

DATE: JANUARY 18, 2023

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Helen Owens, Zoning Administrator, City of Sandy Springs
FROM: Mike Alexander, Director, ARC Center for Livable Communities

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC-22-11SS 8980 Ridgemont Drive NE
MRPA Code: RC-22-11SS

Description: A MRPA review of a proposal to demolish an existing deck and screened porch and construct a new deck and sun room addition to a single-family house on an approximately 1.13 -acre site at 8980 Ridgemont Drive NE in the city of Sandy Springs in Fulton County. All of the site falls within the Chattahoochee River Corridor. Proposed land disturbance areas and impervious areas are within the allowed limits.

Preliminary Finding: ARC staff have completed an initial review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs
Date Opened: January 18, 2023
Deadline for Comments: January 30, 2023

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF ROSWELL

CHATTAHOOCHEE RIVERKEEPER
RIVER LINE HISTORIC AREA

For questions regarding this review, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before January 30, 2023, we will assume that your agency has no additional comments and will close the review. Comments should be submitted via email. **The ARC review website is located at:** <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

**APPLICATION FOR
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

1. Name of Local Government: City of Sandy Springs

2. Owner(s) of Record of Property to be Reviewed:

Name(s): Gregory L. and Nancy J. Rand

Mailing Address: 38480 Ridgmont Drive NE

City: Sandy Springs State: GA Zip: 30350

Contact Phone Numbers (w/Area Code):

Daytime Phone: (678) 382-9944 Fax: N/A

Other Numbers: (404) 323-0666 Nancy

3. Applicant(s) or Applicant's Agent(s):

Name(s): _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Contact Phone Numbers (w/Area Code):

Daytime Phone: _____ Fax: _____

Other Numbers: _____

4. Proposed Land or Water Use:

Name of Development: BR22-00242 Rand Addition

Description of Proposed Use: Demo of existing deck and
screened porch and construction of new deck and
430 SF addition

5. Property Description (Attach Legal Description and Vicinity Map):

Land Lot(s), District, Section, County: 17 0080000 30186, District 17,
Lot 20 Block D Unit 4 Land Lot 81

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____

Size of Development (Use as Applicable):

Acres: Inside Corridor: 1.13

Outside Corridor: _____

Total: 1.13

Lots: Inside Corridor: _____

Outside Corridor: _____

Total: _____

Units: Inside Corridor: _____

Outside Corridor: _____

Total: _____

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor: _____

Outside Corridor: _____

Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Septic

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system N/A

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	<u>N/A</u>			(90)	(75)
B	<u>N/A</u>			(80)	(60)
C	<u>29,461 SF</u>	<u>11,702 SF</u>	<u>10,096 SF</u>	(70) <u>40%</u>	(45) <u>34%</u>
D	<u>N/A</u>			(50)	(30)
E	<u>9,561 SF</u>	<u>2,868 SF</u>	<u>1,434 SF</u>	(30) <u>30%</u>	(15) <u>15%</u>
F				(10)	(2)
Total:				N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No
If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No
If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain).

Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- ☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- ☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- ☒ Written consent of all owners to this application. (Space provided on this form)
- ☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- ☒ Description of proposed use(s). (Space provided on this form)
- ☒ Existing vegetation plan.
- ☒ Proposed grading plan.
- ☒ Certified as-builts of all existing land disturbance and impervious surfaces.
- ☒ Approved erosion control plan.
- ☒ Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☒ Documentation on adjustments, if any.

☒ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

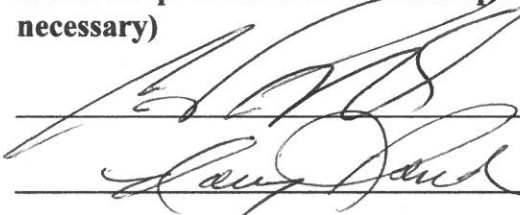
☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.

