

DATE: JANUARY 4, 2023

TO: MAYOR MIKE MASON, City of Peachtree Corners
ATTN TO: KATHERINE FRANCESCONI, STORMWATER ENGINEER, City of Peachtree Corners
FROM: Anna Roach, Executive Director, Atlanta Regional Commission

ARC has completed a regional review of the following proposal and made the below finding. ARC reviewed the proposed project's relationship to regional plans, goals, and policies and impacts it might have on the activities, plans, goals, and policies of other local jurisdictions and state, federal, and other agencies.

Name of Proposal: RC-22-02PC 4611 Medlock Bridge

Submitting Local Government: City of Peachtree Corners

Date Opened: December 15, 2022

Date Closed: January 4, 2023

FINDING: ARC staff have completed a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Additional Comments: Comments submitted by the National Park Service are attached and include the following: (1) in order to lessen the threat of the introduction of invasive plant and animal species, we request that all equipment be washed and cleaned of mud and debris that may transport unwanted pests before being brought on-site and that only native grass seed or native vegetation for stabilizing the project area following construction; (2) utilize native plant species in landscaping to support biological diversity and ecological functions; (3) to protect water quality during construction, Best Management Practices (BMPs) should be designed and implemented to comply with the standards and specifications outlined in the Manual for Erosion and Sediment Control in Georgia (Georgia Soil and Water Conservation Commission) and an approved erosion and sedimentation control plan should be implemented before soil disturbances occur within the project site to avoid violating the Erosion and Sedimentation Act of 1975; and (4) construct the driveway of pervious materials to further limit runoff.

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES RECEIVED NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF JOHNS CREEK

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY

CHATTAHOOCHEE RIVERKEEPER
RIVERLINE HISTORIC AREA

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: City of Peachtree Corners
2. Owner(s) of Record of Property to be Reviewed:
Name(s): Shahriyar Bakhtiarnejad
Mailing Address: 120 Ralph McGill Blvd NE Apt 1202
City: Atlanta State: GA Zip: 30308-3345
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-482-5583 Fax: _____
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): Ted Baggett
Mailing Address: 690 Longleaf Dr. P.O. Drawer 1250
City: Lawrenceville State: GA Zip: 30046
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-963-1997 Fax: _____
Email: tcb@thompson-sweeny.com
4. Proposed Land or Water Use:
Name of Development: Single Family Residential Lot
Description of Proposed Use: Single Family Residential Lot
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: _____
Land Lot 319, 5th District, Second Section
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
4611 Medlock Bridge Rd.
Size of Development (Use as Applicable):
Acres: Inside Corridor: 1.64
Outside Corridor: _____
Total: 1.64
Lots: Inside Corridor: 1
Outside Corridor: _____
Total: 1
Units: Inside Corridor: 1
Outside Corridor: _____
Total: 1
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: n/a

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Yes, Gwinnett County Health Department Approval

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system No

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A				(90)	(75)
B				(80)	(60)
C				(70)	(45)
D	1.31	0.42	0.15	(50) 32.1	(30) 11.5
E	0.33	0.09	0.03	(30) 27.3	(15) 9.1
F				(10)	(2)
Total:	1.34	0.51	0.18	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain).

Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- ☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries). Survey Attached
- ☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- ☒ Written consent of all owners to this application. (Space provided on this form)
- ☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- ☒ Description of proposed use(s). (Space provided on this form)
- ☒ Existing vegetation plan.
- ☒ Proposed grading plan.
- ☐ Certified as-builts of all existing land disturbance and impervious surfaces. n/a
- ☐ Approved erosion control plan. Erosion Control Plan Attached
- ☒ Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☐ Documentation on adjustments, if any.

☒ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.

☐ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Shahriyar Bakhtiarnejad

Digitally signed by Shahriyar Bakhtiarnejad
Date: 2022.12.06 12:43:26 -05'00'

12/6/2022

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Ted C. Baggett

Ted C. Baggett

12/8/22

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of City of Peachtree Corners requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Kashmiri

Signature of Chief Elected Official or Official's Designee

12/12/22
Date



United States Department of the Interior

NATIONAL PARK SERVICE
Chattahoochee River National Recreation Area
1978 Island Ford Parkway
Sandy Springs, GA 30350



IN REPLY REFER TO:

1.A.2

December 28, 2022

Donald Shockey
Atlanta Regional Commission
229 Peachtree Street NE
Suite 100
Atlanta, Georgia 30303

Dear Mr. Shockey:

This letter is a notification of receipt of the MRPA Review Notification RC-22-02PC 4611 Medlock Bridge in Fulton County, Georgia. This project will involve construction of a new single-family house including a driveway, garage, pool, and deck on an undisturbed site. The analysis estimates that 0.51 acres of land disturbance and 0.18 acres of impervious area meet the criteria for vulnerability categories D and E

Congress established the Chattahoochee River National Recreation Area (CRNRA), a unit of the National Park Service (NPS), in 1978 to assure the preservation and protection of a 48-mile stretch of the Chattahoochee River from Buford Dam to Peachtree Creek. CRNRA consists of the river and its bed along with the lands, waters, and interests within the park's authorized boundary. Congress expressly provided the Secretary of the Interior, acting through the National Park Service (NPS) and CRNRA, with the authority to protect the "natural, scenic, recreation, historic and other values" of the Chattahoochee River. We are concerned that the project could cause detrimental impacts to park resources if proper Best Management Practices (BMPs) are not followed and maintained. It is with these concerns in mind that NPS offers the following comments and recommendations:

Introduce/Promote Non-native Species

Construction activities have the potential to transport exotic invasive plant and animal species.

Recommendation: We request that all equipment be washed and cleaned of mud and debris that may transport unwanted pests before being brought on-site. The NPS encourages the project applicant to use only native grass seed or native vegetation for stabilizing the project area following construction. Non-native species are easily transported downstream and can start new colonies in CRNRA.

Landscaping with Native Species

Landscaping with native plant species provides a beautiful, hardy, drought resistant yard that benefits the natural environment. It requires less water, fertilizer, and pesticides, therefore costing less in maintenance. Furthermore, native plants promote stewardship of our natural heritage by supporting pollinators, birds, and other wildlife while supporting biological diversity and ecological functions.

Recommendation: Since the project location is near the Medlock Bridge unit, NPS encourages the use native plant species for landscaping to reduce the spread of exotic species into natural areas.

Erosion and Sedimentation

In general, to protect the stream and water quality during construction, Best Management Practices (BMPs) should be designed and implemented to comply with the standards and specifications outlined in the Manual for Erosion and Sediment Control in Georgia (Georgia Soil and Water Conservation Commission). An approved erosion and sedimentation control plan should be implemented before soil disturbances occur within the project site to avoid violating the Erosion and Sedimentation Act of 1975.

This project will impact a stream that flows directly into the Chattahoochee River. Currently, the Chattahoochee River at the proposed project site is listed as impaired on the state of Georgia's 303(d) listing for not fully meeting its designated uses. CRNRA is vested in improving the current state of this water body, and any addition of sediment or run-off would further disrupt the current water quality condition. Due to the proximity of this proposed project to the Chattahoochee River, caution is advised to prevent a flush of sediment deposits during the construction process.

Recommendation: After proper installation, continued and unfailing maintenance and repair of the BMP's should be guaranteed in order to ensure their effectiveness and specifically to control, as far as possible, the effects of this project on the river.

Installation of Impervious Surface

The addition of impervious surface contributes to the growing problem of uncontrolled storm water runoff and resulting pollutant loads. This leads to adverse effects on hydrology and ecological functions of the Chattahoochee River and its tributaries.

