELD FENCE CORNER FIRE HYDRANT FRAME GAS LINE
GAS METER
GAS VALVE
GUY WIRE HEAD WALL HARDWOOD TREE IRON PIN FOUND IRON PIN SET IRON ROD FOUND IRON FENCE RRIGATION VALVE JUNCTION BOX LIGHT POLE LIGHT POLE
LAND LOT LINE
MAGNETIC READING
MAGNOLIA TREE
MAN HOLE
METAL FENCE
N'BORS.
OVERHANG
OPEN TOP PIPE FOUND
OWNERSHIP UNCLEAR
PORCH PROPERTY CORNER PROPERTY CORNER
PROPERTY LINE
PINE TREE
POINT OF BEGINNING
POWER POLE
POWER LINE
PLAT RECORD
REINFORCING BAR FOUND
REINFORCING BAR SET REINFORCING BAR SEI REINFORCED CONC. PIPE RIGHT—OF—WAY SIGN SANITARY SEWER LINE SANITARY SEWER EASEMENT SCREENED PORCH TOP OF BANK TRAFFIC POLE

UTILITY EASEMENT

WOOD FENCE
WOOD DECK
WATER LINE
WATER METER
WIRE FENCE
WATER VALVE
WET WEATHER
YARD INLET

INDICATES STAIRS

WOOD

-X-X FENCE

IF YOU DIG GEORGIA...

CALL US FIRST 1-800-282-7411

770-623-4344

(METRO ATLANTA ONLY)

UTILITY PROTECTION CENTER

IT'S THE LAW

TREE PRESERVATION PROTOCOLS:

ARBORIST REQUIREMENT FOR REMOVING A DRIVEWAY WITHIN CRZ OF TREES

- DO NOT REMOVE PAVEMENT UNTIL IT IS REPLACED WITH MULCH. USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- REMOVE STONE BASE BY HAND (NO MACHINERY) REPLACE WITH 2" TOPSOIL AND 4" HARDWOOD MULCH. IMMEDIATELY RESET TPF INCREASING TREE SAVE IN THIS AREA.
- ARBORIST REQUIREMENT FOR "IN-KIND" REPLACEMENT OF EXISTING DRIVEWAY WITHIN THE CRZ OF EXISTING TREES
- DO NOT REMOVE PAVEMENT UNTIL IT IS TO BE REPLACED. USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- LEVEL USING 57 STONE DO NOT COMPACT SOIL. LAY 6 MIL PLASTIC SHEET BEFORE POURING CONCRETE

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

NO GRADED SLOPES SHALL EXCEED 2H:1V

BMP W.Q. DEVICE

NEW DOWNSPOUT DS COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STONE STORAGE

ALL GRASS

| Ds1| Ds2| Ds3|

ALL DISTURBED AREAS

INSTALLED AT 2% MINIMAL SLOPÉ

SCALE 1" = 20'

NEW 4" UNDERGROUND-DRAIN PIPING (TYP)

AREAS

LIMITS OF

LIMITS OF

6"HW

APPROX. OF LAND

MRPA:

VULNERABILITY CATEGORY — C MAXIMUM ALLOWABLE IMPERVIOUS AREA — 45% PROPOSED IMPERVIOUS AREA — 36.29% MAXIMUM ALLOWABLE DISTURBED AREA — 70% PROPOSED DISTURBED AREA — 68.5%