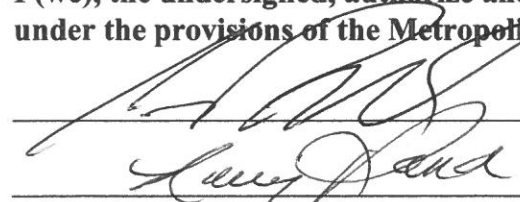
☐ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)



Signature(s) of Owner(s) of Record
12/10/2022
Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:



Signature(s) of Applicant(s) or Agent(s)
12/10/2022
Date

14. The governing authority of The City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Helen Owens
Signature of Chief Elected Official or Official's Designee
01/18/2023
Date

GRID NORTH
NAD 83
GA WEST 1002

Curve	Radius	Length	Chord	Chord Bearing
C1	60.00'	20.16'	20.07'	N64°26'02"E
C2	20.00'	19.75'	18.96'	N83°05'52"E

THE SUBJECT PROPERTY IS SERVICED BY AN EXISTING PRIVATE ON-SITE SANITARY SEPTIC SYSTEM. NO NEW SANITARY INFRASTRUCTURE PROPOSED

EXIST HOUSE FFE
MAIN: 911.67

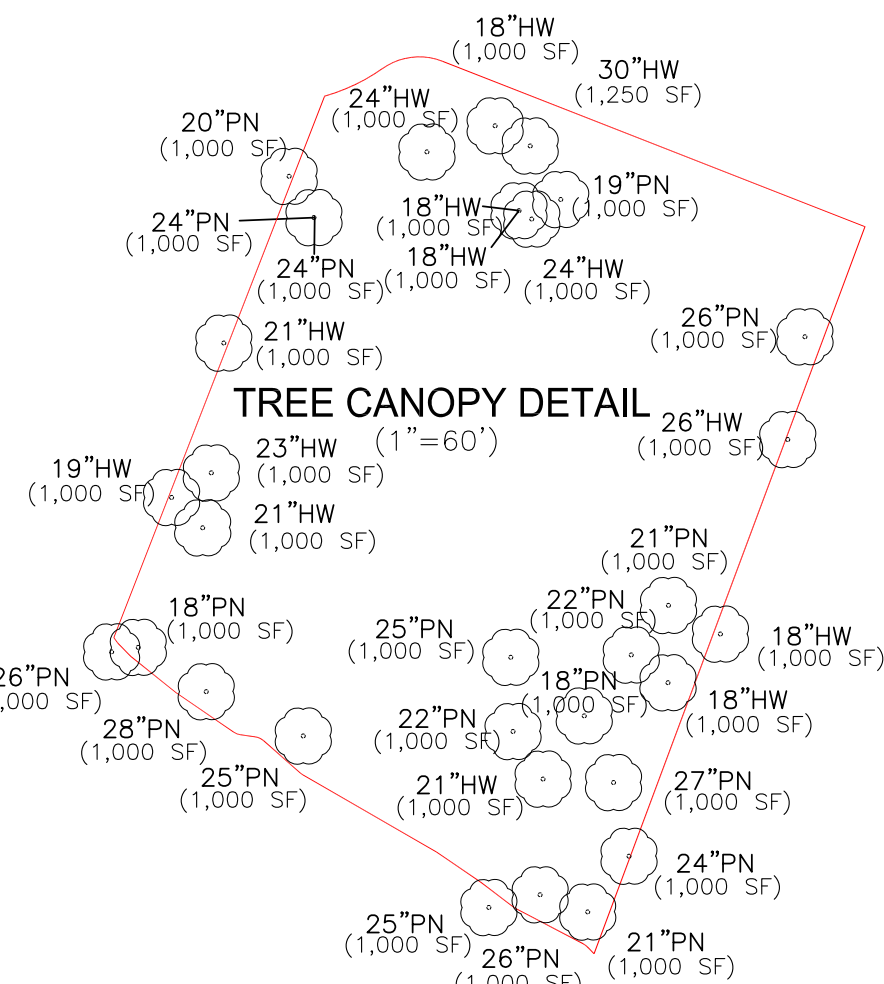
EXISTING WATER LINE TO BE REUSED
EXISTING WATER METER TO BE REUSED
EXISTING GAS LINE TO BE REUSED
EXISTING SEPTIC SYSTEM TO BE REUSED
NO TENNIS COURT PROPOSED
NO SWIMMING POOL PROPOSED

GRADED SLOPES SHALL NOT EXCEED 3H:1V

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

TREE CANOPY DETAIL



PROTECTED TREES TO REMAIN
QUALIFYING FOR CANOPY CALCS
32 @ 1,000 = 32,000 SF
1 @ 1,250 = 1,250 SF
TOTAL = 33,250 SF

NO TREES TO BE REMOVED

CANOPY REQUIREMENTS:
NET LOT AREA: 39,025 SF
REQUIRED: 13,659 SF (35%)
REMAINING: 33,250 SF (85%)

