

REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: JANUARY 18, 2023

TO: Mayor Rusty Paul, City of Sandy Springs

ATTN TO: Helen Owens, Zoning Administrator, City of Sandy Springs
FROM: Mike Alexander, Director, ARC Center for Livable Communities

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC-22-11SS 8980 Ridgemont Drive NE

MRPA Code: RC-22-11SS

<u>Description:</u> A MRPA review of a proposal to demolish an existing deck and screened porch and construct a new deck and sun room addition to a single-family house on an approximately 1.13 -acre site at 8980 Ridgemont Drive NE in the city of Sandy Springs in Fulton County. All of the site falls within the Chattahoochee River Corridor. Proposed land disturbance areas and impervious areas are within the allowed limits.

<u>Preliminary Finding:</u> ARC staff have completed an initial review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor

Submitting Local Government: City of Sandy Springs

<u>Date Opened:</u> January 18, 2023 <u>Deadline for Comments:</u> January 30, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE GEORGIA CONSERVANCY CITY OF ROSWELL CHATTAHOOCHEE RIVERKEEPER RIVER LINE HISTORIC AREA

For questions regarding this review, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before January 30, 2023, we will assume that your agency has no additional comments and will close the review. Comments should be submitted via email. The ARC review website is located at: http://www.atlantaregional.org/land-use/planreviews.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1.	Name of Local Government: City of Sandy Songs					
2.	Owner(s) of Record of Property to be Reviewed: Name(s): Gegov L. and Nancy J. Rand Mailing Address: JSASO Riagoment Dave NE City: And Johns State: GA Zip: 30350 Contact Phone Numbers (W/Area Code): Daytime Phone: 678 387-9944 Fax: NA					
	Other Numbers: (404) 323-0666 Nancy					
3.	Applicant(s) or Applicant's Agent(s): Name(s):					
	Mailing Address:					
	City: State: Zip:					
	Contact Phone Numbers (w/Area Code):					
	Daytime Phone:Fax:					
	Other Numbers:					
4.	Proposed Land or Water Use: Name of Development: BR22-00242 Rand Addition Description of Proposed Use: Demo of existing deckarel Screened porchand censtworks at New deck and 430 S F Relatition Property Description (Attach Legal Description and Vicinity Map): Land Lot(s), District, Section, County: 17 0080000 30186, District I Lot 20 Block Dunit 4 Land Lot 81 Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:					
	Size of Development (Use as Applicable):					
	Acres: Inside Corridor: 13 Outside Corridor: 13 13					
	Lots: Inside Corridor:					
	Outside Corridor:					
	Total:					
	Units: Inside Corridor:					
	Outside Corridor:					
	Total:					
	Other Size Descriptor (i.e., Length and Width of Easement):					
	Inside Corridor:					
	Outside Corridor:					
	Total:					

6. Related Chattahoochee Corridor Development: A. Does the total development include additional land in the Chattahoochee Corridor is not part of this application? If "yes", describe the additional land and any development plans:									
	Has any part of the prop bordering this land, pre Corridor review approv If "yes", please identify of the review(s):	viously received a coral? the use(s), the review	ertificate or any oth	ner Chattahoochee mber(s), and the date(s)					
 7. How Will Sewage from this Development be Treated? A. Septic tank									
Vulneral Catego	•	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Percent Land Imperv. <u>Disturb. Surf.</u> (Maximums Shown In Parentheses)					
A	NIA			(90) (75)					
В	NIA			(80)(60)					
C	29.46HSF	11 702 (F	10,0865F	(70) <u>40 2</u> (45) <u>34</u> %	1				
D	NIA	111 1923.	10/ 2 3	(50) (30)					
E		7.868SF	1.434SF	(30) 30 $\frac{9}{6}$ (15) $\frac{15}{6}$					
F	(7,000	1)	(10)(2)					
Total:				N/A N/A					

	- 1
9.	Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? If "yes", indicate the 100-year floodplain elevation: NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982. NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.
10.	Is any of this land within the 500-year floodplain of the Chattahoochee River? If "yes", indicate the 500-year flood plain elevation: NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).
11.	The following is a checklist of information required to be attached as part of the application. Individual items may be combined.
FOI V	ALL APPLICATIONS: Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
/	Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
V	Written consent of all owners to this application. (Space provided on this form)
/	Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
/	Description of proposed use(s). (Space provided on this form)
/	Existing vegetation plan.
/	Proposed grading plan.
/	Certified as-builts of all existing land disturbance and impervious surfaces.
V	Approved erosion control plan.
/	Detailed table of land-disturbing activities. (Both on this form and on the plans)

4	
	Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of -way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.
V	Cashier's check or money order (for application fee).
FO.	R SINGLE-STEP APPLICATIONS (NON-SUBDIVISION): Site plan.
V	Land-disturbance plan.
FO	R TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY: _ Concept plan.
	Lot-by-lot and non-lot allocation tables.
120	I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary) Signature(s) of Owner(s) of Record Date
13.	I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:
	Signature(s) of Applicant(s) or Agent(s) Date
14.	M an Ce (1
	Signature of Chief Elected Official or Official's Designee Date

PROPERTY IS ZONED RD-27 CITY OF SANDY SPRINGS

BUILDING SETBACKS: FRONT: 60.0' SIDE: 15.0' REAR: 40.0' MAX. LOT COVERAGE 30%

MAX. BUILDING HEIGHT 40'

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

DIRT STATEMENT:

TOTAL OF GROSS CUBIC YARDS OF CUT: 1 TOTAL OF GROSS CUBIC YARDS OF FILL: 1 EXCESS OF SOIL TO BE HAULED OFF.