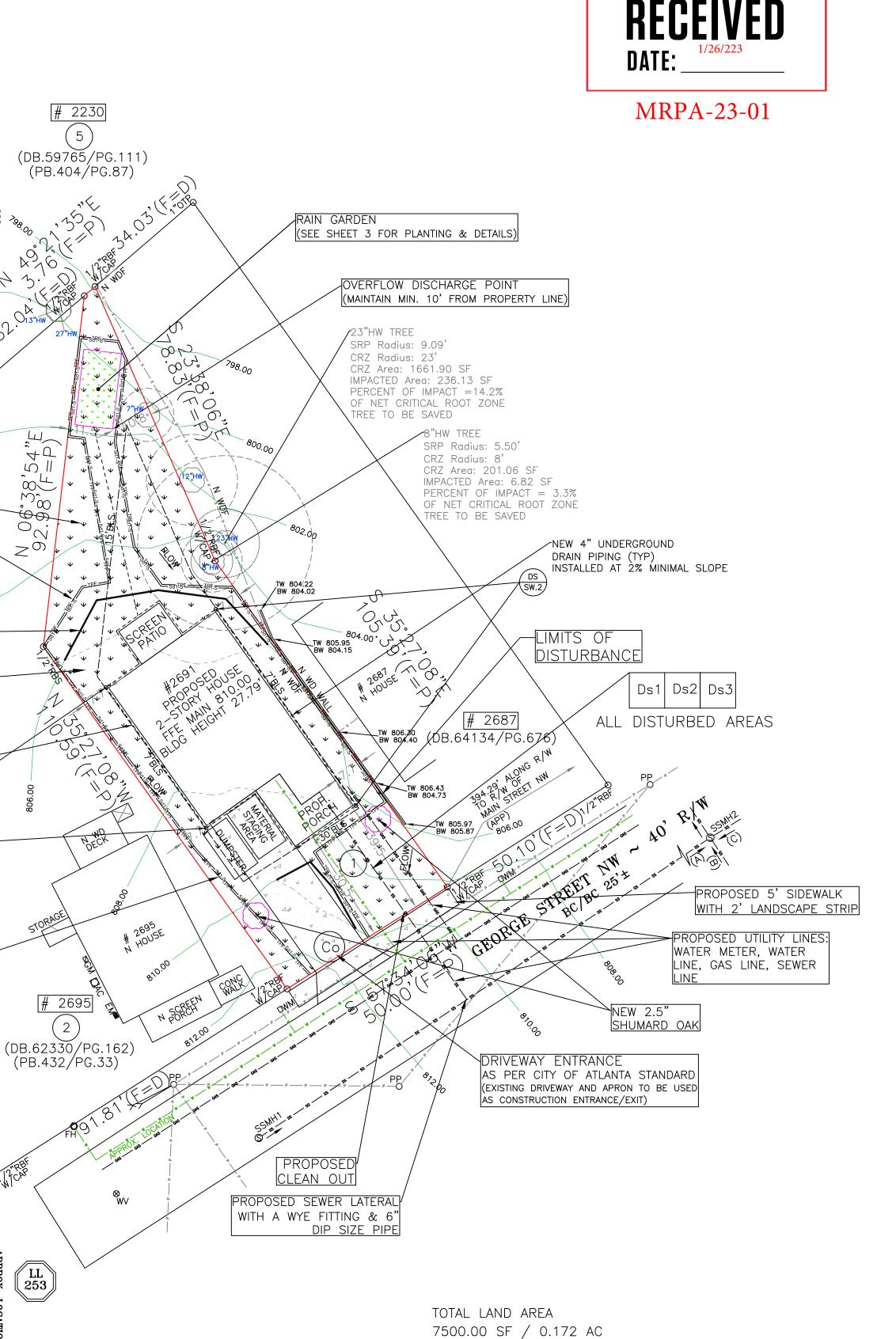
LL 255

DISTURBANCE

DISTURBANCE

PROP CONTOUR





ALLOWABLE IMPERVIOUS FOR R4-A 4125.00 SF / 0.095 AC / 55%

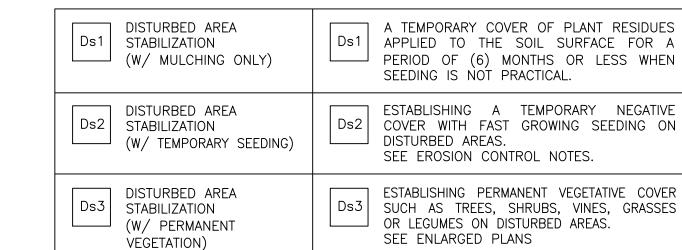
PROPOSED LOT IMPERVIOUS AREA 2721.98 SF / 0.062 AC / 36.29%

FLOOR AREA RATIO

1ST FLOOR 1189 SF 2ND FLOOR 1760 SF TOTAL 2949 SF / 39.3%

DISTURBED AREA 5140.29 SF / 0.118 AC / 68.5%

EROSION CONTROL LEGEND



TREE SAVE STATUS:

INDICATES TREE TO BE REMOVED TREE PROTECTION:

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- 2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- 3. KEEP OUT SIGN.