THE PROPOSED DEVELOPMENT DOES NOT CAUSE THE PROPERTY TO FALL BELOW THE MINIMUM CANOPY REQUIREMENTS

REQUIREMENT SATISFIED

SIDE YARD GRADING MITIGATION TREE REPLACEMENT REQUIREMENTS:

NO SIDE YARD LAND DISTURBANCE OR TREE REMOVALS PROPOSED
REQUIREMENT SATISFIED

FRONT YARD TREE REPLACEMENT REQUIREMENTS:

1 LARGE CANOPY TREE REQUIRED PER EVERY 40' OF STREET FRONTAGE
LOT CONTAINS 184' OF FRONTAGE
184 ÷ 40 = 5 TREES REQUIRED

MORE THAN 12 LARGE TREE EXIST
TO REMAIN WITHIN THE FRONT YARD
REQUIREMENT SATISFIED

LANDMARK TREE REPLACEMENT REQUIREMENTS:

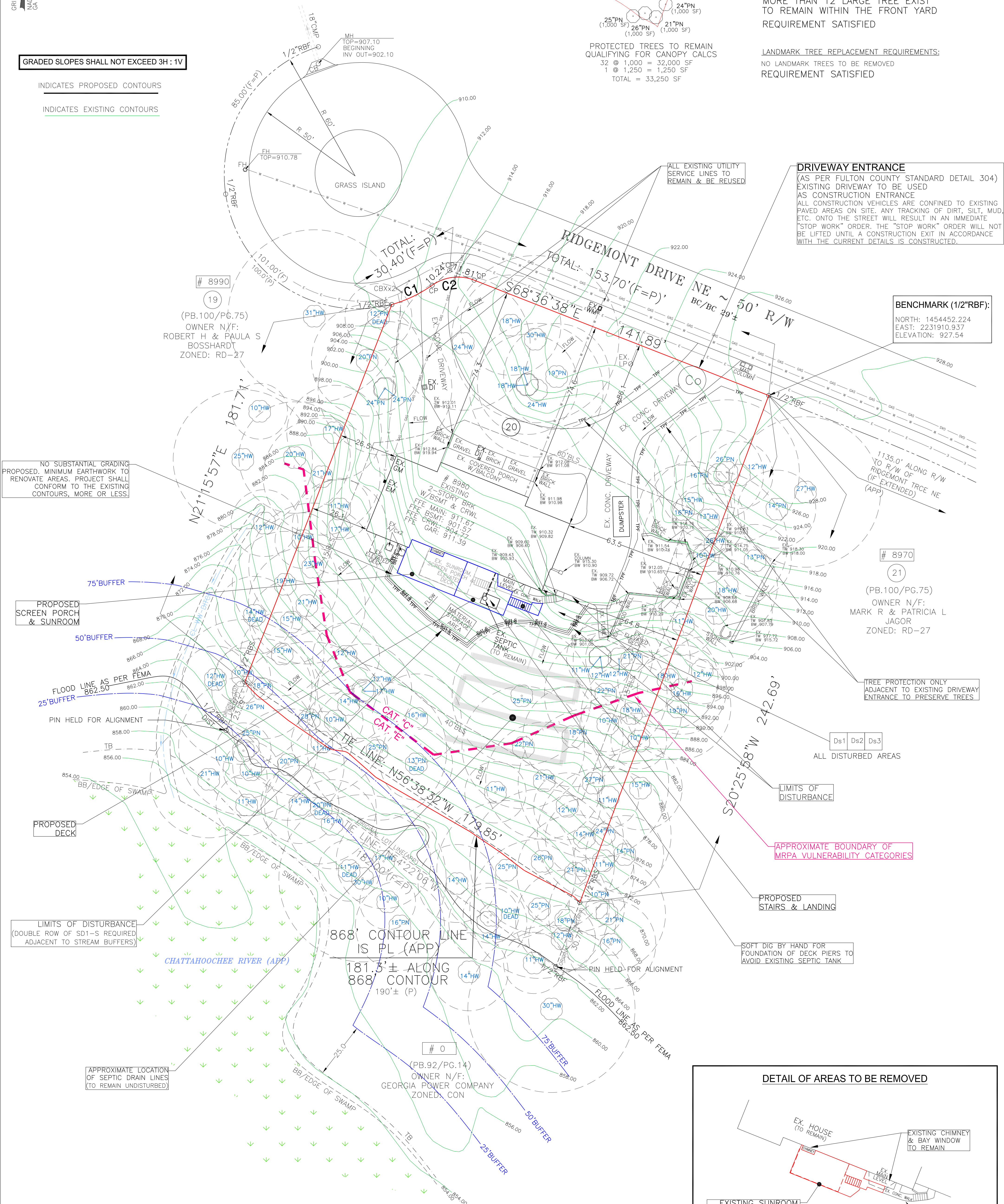
NO LANDMARK TREES TO BE REMOVED
REQUIREMENT SATISFIED

DRIVEWAY ENTRANCE

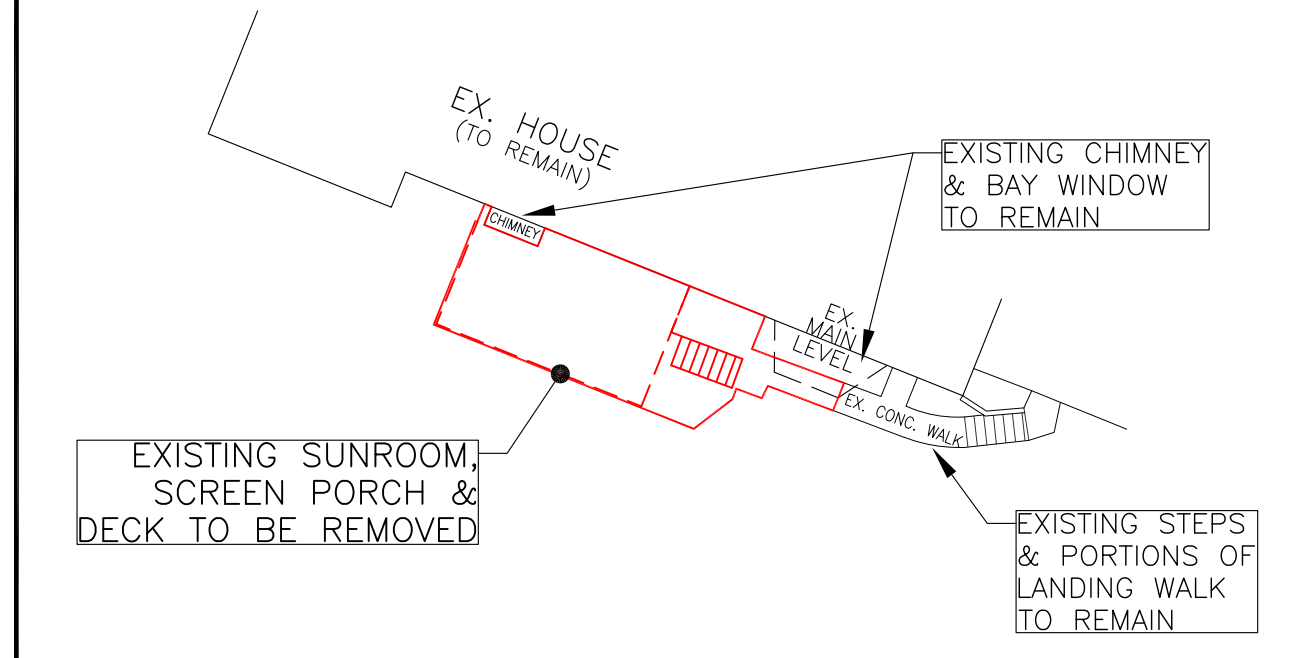
(AS PER FULTON COUNTY STANDARD DETAIL 304)
EXISTING DRIVEWAY TO BE USED
AS CONSTRUCTION ENTRANCE
ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO THE STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE WITH THE CURRENT DETAILS IS CONSTRUCTED.