DISTURBED AREA STABILIZATION:

ANTICIPATED STARTING DATE: 12/15/2022 ANTICIPATED COMPLETION DATE: 05/15/2023

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

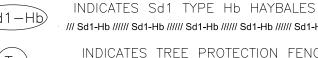
EROSION CONTROL LEGEND

Ds1 DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1 A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2 DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2 ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3 ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS



CONSTRUCTION ENTRANCE/EXIT

INDICATES Sd1 TYPE S SILT FENCE



/// Sd1-Hb ///// Sd1-Hb ///// Sd1-Hb ///// Sd1-Hb ///// INDICATES TREE PROTECTION FENCE — TPF — TPF — TPF — TPF —

DISTURBED AREA STABILIZATION (WITH MULCH) DISTURBED AREA STABILIZATION

(W/TEMPORARY VEGETATION)

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) DISTURBED AREA STABILIZATION (WITH SODDING)

TREE PROTECTION:

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- 2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

ABBREVIATIONS:

APD AS PER DEED

BRICK

ACCESS EASEMENT

ANGLE IRON FOUND

AS PER FIELD

AS PER PLAT

AS PER RECORD

BACK OF CURB

BUILDING LINE

CATCH BASIN

CENTER LINE

CLEANOUT

FIELD

FRAME

GAS LINE

MANHOLE

NEIGHBOR'S

OVERHANG

PLAT

PN PINE TREE

PW POWER LINE

RECORD

R/W RIGHT-OF-WAY

WOOD

WDF WOOD FENCE

WRF WIRE FENCE

WM

WATER LINE

WATER METER

WATER VALVE

YARD INLET

TOP OF BANK

UTILITY EASEMENT

GAS METER

CHAIN LINK FENCE

CALCULATED POINT

DRAINAGE EASEMENT

EDGE OF PAVEMENT

DRAINAGE INLET

ELECTRIC METER

FENCE CORNER

HARDWOOD TREE

IRON PIN FOUND

JUNCTION BOX

LAND LOT LINE

OPEN TOP PIPE FOUND

OWNERSHIP UNCLEAR

PROPERTY CORNER

RBF REINFORCING BAR FOUND

RBS REINFORCING BAR SET

RCP REINFORCED CONC. PIPE

SSE SANITARY SEWER FASEMENT

SANITARY SEWER LINE

PROPERTY LINE

POB POINT OF BEGINNING

POWER POLE

CORRUGATED METAL PIPE

CRIMP TOP PIPE FOUND

3. KEEP OUT SIGN.

FLOOD NOTE:

I HAVE THIS DATE. EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID 13121C0132G ____ EFFECTIVE DATE: 09/18/2013 ZONES: X & AE .

BASE FLOOD ELEVATION IS 862.5' AS PER FEMA MAP

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOWN THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPLAITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

SCOPE OF PLAN:

- THE PROPERTY IS AN EXISTING DEVELOPED LOT IN A PLATTED SUBDIVISION
- THE PURPOSE OF THIS SITE PLAN IS FOR USE IN ACQUIRING BUILDING AND LAND DISTURBANCE PERMITS.
- NO NEW PERMANENT STORMWATER MANAGEMENT BMPs REQUIRED AS THE PROPOSEL DEVELOPMENT DOES NOT CREATE 1,00 SF OR MORE OF NEW IMPERVIOUS AREAS.

EROSION CONTROL BMPs TO BE MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES AS DETAILED HEREON. NO LAND DISTURBANCE PROPOSED WITHIN ANY STREAM BUFFER.

THE PROPERTY IS SERVICED BY AN EXISTING PRIVATE ON-SITE SANITARY SEPTIC.

PROJECT SUMMARY:

HOMEOWNERS ARE RENOVATING AN EXISTING REAR SUNROOM AND ADDING BACK A NEW SUNROOM, DECK AND STAIR THAT WILL ACCESS THE REAR YARD.

THERE IS A SCREEN PORCH UNDER THE NEW SUNROOM AND NEW TERRACE DESIGN AT THE TERRACE LEVEL.

HOMFOWNERS ARE ALSO REMOVING AN INTERIOR STAIRCASE AND PARTIAL WALL TO ENLARGE THE KITCHEN AND OPEN UP CIRCULATION.

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLÚDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

KEY SHEET:

SHEET 1: COVER & NOTES

SHEET 2: EROSION CONTROL, GRADING & TREE PLAN

SHEET 3: LOT COVERAGE DETAILS

SHEET 4: BMP DETAILS

SURVEY NOTES:

- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE
- AND FOR FIELD LOCATIONS 2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE
- 4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- 5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- 6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS
- RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY. 7. THE PUBLIC RECORDS INFORMATION AS SHOWN HEREON REFLECT THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO
- CONSTITUTE A TITLE SEARCH OR TITLE OPINION. 8. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- 9. THIS SURVEY WAS PREPARED TO SHOWN THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. 10. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY
- FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. 11. STORM DRAINAGE AND SANITARY SEWER EASEMENTS SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS STRUCTURES AND PIPES ASSOCIATED WITH THE FASEMENTS LINESS CLEARLY DIMENSIONIED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO
- CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA. 12. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- 13. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
- 14. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND ACCOMPANYING PLUMB PRISM POLE WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.

REAR BOUNDARY LINE NOTE:

THE LOCATION OF THE REAR BOUNDARY LINE KNOWS AS "868 CONTOUR LINE" AS SHOWN HEREON IS BASED ON PLAT BOOK 100, PAGE 75, DATED JUNE 12, 1972.