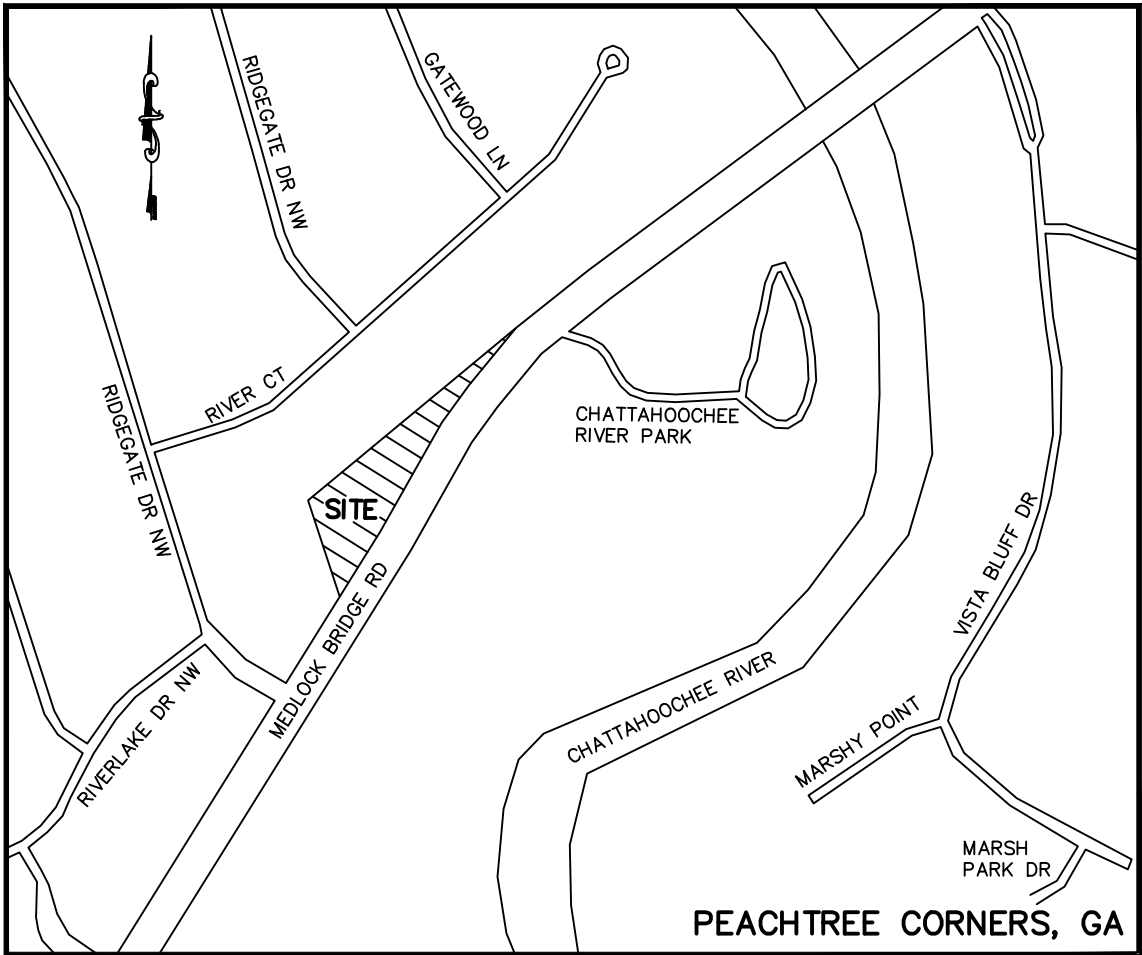
Recommendation: We request that the applicant seriously consider constructing the driveway of pervious materials.

We appreciate your consideration of these comments. Please feel free to contact park's Chief of Planning, Resources, and Education, Beth Wheeler, directly if you have any questions or concerns that we could help to address. She can be reached at 678-538-1321 or by email at Beth_Wheeler@nps.gov.

Sincerely,

Ann Honious
Superintendent

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
CITY OF PEACHTREE CORNERS, GA
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # 6319 045



Vicinity Map
Not To Scale

SITE SUMMARY
PROP. USE: RESIDENTIAL
ZONED: R100
PROP. SITE AREA: 1.64 ACRES
PROP. DISTURBED AREA: 0.57 ACRES
(INCLUDES 0.06 ACRES WITHIN R/W)

VULNERABILITY ANALYSIS

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb.	Percent Imperv. Surf.
(Maximums Shown In Parentheses)					
A				(90)	(75)
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D	1.31	0.42	0.15	(50) 32.1	(30) 11.5
E	0.33	0.09	0.03	(30) 27.3	(15) 9.1
F				(10)	(2)
Total:	1.34	0.51	0.18	N/A	N/A

PEACHTREE CORNERS COMMUNITY DEVELOPMENT NOTES

1. OFF STREET PARKING SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
2. ALL REVISIONS TO THESE PLANS MUST BE SUBMITTED TO THE CITY OF PEACHTREE CORNERS COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO CONTINUING CONSTRUCTION.
3. ALL TEMPORARY AND PERMANENT SIGNS TO BE PERMITTED SEPARATELY.
4. CONTACT THE FOLLOWING DEPARTMENTS FOR APPROVAL OF THE PERMANENT CERTIFICATE OF OCCUPANCY: COMMUNITY DEVELOPMENT, (INCLUDING SITE INSPECTOR & ARBORIST), GWINNETT COUNTY FIRE, WATER & SEWER AND PUBLIC WORKS. ALLOW A MINIMUM OF 3 DAYS NOTICE FOR A SITE INSPECTION APPOINTMENT.
5. ON-SITE BURIAL IS NOT ALLOWED.

CAUTION – NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

SHEET INDEX

COVER SHEET

1 OF 1 – BOUNDARY, TOPOGRAPHIC AND TREE SURVEY

C0 – TREE PLAN

C1 – SITE PLAN

C2A – UTILITY PLAN

C2B – WATER MAIN EXTENSION

C2C – UTILITY DETAILS

C3 – GRADING PLAN

C4 – EROSION CONTROL PLAN

C5 – EROSION CONTROL DETAILS

GDOT1 – GDOT RESIDENTIAL DRIVEWAY PLAN

OWNER

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR

BETTERTON SURVEYING & DESIGN, INC.
950 WEST SANDTOWN ROAD
MARIETTA, GEORGIA 30064
678-483-0242

ARCHITECT

MIMAR ARCHITECTURE & DESIGN, INC.
135 MANSELL PL., SUITE 304
ROSWELL, GA 30076
770-993-0200

CIVIL ENGINEER

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161

24 HOUR CONTACT
SHAWN BAKHTIARNEGAD
404-482-5583



Know what's below.
Call before you dig.



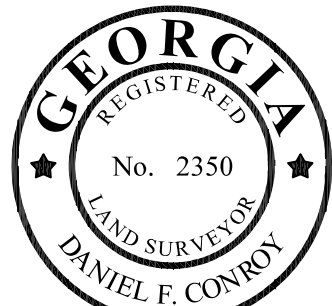
GSMCC LEVEL II CERTIFICATION
NO. 03427

SDG PROJECT No. 21537
DATE: 12-01-21
REVISED: 02-07-22
REVISED: 04-01-22
REVISED: 11-30-22

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

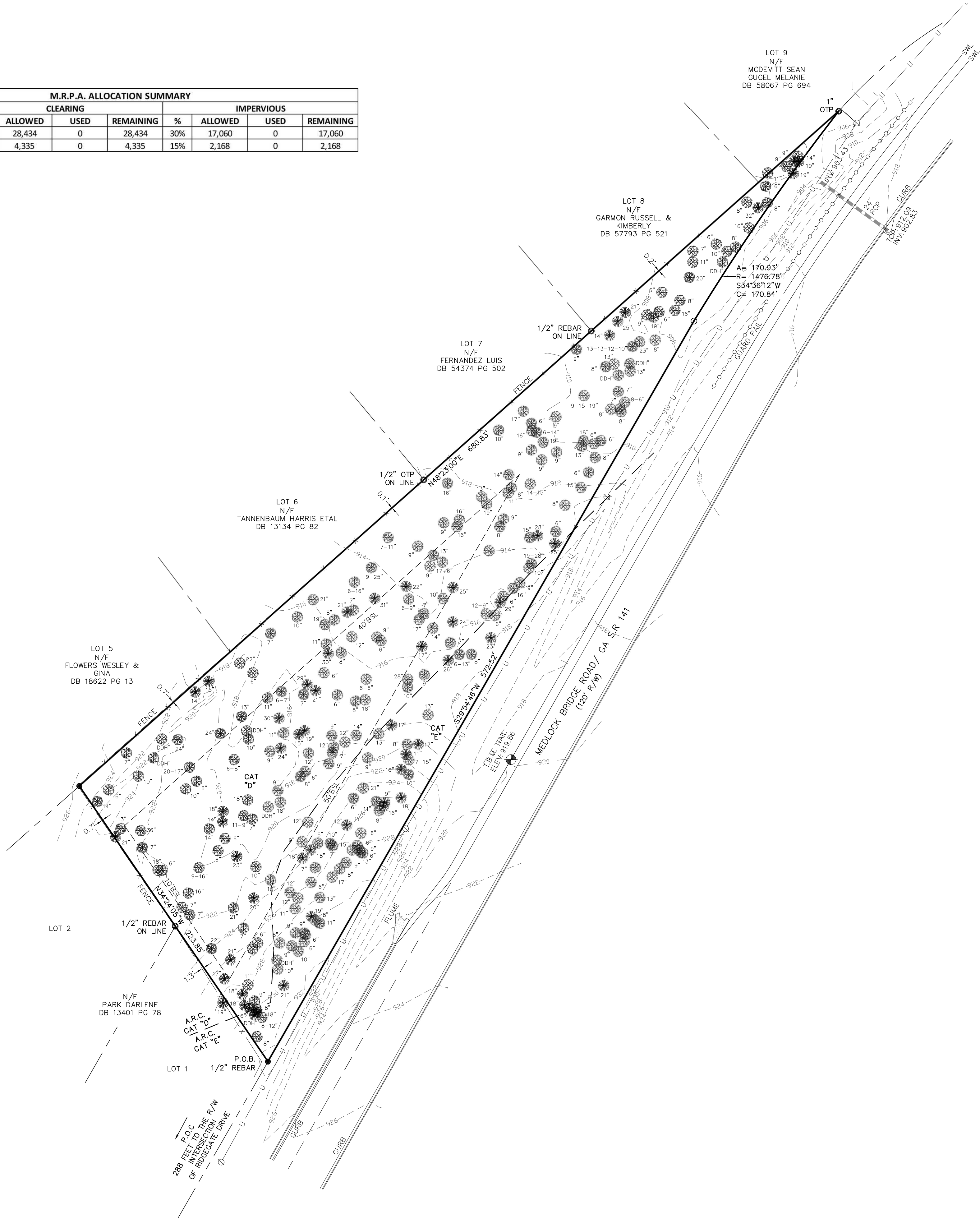
Daniel F. Conroy
DANIEL F. CONROY PLS #350