BENCHMARK (1/2\"/>

NORTH: 1454452.224
EAST: 2231910.937
ELEVATION: 927.54



DETAIL OF AREAS TO BE REMOVED



EROSION CONTROL, GRADING & TREE PLAN

SITE PLAN PREPARED FOR:

SHEET 2 OF 4

GREG RAND

PROPERTY ADDRESS:
8980 RIDGEMONT DRIVE NE
SANDY SPRINGS, GA 30350

OWNER N/F:
GEORGIA POWER COMPANY
ZONED: CON

SM
COORD #20221352
DWG #20221352-SITE PLAN

SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES

24 LENOX POINT
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

TOTAL LAND AREA
39,025.24 SF / 0.896 AC

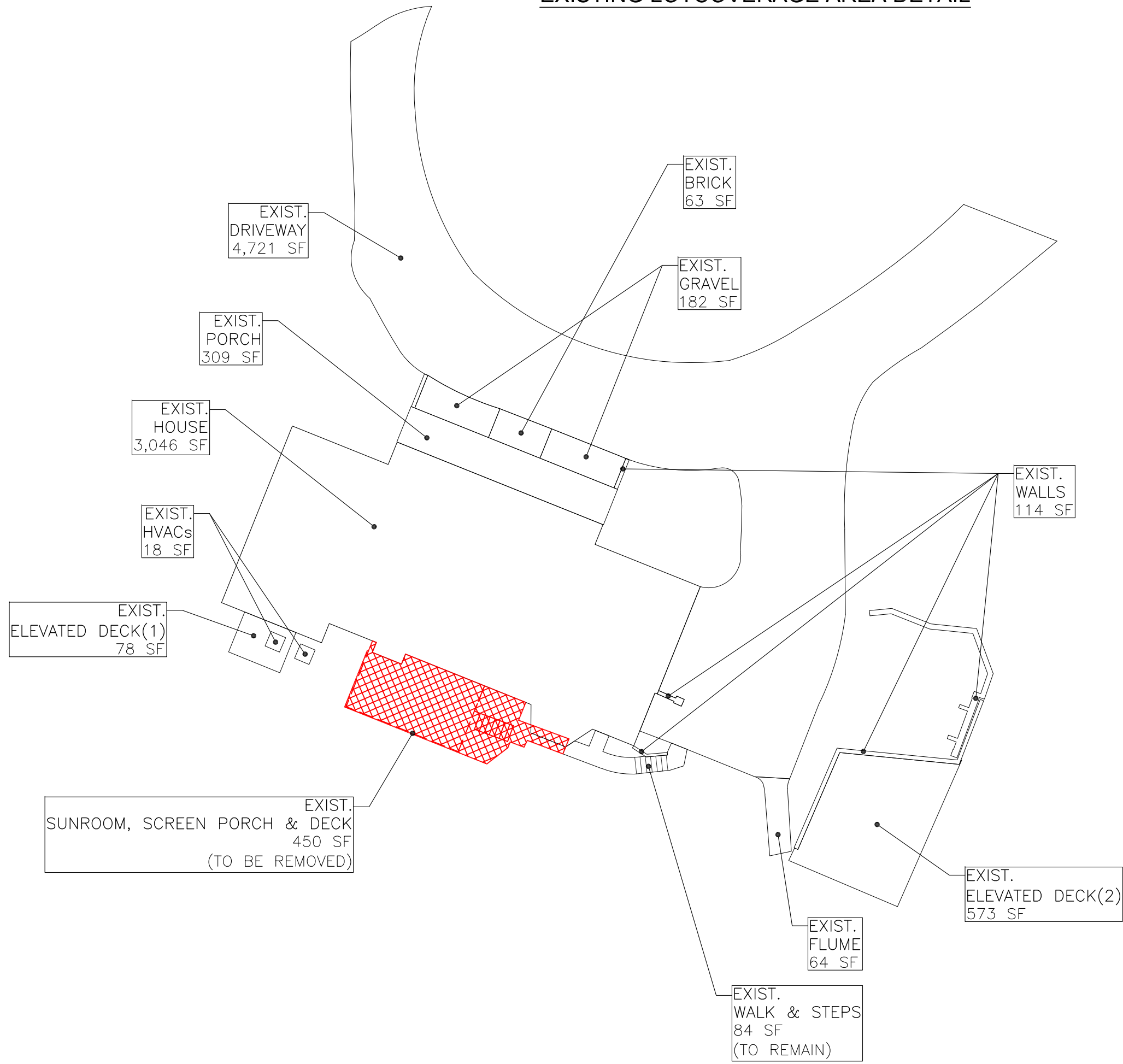
EXISTING LOT COVERAGE AREA