(Co) CONSTRUCTION ENTRANCE/EXIT INDICATES Sd1 TYPE S SILT FENCE

INDICATES Sd1 TYPE Hb (HAYBALES) /// Sd1-Hb ///// Sd1-Hb ///// Sd1-Hb ///// Sd1-Hb ///// Sd1-Hb ////

Sd1-S

INDICATES TREE PROTECTION FENCE _____TPF ____TPF ____TPF ____TPF ____ DISTURBED AREA STABILIZATION

(WITH MULCH) DISTURBED AREA STABILIZATION

(W/TEMPORARY VEGETATION) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) DISTURBED AREA STABILIZATION

STANDARD RECOMPENSE R=\$100(NREM - NREP) + \$30 (TDBHREM - TCIREP)

2) + \$30(0" | - 5") + \$30 (0"

+ \$ 0.00 R = \$ 0.00

> TREE PLAN REMOVED TREES TREE LIST NONE DBH 7"HW DBH 8"HW

> > NEW TREES New 2.5"

² × Shumard Oak

PRESERVED DBH INCHES= 15" REMOVED DBH INCHES= 0" REPLACEMENT TREES= 5" TOTAL DBH INCHES= 20"

0.172 AC x 120 INCHES/ACRE = 20 INCHES REQUIRED FOR PRESERVATION.

EROSION CONTROL, GRADING

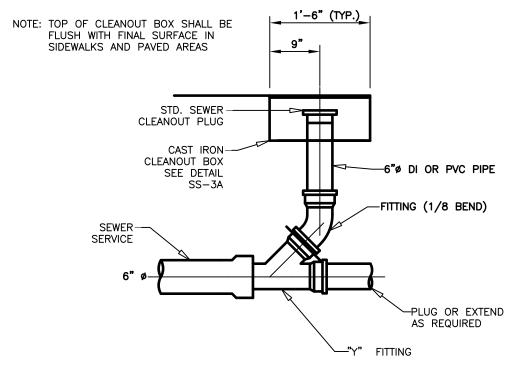
LOT 1	BLOCK		SITE PLAN PREPARED FOR:		
2695 GEORGE STREET SUBDIVISION	ON UNIT	BOB GUNNIS	ROS		
LAND LOT 253 17TH DISTRICT SECTION					
FULTON COUNTY, GEORGIA	DB./PG.	PB.432/PG.33	PROPERTY ADDRESS:		
FIELD WORK DATE FEB 04, 2022	PRINTED/SIGNED	JUNE 13, 2022	2691 GEORGE STREET NW		
ALL MATTERS PERTAINING TO TITLE AR	RE EXCEPTED	ATLANTA, GA 30318] //*		
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.					

SURVEY LAND EXPRESS, INC COORD #20220055 DWG <u>#20220055</u> LAND SURVEYING SERVICES

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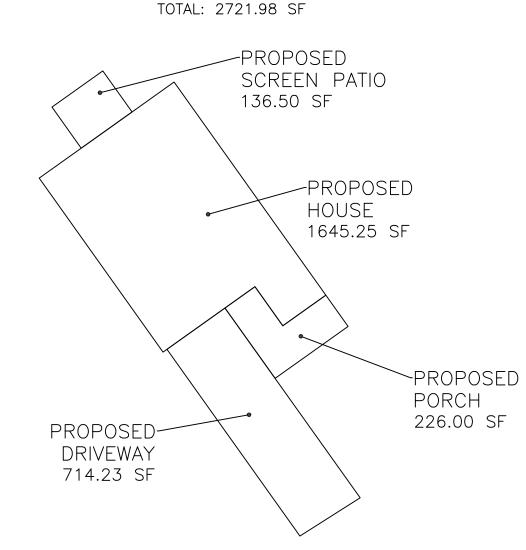


SHEET 2 OF



STANDARD SANITARY CLEANOUT DETAIL (NOT TO SCALE)

PROPOSED COVERAGE AREA DETAILS



WATER QUALITY DEVICE CONTRIBUTION DETAIL

TOTAL: 2901 SF* (*AREAS CONTRIBUTING TO WQDs)

SIZING CALCULATION:

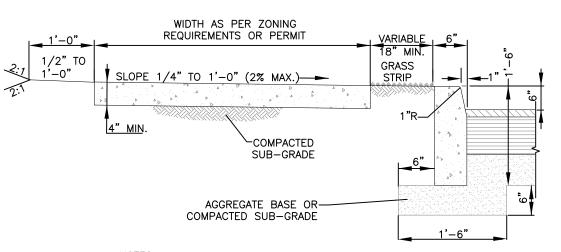
Contributing Drainage Area	Depth of Amended Soil (inches)			
(square feet)	18	24	30	36
	Area of Rain Garden (square feet)			
100	6.6	5.7	5.1	4.6
500	35	30	25	23
1000	65	60	50	45
2000	135	115	100	90
3000	200	170	150	140
4000	250	230	200	185
5000	330	290	255	230