11/02/2022
DATE



FOR THE FIRM
BOUNDARY ZONE, INC.
LSF #839

M.R.P.A. ALLOCATION SUMMARY									
CATEGORY	TOTAL SF	CLEARING			IMPERVIOUS				
		%	ALLOWED	USED	REMAINING	%	ALLOWED	USED	REMAINING
D	56,868	50%	28,434	0	28,434	30%	17,060	0	17,060
E	14,450	30%	4,335	0	4,335	15%	2,168	0	2,168



ZONING INFORMATION:

R-100

BUILDING SETBACKS:

FRONT: 50'
SIDE: 10'
REAR: 40'

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OF PEACHTREE CORNERS GA PLANNING AND ZONING DEPARTMENT.

THIS SURVEY WAS MADE WITH THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

© COPYRIGHT 2022 BOUNDARY ZONE, INC. ALL RIGHTS RESERVED.

THIS PLAT WAS PREPARED FOR THE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON.

TOTAL AREA: 1.637 ACRES / 71,318 SQUARE FEET

BOUNDARY REFERENCE: DB 23903, PG 22
FIELDWORK PERFORMED ON 11/07/2022

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 312,27 FEET.

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE S SERIES ROBOTIC TOTAL STATION.

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 125,680 FEET, AND ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.

LEGEND :

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- ▲ FIRE HYDRANT
- WATER METER
- ⊕ WATER VALVE
- ⊙ POWER POLE
- ☆ LIGHT POLE

- ⊕ POWER/LIGHT POLE
- ⊕ GUY WIRE
- ⊕ POWER METER
- ⊕ POWER BOX
- ⊕ A/C UNIT
- ⊕ MANHOLE
- ⊕ CLEAN OUT
- ⊕ JUNCTION BOX
- ⊕ OUTFLOW STRUCTURE
- ⊕ DRAINAGE INLET

- ⊕ GAS METER
- ⊕ CABLE BOX
- ⊕ TELEPHONE BOX
- ⊕ SIGN
- W—WATER LINE
- U—OVERHEAD UTILITY LINE
- S—SEWER LINE
- G—GAS LINE
- C—CABLE LINE

- T—TELEPHONE LINE
- X—FENCE LINE
- 920—CONTOUR LINE
- BSL BUILDING SETBACK LINE
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- L.L. LAND LOT
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- P/L PROPERTY LINE

- OH OVERHANG
- C.B. CATCH BASIN
- CNT CANTILEVER
- H/C HANDICAP
- FFE FINISHED FLOOR ELEVATION
- BFE BASEMENT FLOOR ELEVATION
- GFE GARAGE FLOOR ELEVATION
- DB DEED BOOK
- PB PLAT BOOK
- PG PAGE

- F.K.A. FORMERLY KNOWN AS
- NAD NORTH AMERICAN DATUM
- NAV80 NORTH AMERICAN VERTICAL DATUM
- ⊕ HARDWOOD TREE
- ⊕ PINE TREE
- ⊕ REGULAR PARKING
- ⊕ GREASE TRAP



800 SATELLITE BLVD., SUWANEE, GA 30024
WWW.BOUNDARYZONE.COM (770) 271-5772

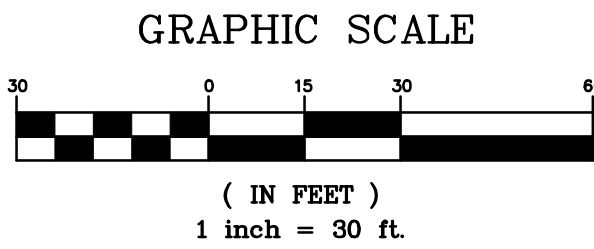
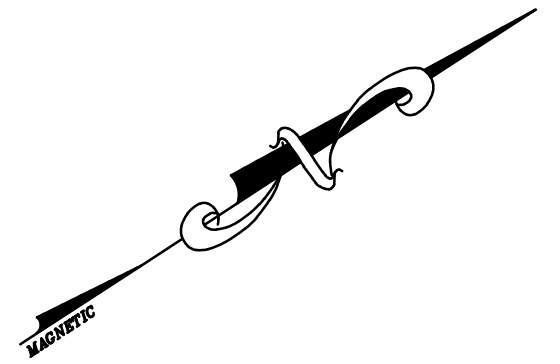
PROVIDING SERVICES
FOR METRO ATLANTA,
RALEIGH-DURHAM &
CENTRAL FLORIDA.

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

PREPARED FOR: SHAWN BAKHTIAR
4611 MEDLOCK BRIDGE RD, JOHNS CREEK, GA 30097
LAND LOT 319 - 6TH DISTRICT
GWINNETT COUNTY, GEORGIA - 11/02/2022

PROJECT
2517701

SHEET
1 OF 1



OWNER
SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR
BETTERTON SURVEYING & DESIGN, INC.
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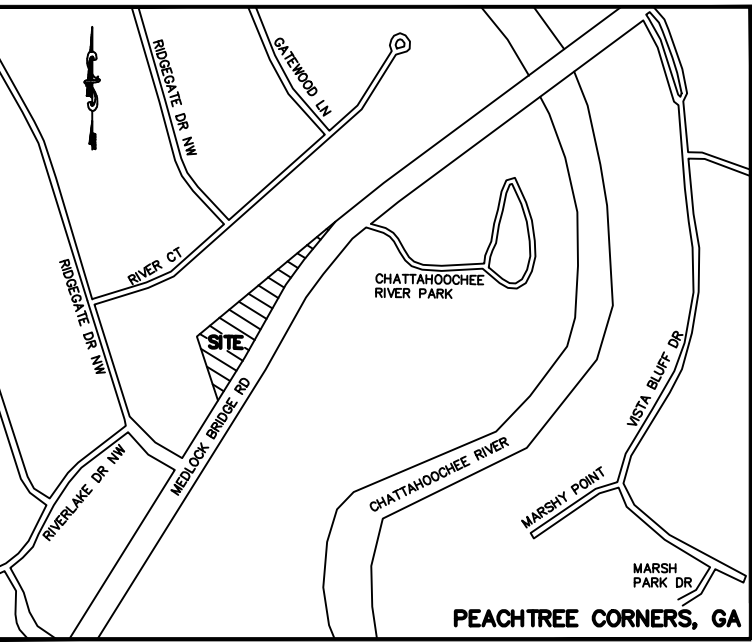
CIVIL ENGINEER
SDG ENGINEERING
PO BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161

24 HOUR CONTACT
SHAWN BAKHTIARNEGAD
404-482-5583



SITE SUMMARY
PROP. USE: RESIDENTIAL
ZONED: R100
PROP. SITE AREA: 1.64 ACRES
PROP. DISTURBED AREA: 0.57 ACRES
(INCLUDES 0.06 ACRES WITHIN R/W)