(PRE-DEVELOPMENT)
9,702 SF / 0.223 AC / 24.9%

PROPOSED LOT COVERAGE AREA
(POST-DEVELOPMENT)
10,096 SF / 0.232 AC / 25.9%

DISTURBED AREA
2,000 SF / 0.05 AC

SEE MRPA VULNERABILITY CATEGORY TABULATIONS ON SHEET 3

EXISTING LOTCOVERAGE AREA DETAIL



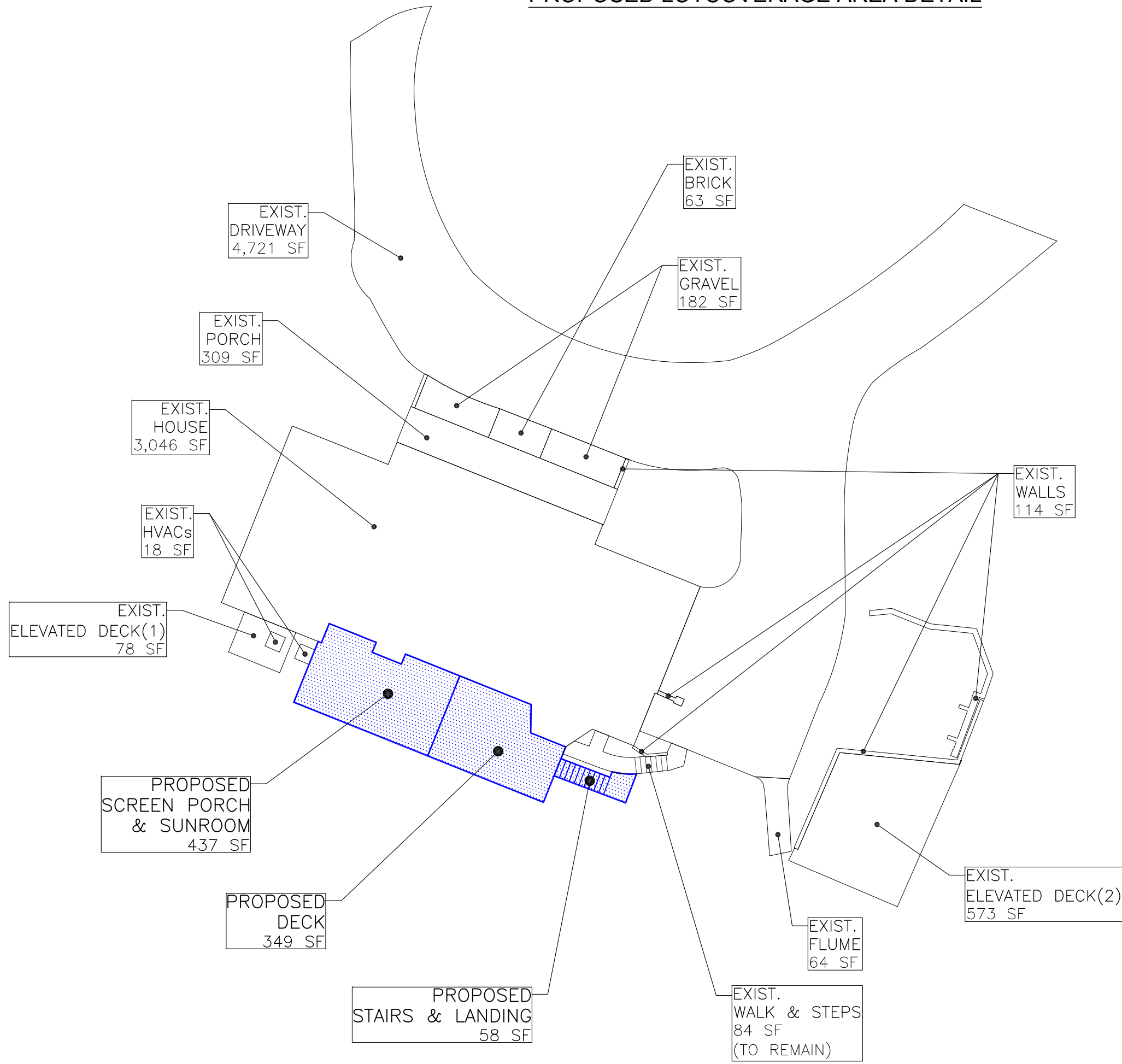
EXISTING LOT COVERAGE
AREA BREAKDOWN:

EXIST. HOUSE:	3,046 SF
EXIST. DRIVEWAY:	4,721 SF
EXIST. PORCH:	309 SF
EXIST. BRICK:	63 SF
EXIST. GRAVEL:	182 SF
EXIST. WALLS:	114 SF
EXIST. FLUME:	64 SF
EXIST. HVACs:	18 SF
EXIST. ELEV. DECK(1):	78 SF
EXIST. ELEV. DECK(2):	573 SF
EXIST. WALK & STEPS:	84 SF