ADDITIONAL REFERENCES: GEORGIA POWER COMPANY PLAT, RECORDED IN PB.92/PG.14, FULTON COUNTY, DATED APRIL 30, 1969

> BEARINGS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, GA WEST ZONE 1002 ELEVATIONS SHOWN HEREON RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

NAME AND ADDRESS OF OWNER: GREG RAND 8980 RIDGEMONT DRIVE NE

SANDY SPRINGS, GA 30350

24-HRS CONTACT: GREG RAND 8980 RIDGEMONT DRIVE NE SANDY SPRINGS, GA 30350 TELEPHONE: (678) 382-9944 EMAIL: office@elementzatl.com

NAME, ADDRESS, AND PHONE NUMBER OF OWNER/DEVELOPER:

SITE PLAN NOTES:

- 1. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED
- 2. NO DECKS, PATIOS OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
- . NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- 4. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BE SECTION 404 PERMIT. 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION
- AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. 6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 7. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER.
- 8. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD LONGER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING 9. EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND
- REPAIRED BY GENERAL CONTRACTOR. 10. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR.
- 11. WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- 12. TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF SANDY SPRINGS STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- 13. ALL GRADED SLOPES MUST NOT EXCEED BE 3H:1V. STEEPER SLOPES MAY BE APPROVED UPON CERTIFICATION OF STABILITY BY A SOIL ENGINEER PER DEVELOPMENT CODE SECTION 9.4.2.G.4. 14. ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN
- 15. GRADE TO DRAIN AWAY FROM FOUNDATION.
- 16. PER DEVELOPMENT CODE ACCESSORY STRUCTURES (i.e. HVAC AND GENERATOR SLABS) MAY BE LOCATED IN REAR OR SIDE YARDS ONLY BUT SHALL COMPLY WITH ALL MINIMUM YARD AND SETBACK REQUIREMENTS AND SHALL NOT BE LOCATED WITHIN THE SIDE OR REAR YARD SETBACKS. 17. WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE. PRESENCE OF STATE WATERS AND
- BUFFERS REQUIREMENT ARE SUBJECT TO COUNTY OF CITY DETERMINATION BY ENVIRONMENTAL. BUFFERS MAY APPLY.
- 18. LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR
- TREE SAVE AREA. 19. THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 -IT'S THE LAW.
- 20. HAUL ROUTE PERMIT IS NOT REQUIRED.
- 21. LAND DISTURBANCE WITHIN THE RIGHT-OF-WAY IS PROHIBITED. 22. TOPOGRAPHY IS BASED ON FIELD RUN DATA BY SURVEY LAND EXPRESS, INC. ON AUGUST 26, 2022. (THE FIELD RUN TOPOGRAPHY DATE SHOULD NOT BE EARLIER THAN THE SITE'S FINAL PLAT DATE.) 23. THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS HEREON CERTIFIES UNDER PENALTY OF LAW THÁT
- THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY HIMSELF OR HIS AUTHORIZED AGENTS. UNDER HIS SUPERVISION. 24. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND
- DISTURBING ACTIVITY IS IN PROCESS. 25. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE
- LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. 26. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND
- SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. 27. BE AWARE THAT A FOUNDATION FORM SURVEY IS REQUIRED FOR ALL NEW CONSTRUCTION/NEW ADDITIONS WHERE THE BUILDING IS LOCATED WITHIN 5 FEET OF ANY SET-BACK, EASEMENT, OR BUFFER. THE FOUNDATION FORM SURVEY SHALL BE SIGNED BY A SURVEYOR LICENSED IN THE STATE OF GEORGIA.
- 28. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. 29. AN AS-BUILT DRAWING CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM ELEVATIONS OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF
- 30. CONTRACTOR MUST PROVIDE PROOF OF WATER METER PURCHASE FROM CITY OF ATLANTA AT PRE-CONSTRUCTION MEETING.

THE SUBJECT PROPERTY IS SERVICED BY AN EXISTING PRIVATE ON-SITE SANITARY SEPTIC SYSTEM. NO NEW SANITARY INFRASTRUCTURE PROPOSED

GEORGIA SOIL AND WATER

CONSERVATION COMMISION

EUGENE A STEPANOV

LEVEL II CERTIFIED DESIGN PROFESSIONAL

ISSUED: 01/27/2021 EXPIRES: 01/27/2024

CERTIFICATION NUMBER 0000065549

AFTER THE PERMIT IS ISSUED GO ON THE PORTAL AT WWW.BUILD.SANDYSPRINGSGA.GOV

TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE. **BUILDING CONSTRUCTION OR DEMOLITION.**



(METRO ATLANTA ONLY)

UTILITY PROTECTION CENTER IT'S THE LAW

LINETYPE LEGEND:

—— ss —— ss —— INDICATES SANITARY SEWER LINE — P — P — P — P — INDICATES POWER LINE

INDICATES GAS LINE

INDICATES WATER LINE ——— GAS ——— GAS ———

— W — W — W — W —

____ x ___ x ___ x ___ INDICATES FENCE LINE

——SRP——SRP—— INDICATES STRUCTURAL ROOT PLATE

COVER SHEET

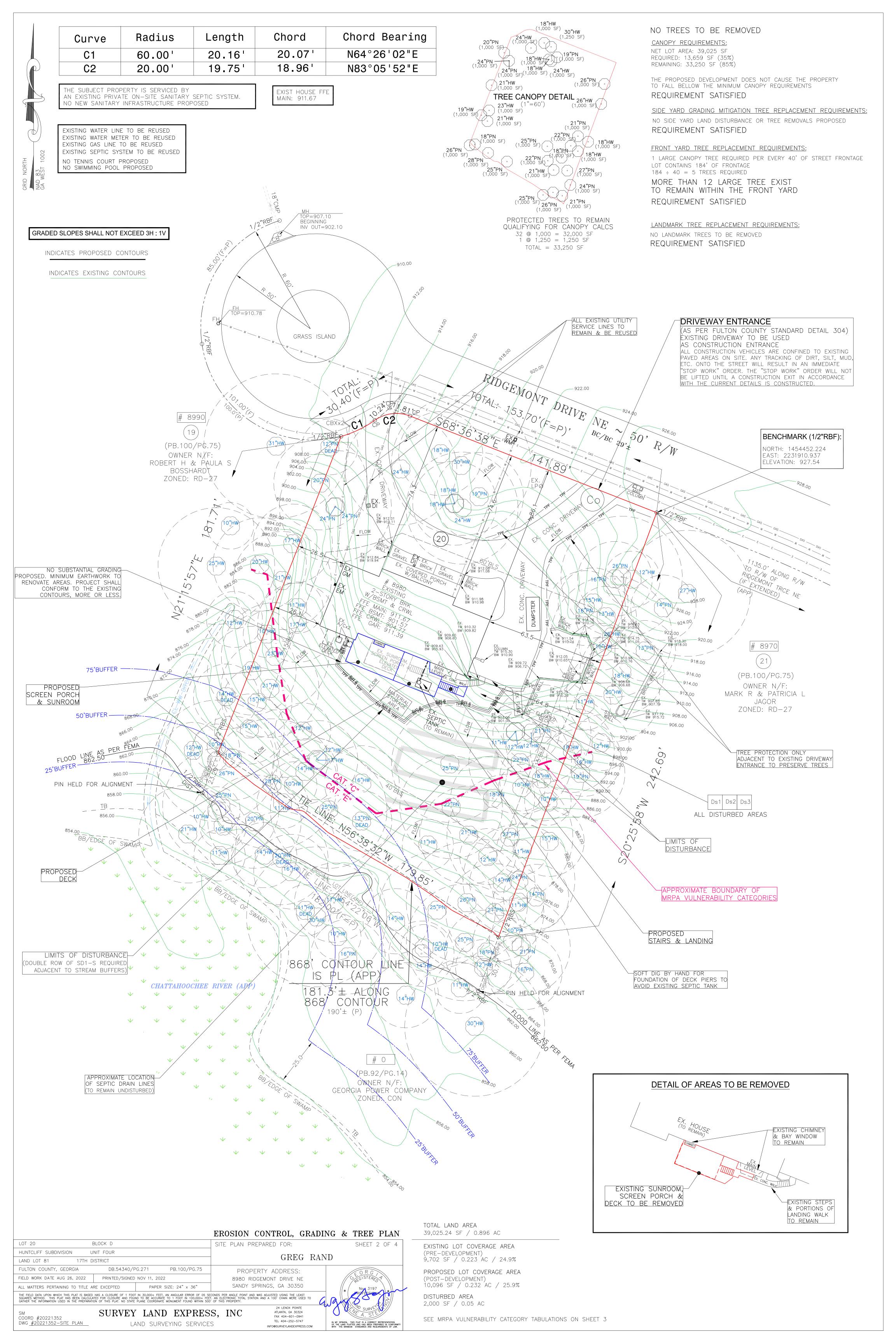
LOT 20 BLOCK D SITE PLAN PREPARED FOR: HUNTCLIFF SUBDIVISION UNIT FOUR GREG RAND 17TH DISTRICT LAND LOT 81 FULTON COUNTY, GEORGIA DB.54340/PG.271 PB.100/PG.75 PROPERTY ADDRESS: FIELD WORK DATE AUG 26, 2022 PRINTED/SIGNED NOV 11, 2022 8980 RIDGEMONT DRIVE NE SANDY SPRINGS, GA 30350 PAPER SIZE: 24" x 36" ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