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F				(10)	(2)
Total:	1.34	0.51	0.18	N/A	N/A



Vicinity Map
Not To Scale

EXIST. TREES TO BE REMOVED

REVISIONS
02-07-22
04-01-22
11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161

REGISTERED PROFESSIONAL ENGINEER
MICHAEL D. RICH

GSWCC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

DATE	12-01-21
PROJECT NO.	21537
DRAWN BY	JDR
SCALE	1"=30'
DRAWING TITLE	

TREE PLAN

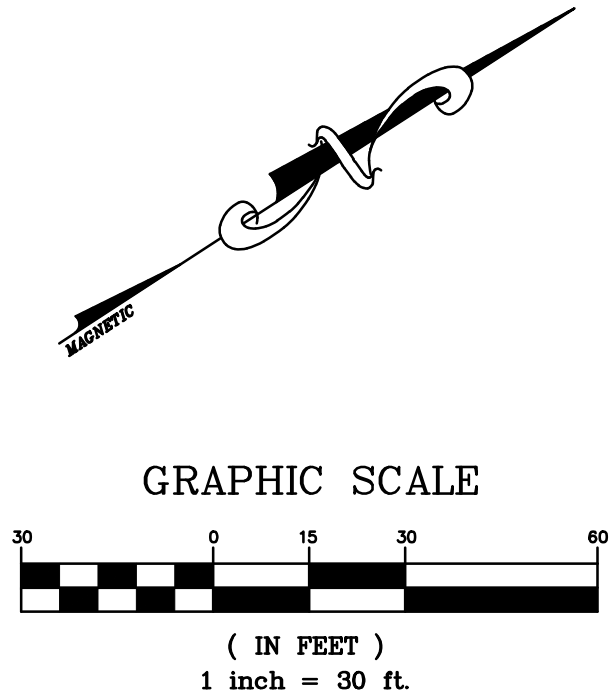
CO

CAUTION - NOTICE TO CONTRACTOR

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	TRAFFIC SIGNAL	
	DROP INLET	
	CATCH BASIN	
	STORM SEWER LINE	
	STORM SEWER MH	
	HANDICAPPED SPACE	
	TRAFFIC DIRECTION	
	EDGE OF PAVEMENT	
	CONCRETE CURB AND GUTTER	
	CONCRETE HEADER CURB	



CAUTION — NOTICE TO CONTRACTOR

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

GENERAL NOTES

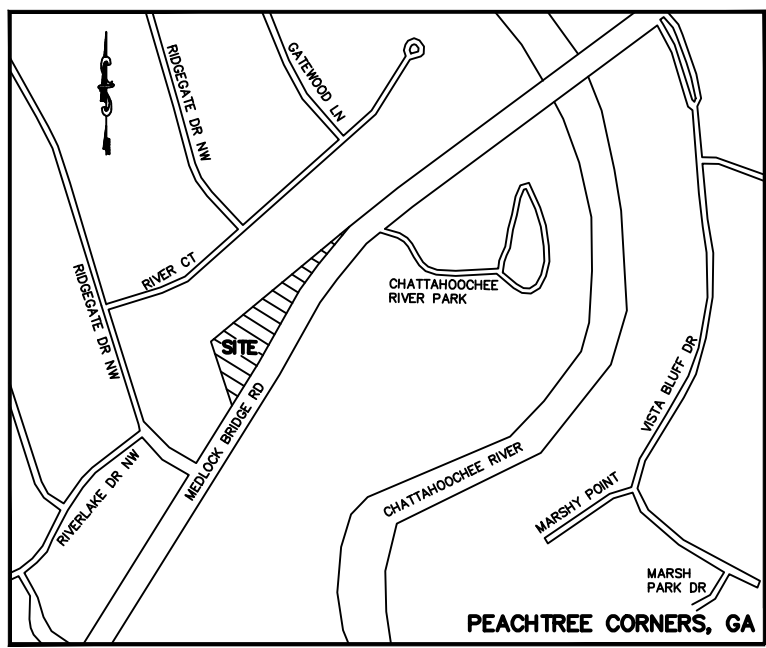
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- 3) CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLANS OR SPECIFICATIONS.
- 4) DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- 5) CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED RIGHT-OF-WAY, AND MUST BE STORED WITHIN SITE.
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SITE SUMMARY

PROP. USE: RESIDENTIAL
ZONED: R100
PROP. SITE AREA: 1.64 ACRES
PROP. DISTURBED AREA: 0.57 ACRES
(INCLUDES 0.06 ACRES WITHIN R/W)

VULNERABILITY ANALYSIS

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb.	Percent Imperv. Surf.
(Maximums Shown In Parentheses)					
A				(90)	(75)
B				(80)	(60)
C				(70)	(45)
D	1.31	0.42	0.15	(50) 32.1	(30) 11.5
E	0.33	0.09	0.03	(30) 27.3	(15) 9.1
F				(10)	(2)
Total:	1.34	0.51	0.18	N/A	N/A



Vicinity Map

Not To Scale

REVISIONS

02-07-22
04-01-22
11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161



GSWCC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
WINNETT COUNTY, GA
PARCEL # R6319 045

DATE

12-01-21

PROJECT NO.

21537

DRAWN BY

JDR

SCALE

1"=30'

DRAWING TITLE

SITE PLAN

C1

OWNER
SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR
BETTERTON SURVEYING & DESIGN, INC.
950 WEST SANDTOWN ROAD
MARIETTA, GEORGIA 30064
678-483-0242

ARCHITECT
MIMAR ARCHITECTURE & DESIGN, INC.
135 MANSELL PL., SUITE 304
ROSWELL, GA 30076
770-993-0200

CIVIL ENGINEER
SDG ENGINEERING
PO BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161

24 HOUR CONTACT
SHAWN BAKHTIARNEGAD
404-482-5583



Know what's below.
Call before you dig.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	WATER VALVE	
	WATER METER	
	GAS VALVE	
	GAS METER	
	POWER POLE	
	LIGHT POLE	
	POLE (SEE PLAN)	
	TRAFFIC SIGNAL	
	FIRE HYDRANT	
	DROP INLET	
	CATCH BASIN	
	STORM SEWER LINE	
	STORM SEWER MH	
	SAN. SEWER MH	
	SAN. SEWER LINE	
	WATER LINE	
	GAS LINE	
	POWER LINE	
	SEWER CLEANOUT	
	EDGE OF PAVEMENT	
	CONCRETE CURB AND GUTTER	
	CONCRETE HEADER CURB	