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

CONTRIBUTING DRAINAGE AREA=2721.98 SQ FT DEPTH OF SOIL MEDIA= 18 INCHES AREA OF RAIN GARDEN= 200 SQ FT TOTAL

 $[(3,000/3,000)\times200=200]$ REQUIRED RATIO

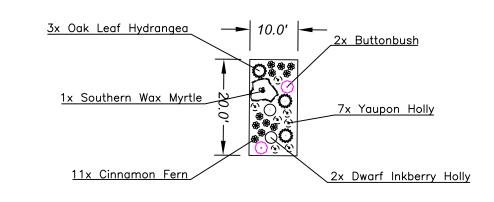
CONCRETE SIDEWALK AND CONCRETE HEADER CURB (NOT TO SCALE)



- 1. SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET.
- 2. CONCRETE SHALL BE TYPE "A" 3,000 P.S.I. MIN. STRENGTH. EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A
- DRIVEWAY APRON AND NOT MORE THAN 100 FEET APART. 4. PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK.
- 5. ALL CONCRETE WORK SHALL BE PER CITY OF ATLANTA STANDARD SPECIFICATIONS FOR CONSTRUCTION. 6. NEITHER WIRE MESH NOR REBAR CAN BE USED IN THE R/W

GREEN INFRASTRUCTURE PLAN

(200 SF TOTAL REQUIRED) 200 SF PROPOSED



PLANTS FOR RAIN GARDEN:

- 1 Southern Wax Myrtle
- 2 Buttonbush
- 2 Dwarf Inkberry Holly
- 7 Yaupon Holly
- 3 Oak Leaf Hydrangea
- 11 Cinnamon Fern

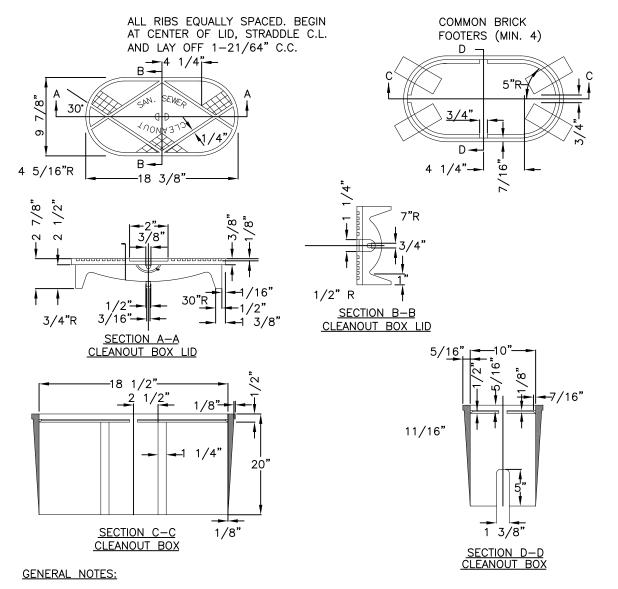
MAINTENANCE SCHEDULE FOR RAIN GARDENS:

- 1. IRRIGATE VEGETATION AS NEEDED (IN FIRST SEASON).
- 2. REMOVE WEEDS (AS THEY APPEAR). 3. REPLACE UNSUCCESSFUL PLANTINGS (UPON FAILURES).
- 4. REPLENISH MULCH (SEASONALLY).
- 5. REPAIR ERODED AREAS (AS NEEDED)
- 6. RAKE CLOGGED SURFACE TO RESTORE INFILTRATION (MONTHLY).
- 8. MONITOR RAIN GARDEN FOR APPROPRIATE DRAINAGE TIMES.
- 7. VISUALLY INSPECT RAIN GARDEN (WEEKLY).
- IF RAIN GARDEN DOES NOT, AN UNDERDRAIN MAY BE NECESSARY.