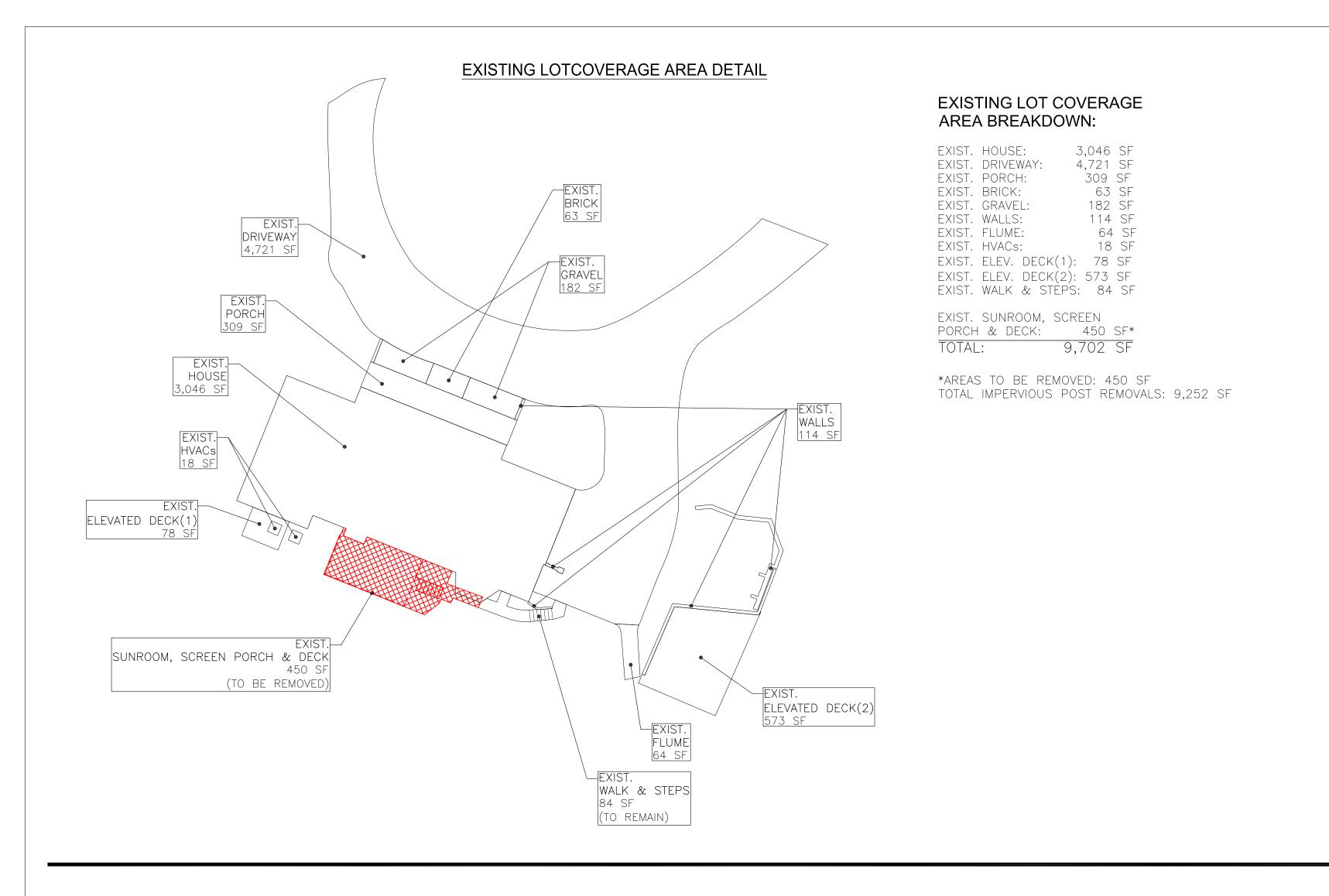
COORD #20221352 DWG #20221352-SITE PLAN

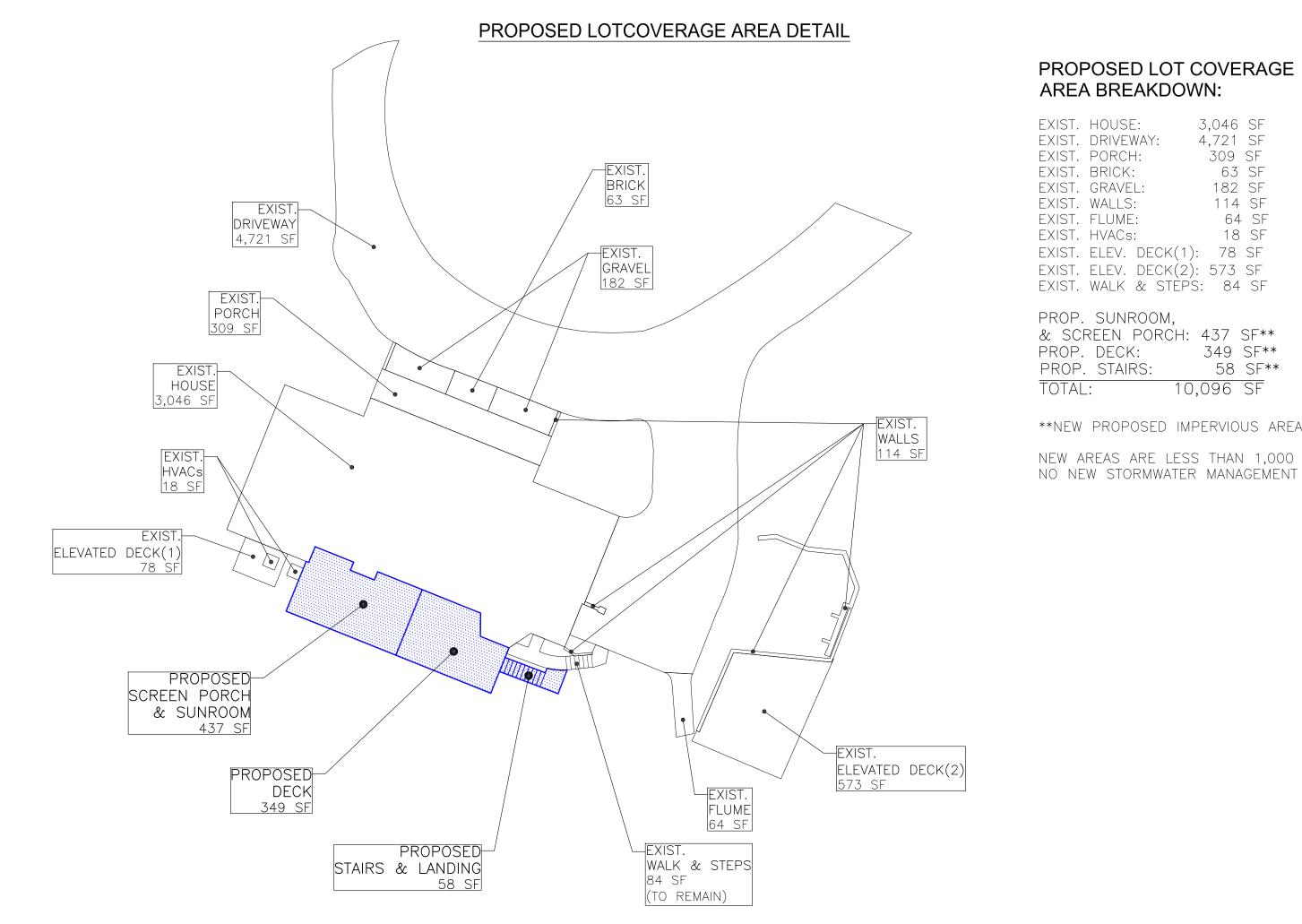
SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES

ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM

SHEET 1 OF 4







AREA BREAKDOWN:

EXIST. HOUSE: 3,046 SF EXIST. DRIVEWAY: 4,721 SF EXIST. PORCH: 309 SF EXIST. BRICK: 63 SF EXIST. GRAVEL: 182 SF 114 SF EXIST. WALLS: EXIST. FLUME: 64 SF EXIST. HVACs: 18 SF EXIST. ELEV. DECK(1): 78 SF EXIST. ELEV. DECK(2): 573 SF EXIST. WALK & STEPS: 84 SF

PROP. SUNROOM, & SCREEN PORCH: 437 SF**

PROP. DECK: 349 SF** 58 SF** PROP. STAIRS: 10,096 SF

**NEW PROPOSED IMPERVIOUS AREAS: 844 SF

NEW AREAS ARE LESS THAN 1,000 SF NO NEW STORMWATER MANAGEMENT REQUIRED

Estimated Reevaluated Category Areas for 8980 Ridgemont Drive (Total Lot Area and Existing Impervious Numbers are from Survey Table)

December 08, 2022

Total Lot Area (from Survey): 39,025 square feet (SF)					
C Category:					
Total Area:	29,464 SF				
Land Disturbance					
Land Disturbance:	A0 (A7 CF)				
Maximum Allowed (70%):	20,625 SF				
Existing:	9,702 SF (existing impervious)				
Proposed:	2,000 SF (Very rough estimate)				
Total after Construction:	11,702 SF				
Remaining (unused):	8,923 SF (see note below)				
Impervious Surface:					
Maximum Allowed (45%):	13,259 SF				
ACCORD CONTROL OF THE	Secretary Productive Secretary				
Existing:	9,702 SF (existing impervious)				
Amount Removed:	-450 SF				
Amount Added:	844 SF				
Total after Construction:	10,096 SF				
Remaining (unused):	3,163 SF				
E Category:					
Total Area:	9,561 SF				
Land Disturbance:					
Maximum Allowed (30%):	2,868 SF				
Existing:	0 SF				
Remaining (unused):	2,868 SF				
Impervious Surface:					
Maximum Allowed (15%):	1,434 SF				
Existing:	0 SF				
Remaining (unused):	1,434 SF				

8980 Ridgemont Drive Reevaluation **City of Sandy Springs December 8, 2022**

Vulnerability Factor	Factor Subgroup	Score			
Hydrology:	Interbasin	20			
Geology:	Biotite Gneiss	5			
Aspect:	West	12			
Slope:	10-25 Percent	9			
Subtotal:		46			
Vegetation:	Barren Pines	2		 15	
Subtotal:		48		61	
Soils	Urban/Unclassified Moderate to Severe Erodibility	0	 16	 16	
TOTAL: CATEGORY:		48 C	64 E	77 E	

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED

COORD #20221352 DWG_#20221352-SITE_PLAN

The "C" Category includes scores from 38 to 49. The "E" Category includes scores from 60 to 79.

LOT COVERAGE DETAILS

LOT 20 SITE PLAN PREPARED FOR: BLOCK D SHEET 3 OF 4 UNIT FOUR HUNTCLIFF SUBDIVISION GREG RAND 17TH DISTRICT FULTON COUNTY, GEORGIA DB.54340/PG.271 PB.100/PG.75 PROPERTY ADDRESS: FIELD WORK DATE AUG 26, 2022 PRINTED/SIGNED NOV 11, 2022 8980 RIDGEMONT DRIVE NE

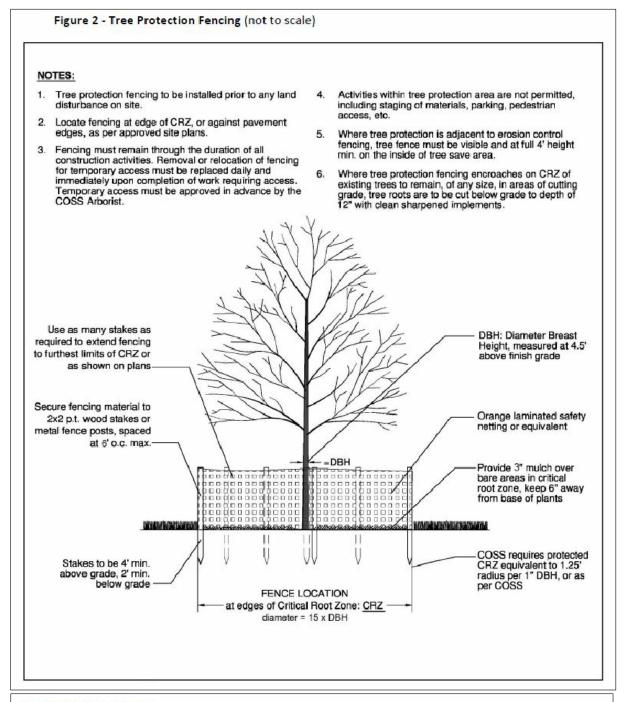
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PAPER SIZE: 24" x 36"

LAND SURVEYING SERVICES

SANDY SPRINGS, GA 30350 ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM

NOTE: Because the existing landscaping pre-dates MRPA, it is not counted as disturbed.



K. Planting Standards

Transplanting procedures shall follow standards established by the International Society of Arboriculture in the "Trees and Shrub Transplanting Manual," latest edition. The following is a summary of several key practices.