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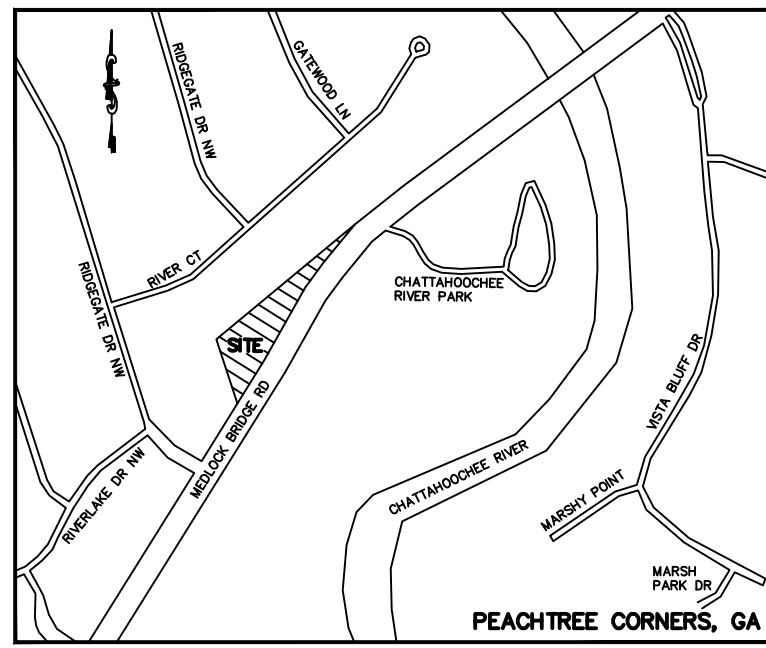
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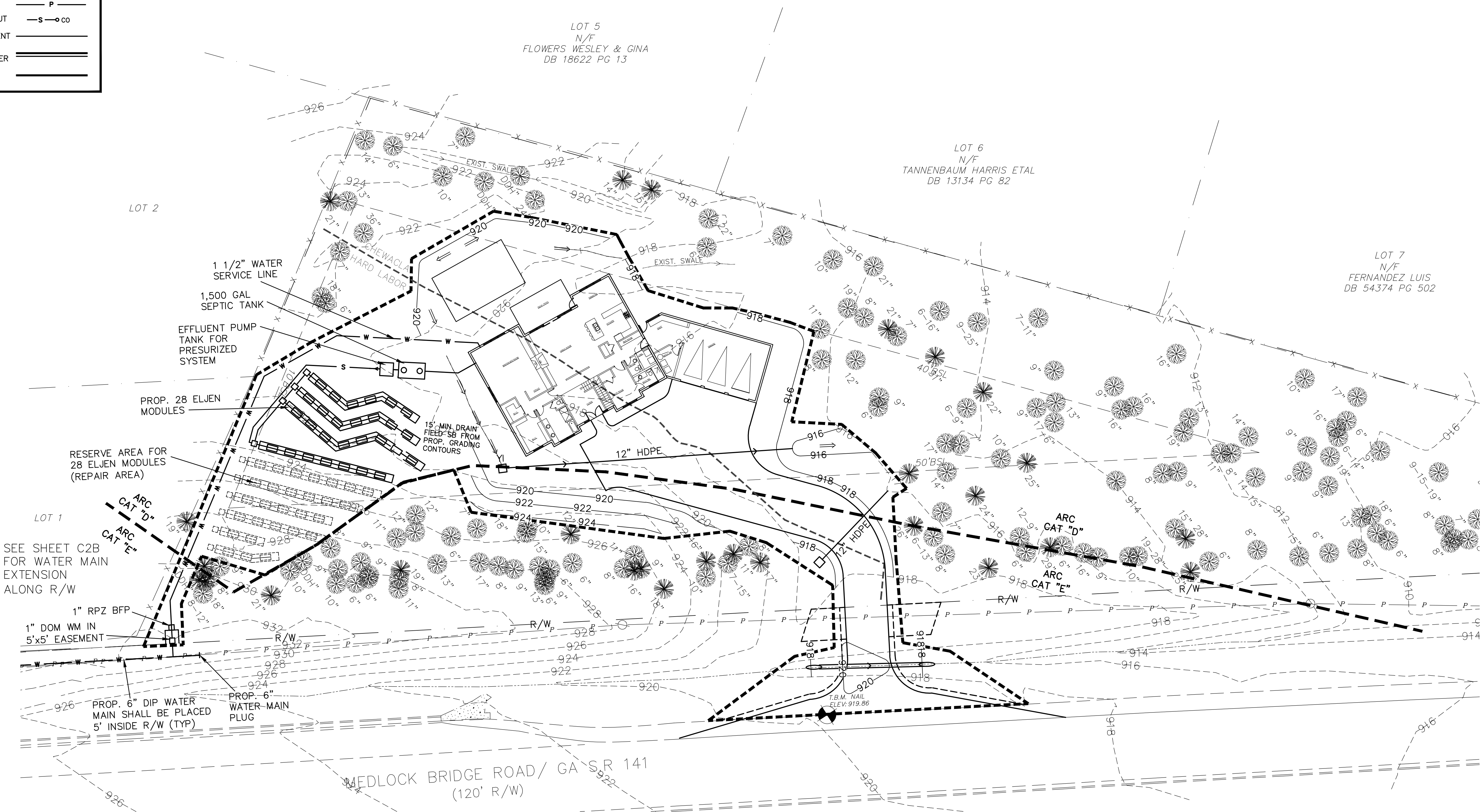
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Vicinity Map

Not To Scale



OWNER
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PEACHTREE CORNERS, GA
404-482-5583

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SDG ENGINEERING
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678-560-4161

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REVISIONS

02-07-22
04-01-22
08-10-22
08-17-22
11-30-22

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GSWCC LEVEL II CERTIFICATION
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LL 319, 5TH DIST., 2ND SECT.
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PARCEL # R6319 045

DATE

12-01-21

PROJECT NO.

21537

DRAWN BY

JDR

SCALE

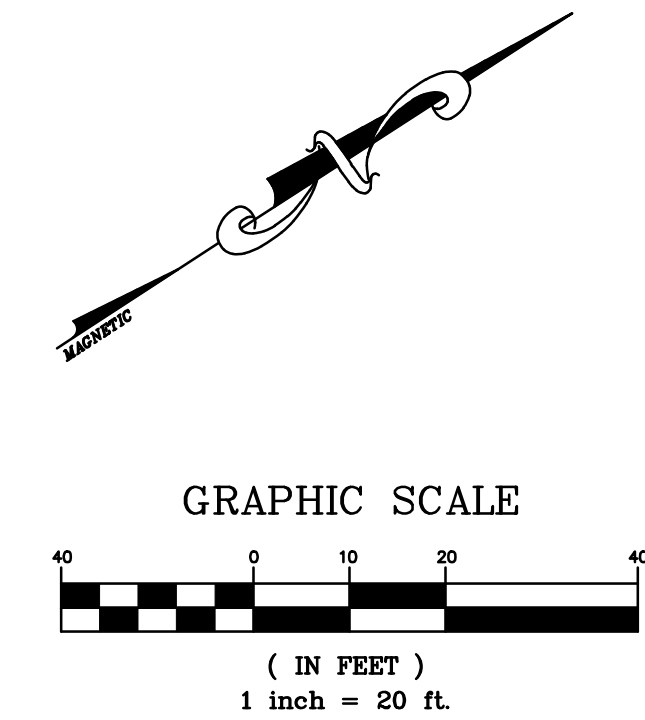
1"=20'

DRAWING TITLE

UTILITY PLAN

C2A

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	WATER VALVE	
	WATER METER	
	GAS VALVE	
	GAS METER	
	POWER POLE	
	LIGHT POLE	
	POLE (SEE PLAN)	
	TRAFFIC SIGNAL	
	FIRE HYDRANT	
	DROP INLET	
	CATCH BASIN	
	STORM SEWER LINE	
	STORM SEWER MH	
	SAN. SEWER MH	
	SAN. SEWER LINE	
	WATER LINE	
	GAS LINE	
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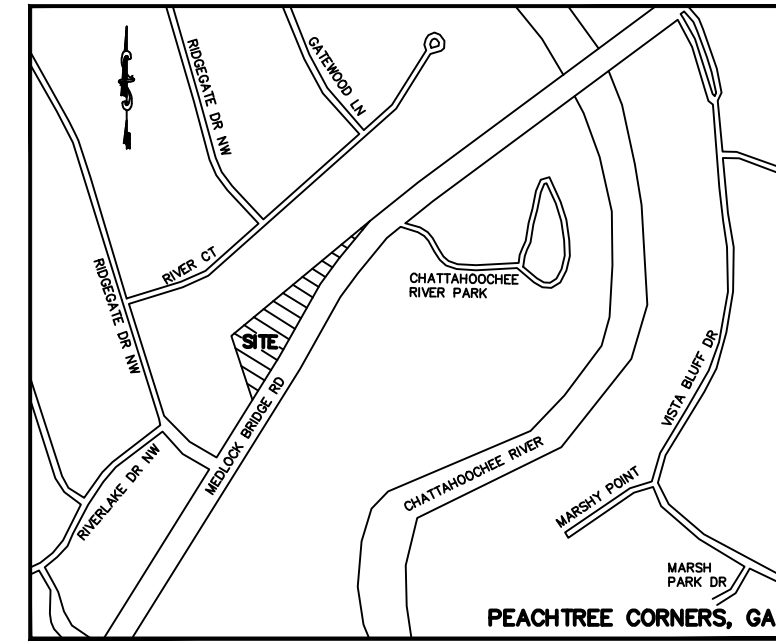
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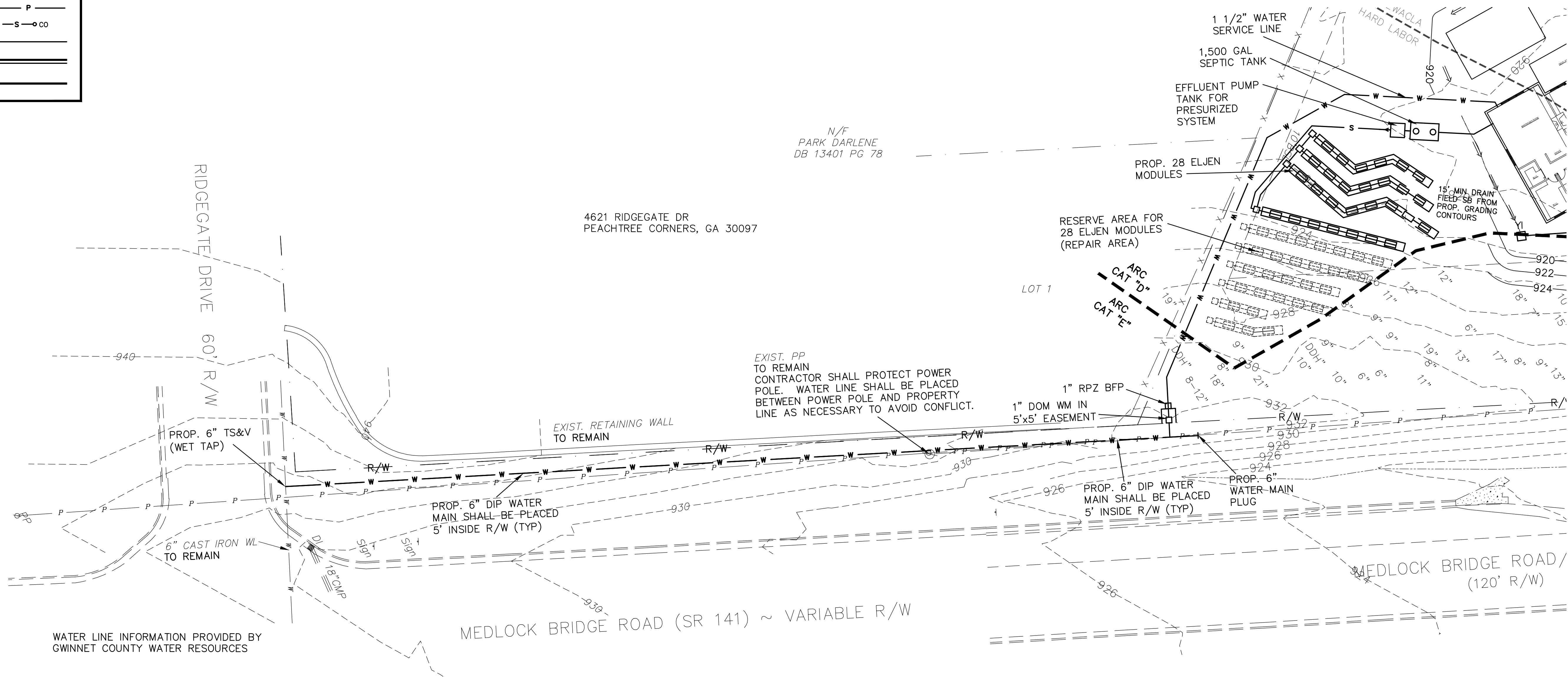
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Vicinity Map
Not To Scale