RAIN GARDEN BMP NOTES:

- 1. ALL DOWNDRAINS TO BE CONNECTED TO 4" PIPES DIRECTED TO RAIN GARDENS.
- 2. PIPES FROM DOWNDRAINS MUST EXTEND AT LEAST 12" INTO RAIN GARDENS
- 3. ALL PIPES SHALL BE SURROUNDED BY 1" OF CLEAN GRAVEL ON ALL SIDES WITHIN THE TRENCH WHERE EACH PIPE LIES. 4. RAIN GARDENS MUST BE INSTALLED A MINIMUM OF 10 FEET
- AWAY FROM ALL FOUNDATIONS. 5. RAIN GARDENS MAY NOT BE INSTALLED: WITHIN PUBLIC RIGHT-OF-WAYS; NOT NEAR UTILITY LINES; NOT OVER SEPTIC
- FIELDS, NOT NEAR A STEEP BLUFF. 6. RAIN GARDEN SHALL HAVE A BERM AT ITS DOWNHILL EDGES AND SIDES. TOPS OF THE BERM NEEDS TO BE LEVEL, AND SET
- AT THE MAXIMUM PONDING ELEVATION. 7. OVERFLOW FROM WATER QUALITY BMPS SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- 8. OVERFLOW POINT(S) OF RAIN GARDEN SHALL BE A MINIMUM OF
- 10 FEET AWAY FROM ALL PROPERTY LINES. 9. REFER TO THE CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT'S GREEN INFRASTRUCTURE MANUAL
- 6. WQ BMPs TO BE INSTALLED AT TIME OF FINAL LANDSCAPING.
- 7. ALL COLLECTED WATER SHALL BE DIRECTED TO WQ BMPs.

SANITARY CLEANOUT BOX (NOT TO SCALE)



1. UNLESS NOTED OTHERWISE, CAST IRON SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A48 LATEST REVISION FOR CLASS 20 GREY IRON CASTINGS. 2. CASTINGS SHALL BE TRUE AND FREE OF HOLES. THEY SHALL BE CLEANED ACCORDING TO GOOD FOUNDRY PRACTICE, CHIPPED AND GROUND AS NEEDED TO REMOVE FINS AND ROUGH PLACES. 3. FINISHED CASTINGS SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR PITCH VARNISH AS INDICATED IN A.W.W.A. SPECIFICATIONS C110, LATEST REVISION. COATING MAY BE APPLIED COLD

AND SHALL BE SMOOTH, GLOSSY, NOT BRITTLE WHEN COLD, NOT STICKY WHEN EXPOSED TO THE

SUN, AND SHALL ADHERE TO THE METAL AT ALL TEMPERATURES. 4. WHEN COATING IS COMPLETE, LID SHALL FIT SNUGLY WITHOUT ROCKING THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED

AND SHOULD BE REVIEWED THOROUGHLY.

9P06 Downspout Adapter 3 3/4" O.D. 4 1/2" O.D 3.62" I.D. Material: PVC Color: White Adapts 4" down spout to 4" SDR pipe 4 1 1/16" O.D.

4 7/16" I.D.

3H:1V SIDE SLOPES MAX, TYP

6" MAXIMUMPONDING DEPTH

HIGH POINT

DEPTH VARIES FOR

AMENDED PLANTING SOIL

SIDEWALK SIDEWALK -CRUB & GUTTER TOP VIEW (NOT TO SCALE) DRIVEWAY ₱1" GUTTER LINE SECTION A-A (NOT TO SCALE) Slope 1/4" TO 1'-0" (2% min.) 8" COMMERCIAL (CONCRETE BASE)

STANDARD DRIVEWAY WITH CURB AND GUTTER

STANDARD DRIVEWAY DETAILS (NOT TO SCALE)

-EXPANSION MATERIAL

DRIVEWAY WIDTH

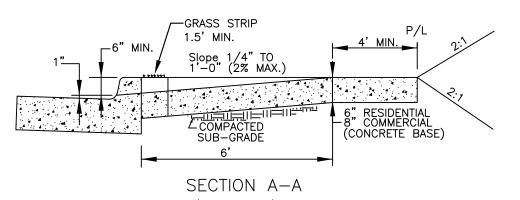
EXPANSION MATERIAL

GUTTER LINE - BREAK-

CURB SECTION IF CURB & GUTTER, GRANITE OR

HERE AND REMOVE

HEADER CURB.



SECTION B-B

(NOT TO SCALE)

(NOT TO SCALE) NOTE: CAN EXCHANGE W./CONC. HEADER CURB OR GRANITE CURB.