EXIST. SUNROOM, SCREEN PORCH & DECK:	450 SF*
TOTAL:	9,702 SF

*AREAS TO BE REMOVED: 450 SF
TOTAL IMPERVIOUS POST REMOVALS: 9,252 SF

PROPOSED LOTCOVERAGE AREA DETAIL



PROPOSED LOT COVERAGE
AREA BREAKDOWN:

EXIST. HOUSE:	3,046 SF
EXIST. DRIVEWAY:	4,721 SF
EXIST. PORCH:	309 SF
EXIST. BRICK:	63 SF
EXIST. GRAVEL:	182 SF
EXIST. WALLS:	114 SF
EXIST. FLUME:	64 SF
EXIST. HVACs:	18 SF
EXIST. ELEV. DECK(1):	78 SF
EXIST. ELEV. DECK(2):	573 SF
EXIST. WALK & STEPS:	84 SF

PROP. SUNROOM, & SCREEN PORCH:	437 SF**
PROP. DECK:	349 SF**
PROP. STAIRS:	58 SF**
TOTAL:	10,096 SF

**NEW PROPOSED IMPERVIOUS AREAS: 844 SF

NEW AREAS ARE LESS THAN 1,000 SF
NO NEW STORMWATER MANAGEMENT REQUIRED

Estimated Reevaluated Category Areas for 8980 Ridgemont Drive
(Total Lot Area and Existing Impervious Numbers are from Survey Table)

December 08, 2022

Total Lot Area (from Survey): 39,025 square feet (SF)

C Category:

Total Area: 29,464 SF

Land Disturbance:

Maximum Allowed (70%):	20,625 SF
Existing:	9,702 SF (existing impervious)
Proposed:	2,000 SF (Very rough estimate)
Total after Construction:	11,702 SF
Remaining (unused):	8,923 SF (see note below)

Impervious Surface:

Maximum Allowed (45%):	13,259 SF
Existing:	9,702 SF (existing impervious)
Amount Removed:	-450 SF
Amount Added:	844 SF
Total after Construction:	10,096 SF
Remaining (unused):	3,163 SF

E Category:

Total Area: 9,561 SF

Land Disturbance:

Maximum Allowed (30%):	2,868 SF
Existing:	0 SF
Remaining (unused):	2,868 SF

Impervious Surface:

Maximum Allowed (15%):	1,434 SF
Existing:	0 SF
Remaining (unused):	1,434 SF

NOTE: Because the existing landscaping pre-dates MRPA, it is not counted as disturbed.


8980 Ridgemont Drive Reevaluation
City of Sandy Springs
December 8, 2022

Vulnerability Factor	Factor Subgroup	Score		
Hydrology:	Interbasin	20		
Geology:	Biotite Gneiss	5		
Aspect:	West	12		
Slope:	10-25 Percent	9		
Subtotal:		46		
Vegetation:	Barren	2	--	--
	Pines	--	15	15
Subtotal:		48	61	61
Soils	Urban/Unclassified	0	--	--
	Moderate to Severe Erodibility	--	16	16
TOTAL:		48	64	77
CATEGORY:		C	E	E

The "C" Category includes scores from 38 to 49.

The "E" Category includes scores from 60 to 79.

LOT COVERAGE DETAILS

LOT 20		BLOCK D	SITE PLAN PREPARED FOR:		SHEET 3 OF 4
HUNTCLIFF SUBDIVISION		UNIT FOUR		GREG RAND	
LAND LOT 81		17TH DISTRICT			
FULTON COUNTY, GEORGIA		DB.54.340/PG.271	PB.100/PG.75		
FIELD WORK DATE AUG 26, 2022		PRINTED/SIGNED NOV 11, 2022		PROPERTY ADDRESS: 8980 RIDGEMONT DRIVE NE SANDY SPRINGS, GA 30350	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 24" x 36"			
<p>THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 0.8 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.</p>					
SM COORD #20221352 DWG #20221352-SITE PLAN		SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES 24 LENOX POINT ATLANTA, GA 30324 FAX 404-501-0941 TEL 404-502-9141 INFO@SURVEYLANDEXPRESS.COM			