FOR 1 1/2" DOM SERVICE
LINE SEE SHEET C2A. FOR
WATERLINE RELATED DETAILS
SEE SHEET C2C



WATER LINE INFORMATION PROVIDED BY
GWINNET COUNTY WATER RESOURCES

REVISIONS

04-01-22

11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161



CLIENT NAME

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

DATE 12-01-21

PROJECT NO. 21537

DRAWN BY JDR

SCALE 1"=20'

DRAWING TITLE

WATER MAIN
EXTENSION

C2B

I recommend placing this system in the Hard Labor II soils near the proposed home. Calculations were done off 48" to the SHWT.

Option 3: 2-foot separation – Trench (Gravity, Dosed or Pressure Distribution) set floats to deliver < 105 gallons per dose
DDF – 600

Perc – 55 MPI

Absorption field required for Eljen using 3-foot-wide trenches with 2-foot separation distance to the water table.

Soil Type	Perc Rate (min/in)	Application Rate (GPD/FT²)	GSF A42 Modules / Bedroom				
			2	3	4	5	Add
Group II	30	1.200	21	21	28	35	7
	35	1.132	21	21	28	35	7
	40	1.071	21	21	28	35	7
	45	1.000	21	21	28	35	7
	50	0.988	21	21	28	35	7
	55	0.923	21	21	28	35	7

600 gpd ÷ 0.923 gallons/sf = 650.05 ft² required.

Modules required from Table 3 in the manual: 28. Since we are using 3 trenches round to 30 for even lines.

Total trench length required = 650.05 ft² ÷ 3 ft = 216.68 linear feet.

3 Trenches = 72.23 ft, round to 73 ft per trench for easy construction.

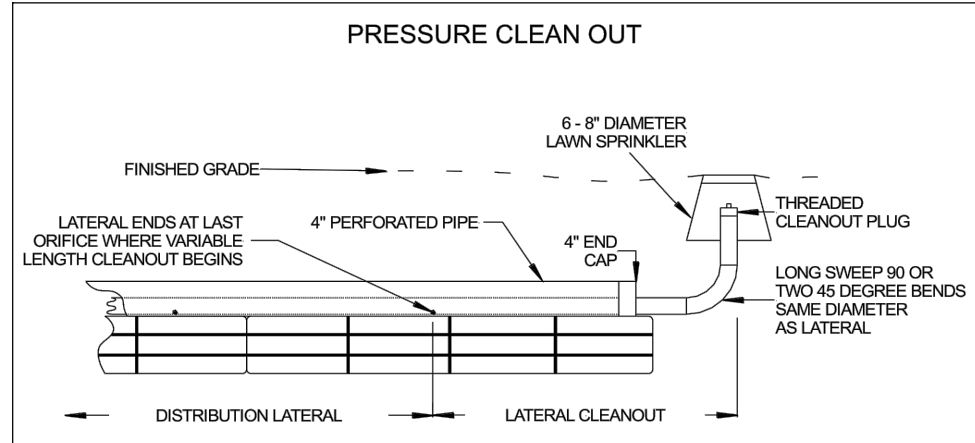
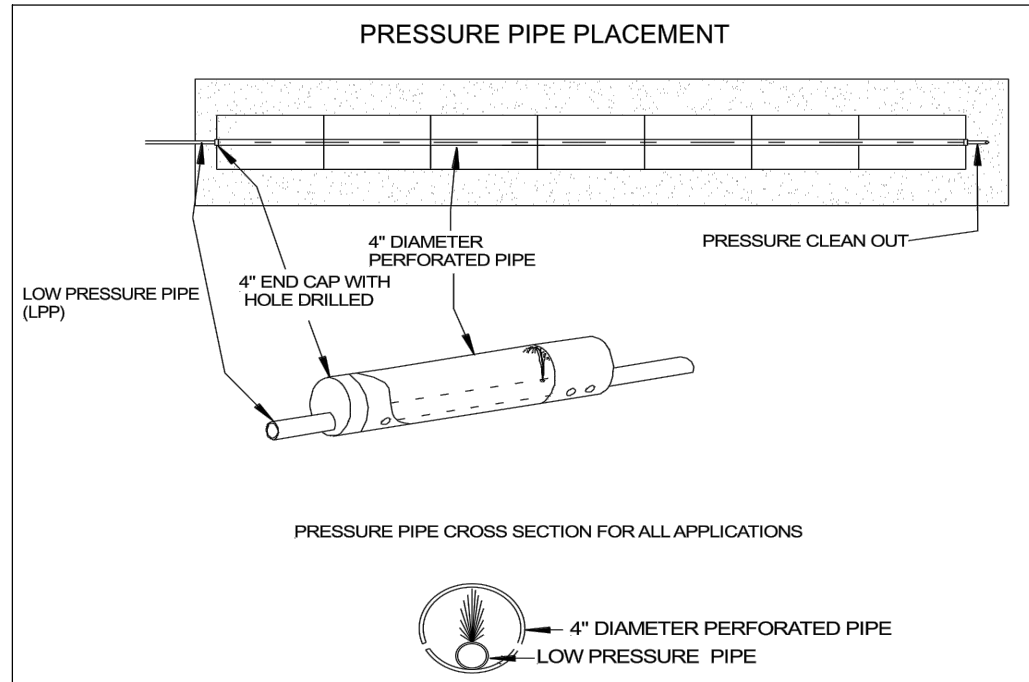
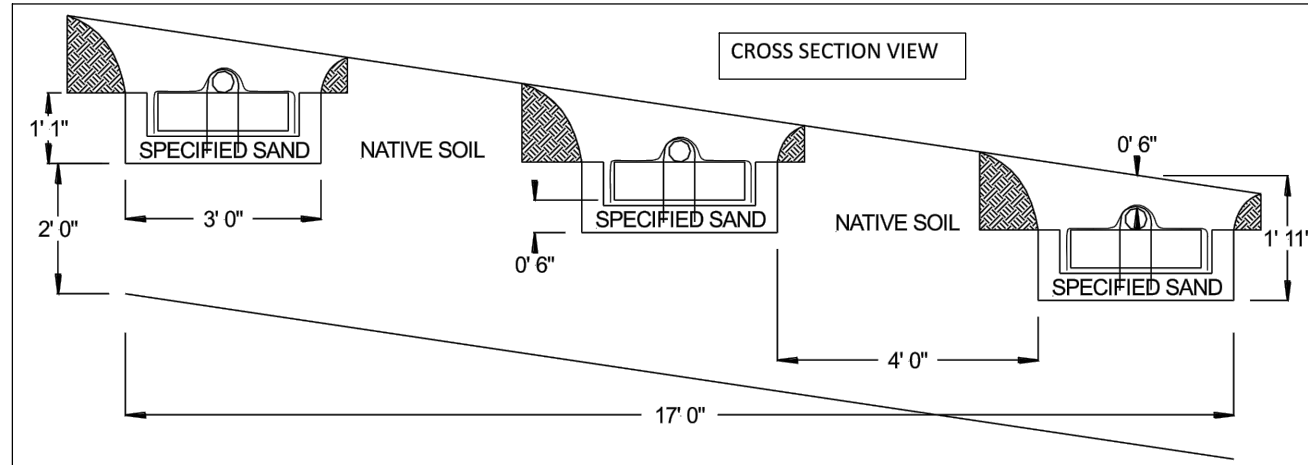
Prior to final backfill over the GSF modules, ensure that all the installation check points listed below have been completed.