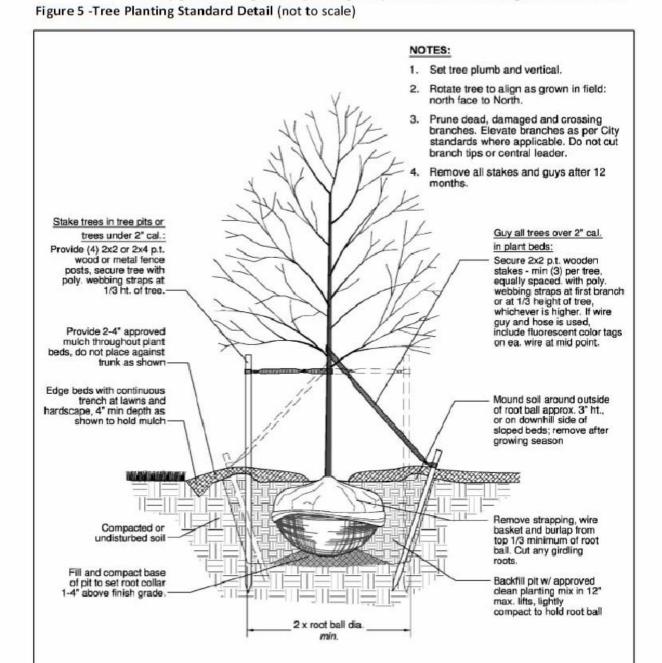
1. Pre-Planting Considerations

- i. Only healthy trees with a well-developed root system and a well formed top, characteristic of the species, shall be planted. Standards for selecting quality stock may be provided by the City Arborist.
- ii. Trees selected for planting must be compatible with the specific site conditions. A site specific tree list is provided in subsection M, further below.
- iii. Make certain there is adequate planting area and soil volume for the tree and the potential size of the tree is appropriate for the site, including potential conflicts with sight distance, traffic and pedestrian clearance, and overhead utilities. (Utilities Protection Center 1-800-282-7411)
- Contractors must call (811) for utility location of underground utilities prior to digging. v. Deciduous and evergreen trees shall be planted between the end of October and the end of February.

2. Planting Procedures i. Planting holes shall be no less than two (2) times the width of the root ball or bare roots

ii. Trees shall not be planted deeper than they were in their former location or container,

- of the tree being planted. A planting hole 3 to 5 times the width of the root ball is recommended. Figure 5 is the Tree Planting Standard Detail.
- and shall be 1-4" higher than the surrounding finish grade. Spade compacted bottom and sides of the planting hole shall be roughed or scarified to
- allow the penetration of developing roots.
- Water drainage from the bottom of the planting hole essential for root establishment. Avoid the application of soil amendments or fertilizer at the time of planting.
- vi. All plants must be watered to saturation immediately upon planting. When planting trees, it is recommended that trees be set and the pit backfilled half way, then soaked to verify good drainage, then planting completed, and watered again to saturation.



SILT FENCE HAND DUG IN CRZ

NO IMPACT TO CRZs UNLESS EXPLICITLY STATED

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

DEFINITION

APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, PRODUCED ON THE SITE IF POSSIBLE, TO THE SOIL SURFACE.

<u>CONDITIONS</u>

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE

SPECIFICATIONS

MULCHING WITHOUT SEEDING

THIS STANDARD APPLIES TO GRADES OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT CAN BE STABILIZED WITH A MULCH COVER.

SITE PREPARATION

- 1. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH. 2. INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS.

3. LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

- MULCHING MATERIALS
- SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED: 1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS
- 2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS.
- 3. CUTBACK ASPHALT (SLOW CURING) SHALL BE APPLIED AT 1,200 GALLONS PER ACRE (OR 1/4 GALLON PER SQUARE YARD). 4. POLYETHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE

SALVAGED AND REUSED.

APPLYING MULCH WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.

- 1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT. 2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL
- AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES. 3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO PROBLEMS OF "TRACKING
- IN" OR DAMAGE TO SHOES, CLOTHING, ETC. 4. APPLY POLYETHYLENE FILM TO EXPOSED AREAS.

ANCHORING MULCH

- 1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION TO - TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN 1 INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- 2. NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE
- AVERAGE SIZE OF THE WOOD WASTE CHIPS. 3. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**	
RYE	3.9 POUNDS	3 bu.	9/1-3/1	
RYEGRASS	0.9 POUND	40 lbs.	8/15-4/1	
ANNUAL LESPEDEZA			1/15-3/15	
WEEPING 0.1 POUND LOVEGRASS		4 lbs.	2/15-6/15	
SUDANGRASS	1.4 POUNDS	60 lbs.	3/1-8/1	
BROWNTOP MILLET	0.9 POUND	40 lbs.	4/1-7/15	
WHEAT	4.1 POUNDS	3 bu.	9/15-2/1	

*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES **SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

SIDE VIEW

FRONT VIEW

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 — TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA

· Place in a single row, lengthwise, on the

Embed in the soil to a depth of 4 inches.

Secure with stakes or bars driven through

the bales or by other adequate means.

For use on projects with a duration of

Requirements

WIRE OR NYLON BOUND BALES

Straw Bale Barrier Installation

Place in areas of low rate sheet flow.

Use 36" D.O.T. approved fabric.

STANDARD SPECIFICATIONS, 1993 EDITION.

contour.

ANGLE FIRST STAKE TOWARDS PREVIOUSLY LAID BALE

Hay or Straw Bales (Sd1-Hb)

three months or less.

4' max o.c.