BERM AS NEEDED

COMPACTED

STRUCTURAL FILL

~2-3" MULCH

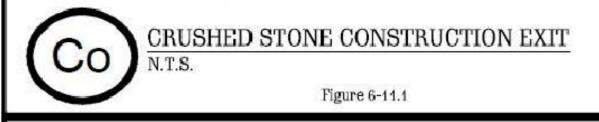
UNDISTURBED NATIVE SUBGRADE

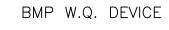
ENTRANCE ELEVATION

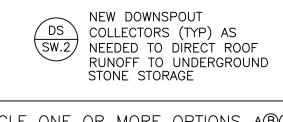
EXIT DIAGRAM

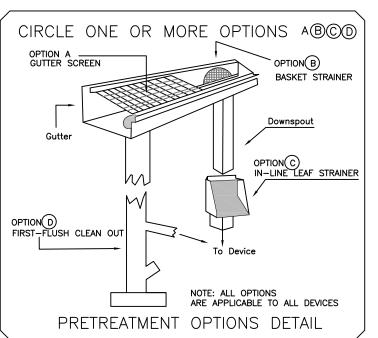
Avoid locating on steep slopes or at curves on public roads.

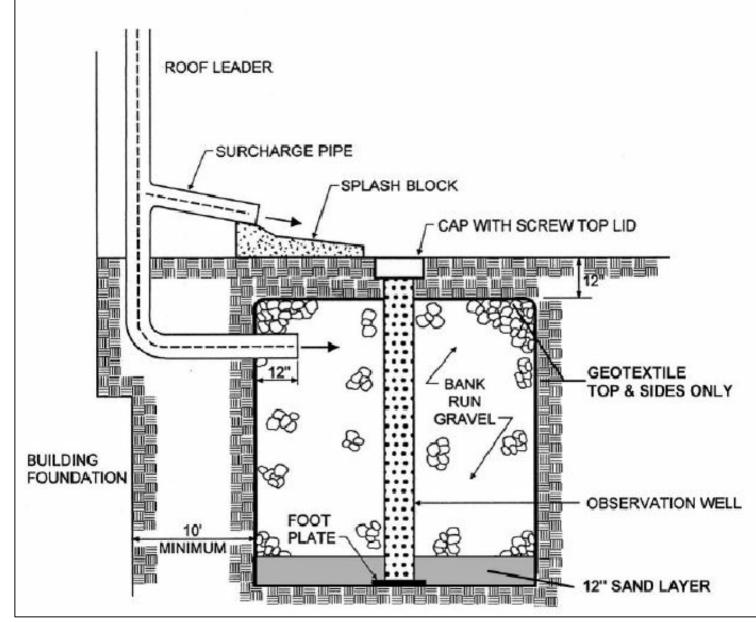
- 2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for
- Aggregate size shall be in accordance with National Stone Association R-2 (4.5"-3.5" Stone).
- . Gravel pad shall have a minimum thickness of 6". 5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
- 6. A diversion ridge should be constructed when grade toward paved area is greater than 2%...
- Install pipe under the entrance if needed to maintain drainage ditches. 8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an
- approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
- Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
- 10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.











STONE STORAGE DETAIL SIDE VIEW

PER GEORGIA STORMWATER MANAGEMENT TECHNICAL MANUAL, VOLUME 2 (2016 EDITION)

RELEASED FOR CONSTRUCTION

STORMWATER MANAGEMENT & DETAILS

ATLANTA, GA 30324

FAX 404-601-0941

TEL 404-252-5747

LOT 1 BLOCK			SITE PLAN PREPARED FOR:	
2695 GEORGE STREET SUBDIVISI	STREET SUBDIVISION UNIT		BOB GUNNISON	
LAND LOT 253 17TH DISTRIC	CT SECTION	١	BOB GOTTINE	,011
FULTON COUNTY, GEORGIA	DB./PG.	PB.432/PG.33	PROPERTY ADDRESS:	
FIELD WORK DATE FEB 04, 2022	PRINTED/SIGNED	JUNE 13, 2022	2691 GEORGE STREET NW	
ALL MATTERS PERTAINING TO TITLE A	RE EXCEPTED	PAPER SIZE: 24" x 36"	ATLANTA, GA 30318	*
THE FIELD DATA LIDON WHILEH THE DLAT IS DAGED	1 01 00 UDF 05 1 500	T IN 30 000 - FEET AN ANOUNAD FEDDOD OF OF O	SCONED DED ANOTE DON'T AND WAS ADMISTED HOME THE LEAST	[["]

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IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITH WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW. INFO@SURVEYLANDEXPRESS.COM

SHEET 3 OF 3

SEE SHEET 2 FOR SKETCH LAYOUT

RAIN GARDEN PROFILE DETAIL

SEE GREEN INFRASTRUCTURE FOR SINGLE FAMILY RESIDENCES FOR DESIGN DETAILS AND CONSTRUCTION STEPS

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