ALL SYSTEMS

- Each line or row of the system is level.
- Ensure that the painted white stripe is facing up on each module.
- Verify there is a minimum of 6 inches of ASTM C33 underneath each module in the system. (Sieve Analysis Attached)
- Based on the system design, verify the appropriate amount of Specified Sand is installed between module rows in bed systems, and along the 4-foot module length in trench systems.
- Ensure there is a minimum of 6 inches of Specified Sand at the beginning and end of module rows in bed or trench systems.
- The 4-inch perforated pipe on top of the module is SCH 40 or equivalent.
- The perforated 4-inch pipe has orifices at 4 & 8 o'clock over the modules.
- The wire clamps that fit over the 4-inch distribution pipe are installed, one per module.
- The cover fabric is placed over the 4-inch perforated pipe and draped over the sides of each module prior to Specified Sand placement around modules. The cover fabric shall NOT be pulled tightly over the 4-inch perforated pipe, which causes tenting.

FOR PRESSURE DISTRIBUTION SYSTEMS ONLY

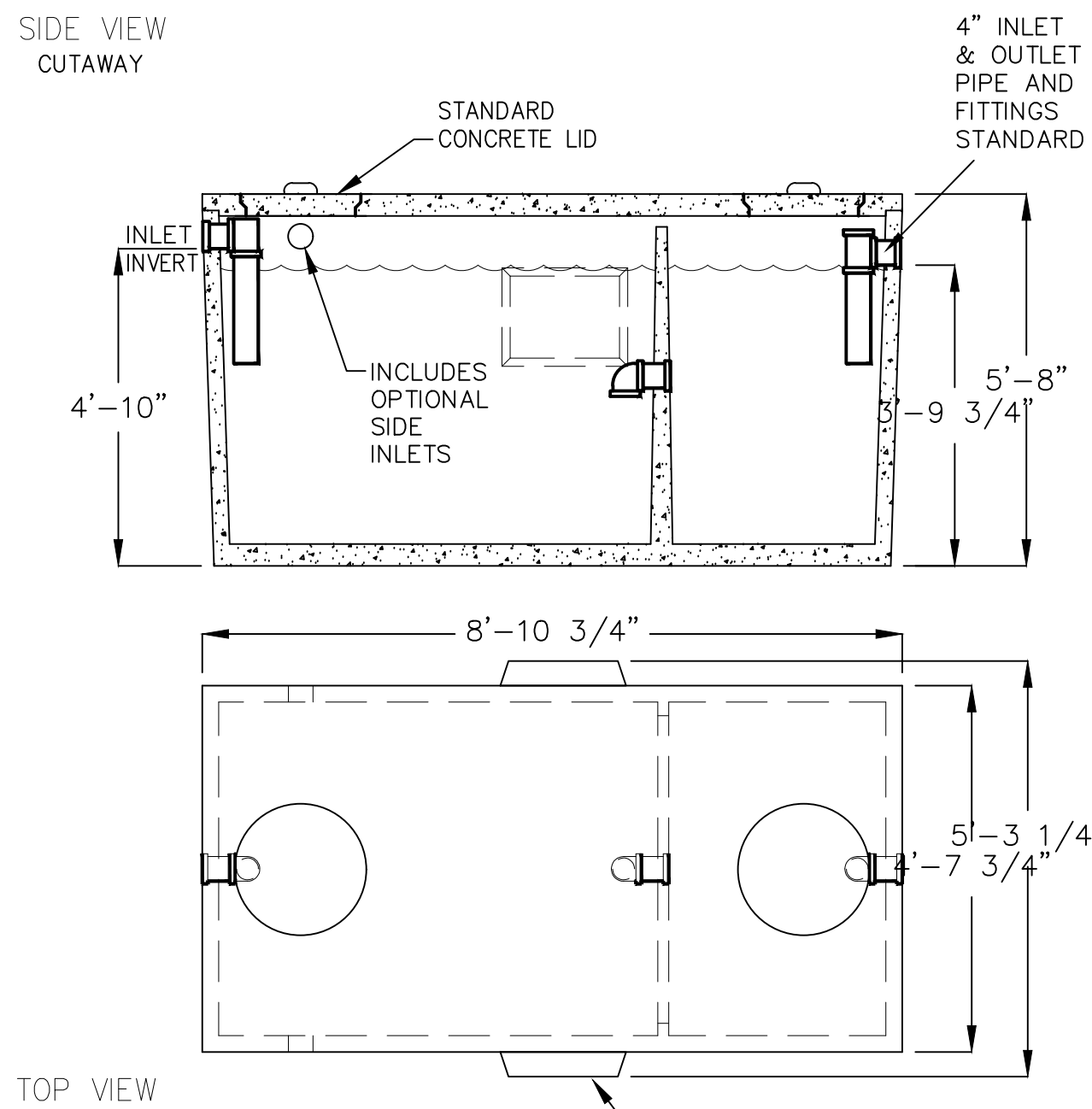
- The in the LPP, there is at least one drain hole at the 6 o'clock position.
- The LPP has its orifices at the 12 o'clock position.
- The 4-inch perforated pipe has holes at 4 & 8 o'clock.
- Verify the inclusion of lateral end cleanout.



ELJEN SEPTIC SYSTEM DETAILS

1500 GALLON RESIDENTIAL SEPTIC TANK

MODEL JS1500
ACCEPTED BY UPC®



LIQUID CAPACITY: 1500 GALLONS
BOX DESIGN LOAD: NON-TRAFFIC, UP TO 3 FEET
OF SOIL COVER, MAXIMUM 500 PSF.

FOR COMPLETE DESIGN
AND PRODUCT INFORMATION
CONTACT JENSEN PRECAST.

SEPTIC TANK DETAIL

7/13/05
JS1500_B.dwg
© 2004 Jensen Precast

Department of Water Resources

684 Winder Highway • Lawrenceville, GA 30045-5012
678.376.6700 • www.gwinnett2o.com

gwinnettcounty

Gwinnett
Water Resources

Fire Flow Test Report

Report Date: 2/24/2022

Work Request #: 22-001781

Development Type: Residential

Test Type: Dual Hydrant

Test Date: 2/24/2022

Main Size: 16.00 in.