Fabric

(Woven Wire

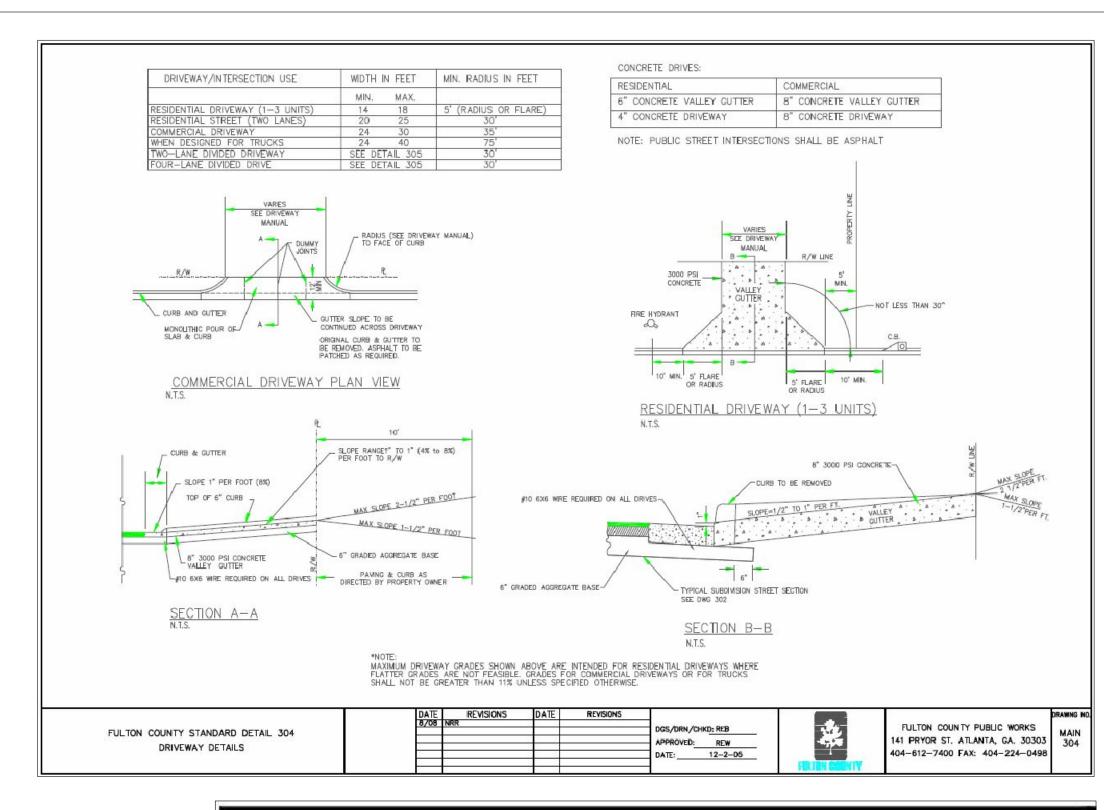
Fence Backing)

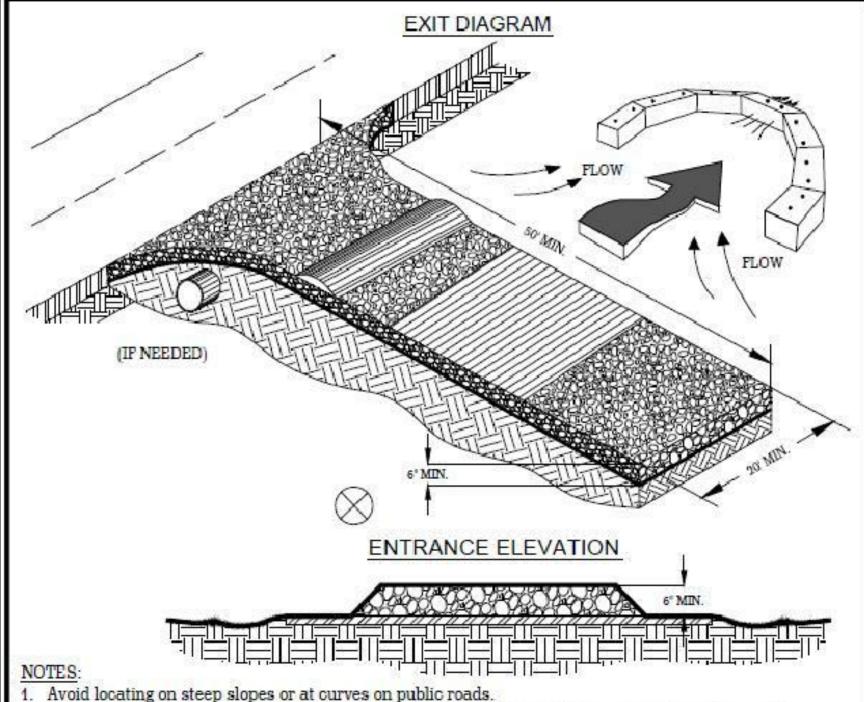
Trench

SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**	
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31	
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1	
CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1	
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31	
WEEPING LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15	
SWITCHGRASS	0.9 POUND	40 lbs.	3/15-6/1	

*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES. **SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.





2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.

Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).

Gravel pad shall have a minimum thickness of 6".

Pad width shall be equal full width at all points of vehicular egress, but no less than 20'. 6. A diversion ridge should be constructed when grade toward paved area is greater than 2%...

Install pipe under the entrance if needed to maintain drainage ditches.

8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).

Washracks and/or tire washers may be required depending on scale and circumstance. If necessary,

washrack design may consist of any material suitable for truck traffic that remove mud and dirt. 10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.



CRUSHED STONE CONSTRUCTION EXIT

Figure 6-11.1

				BMP DETAILS			
LOT 20 BLOCK D			SITE PLAN PREPARED	FOR:			
HUNTCLIFF SUBDIVISION UNIT FOUR LAND LOT 81 17TH DISTRICT				GREG	RAN	D	
FULTON COUNTY, GEORGIA DB.54340/P		PG.271	PB.100/PG.75	PROPERTY A	DDRESS:		
FIELD WORK DATE AUG 26, 2022 PRINTED/SIGNED		NOV 11, 2022		8980 RIDGEMONT	T DRIVE NE		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"			SIZE: 24" x 36"	SANDY SPRINGS,	GA 30350		//*
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INFO@SURVEYLANDEXPRESS.CO

SHEET 4 OF 4