Test Valid Until: 2/24/2023

Location: 4611 MEDLOCK BRIDGE RD

Parcel ID: 6319 045

Start Time: 12:51 pm

End Time: 12:53 pm

Total Flow Time: 2.00 min

Residual Hydrant ID: 36151

Static Pressure (psi): 140.00

Residual Pressure (psi): 135.00

Flow @ 20 psi (gpm): >3500

Flow Rate (gpm): 1,720.00

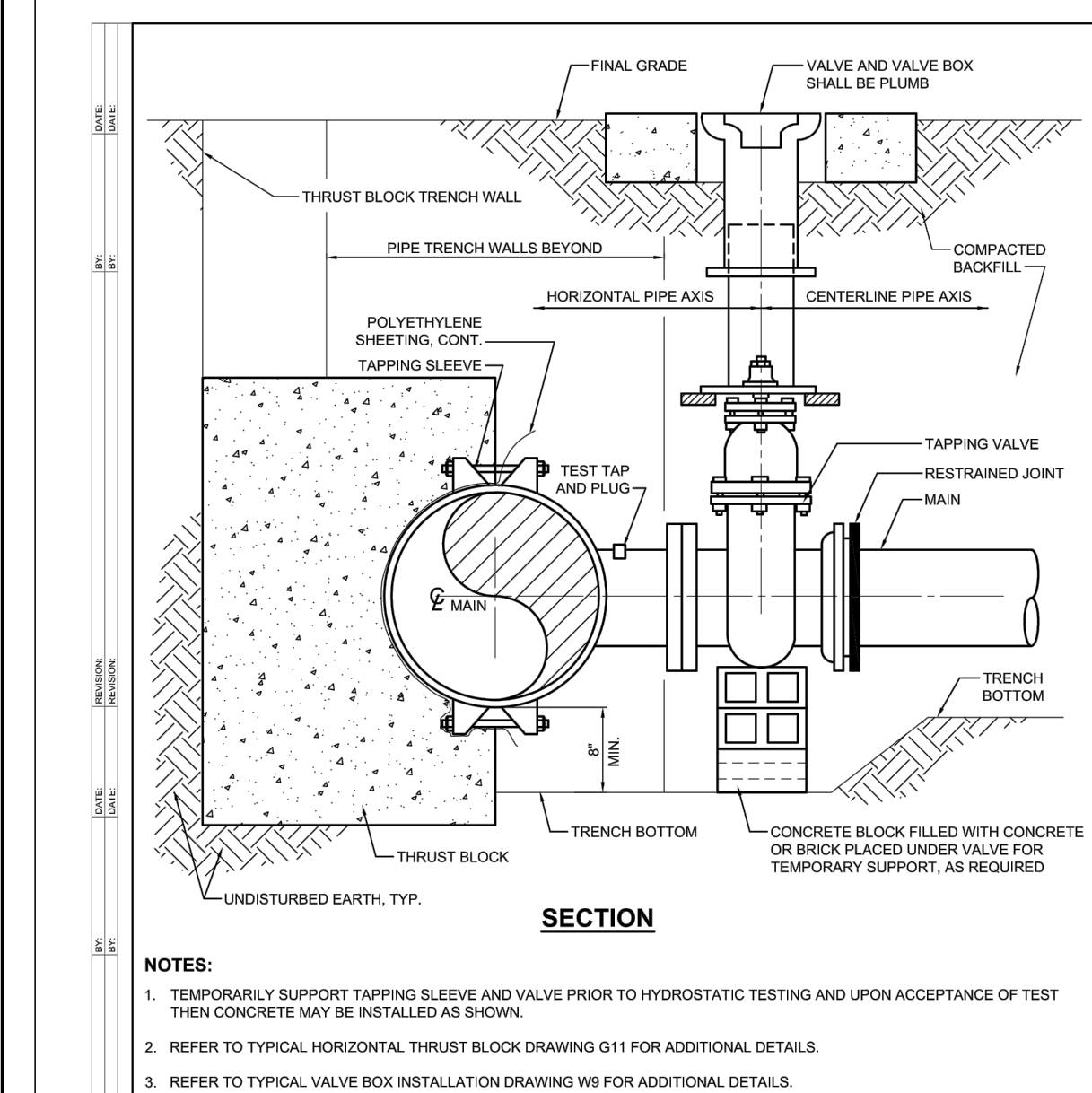
Flow Hydrant Results

Flow Hydrant ID	Pitot Pressure	Nozzle Size (in.)	Coefficient	Conversion Factor	Test Flow (gpm)
36192	105.00	2.50	0.90	29.84	1720.00

Providing Superior Water Service to our Customers

Page 1 of 1

FIRE FLOW TEST



NOTES:

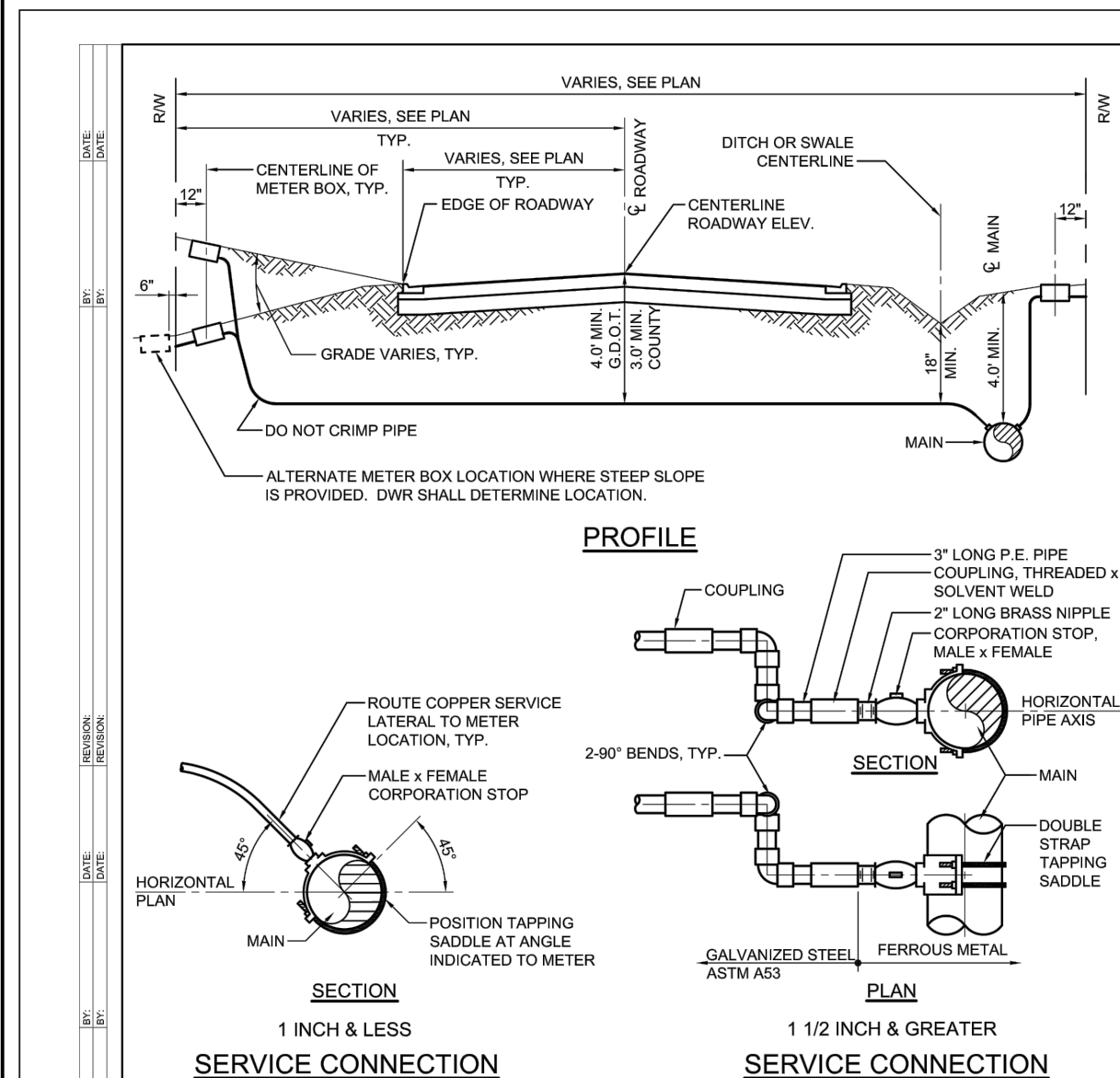
- TEMPORARILY SUPPORT TAPPING SLEEVE AND VALVE PRIOR TO HYDROSTATIC TESTING AND UPON ACCEPTANCE OF TEST THEN CONCRETE MAY BE INSTALLED AS SHOWN.
- REFER TO TYPICAL HORIZONTAL THRUST BLOCK DRAWING G11 FOR ADDITIONAL DETAILS.
- REFER TO TYPICAL VALVE BOX INSTALLATION DRAWING W9 FOR ADDITIONAL DETAILS.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

DESIGN BY: STD. COMMITTEE
DRAWN BY: DWR
CHECKED BY: PSB
APPROVED BY: ARS
SCALE: NONE

TYPICAL TAPPING SLEEVE AND VALVE INSTALLATION

DRAWING NO.
W7



NOTES:

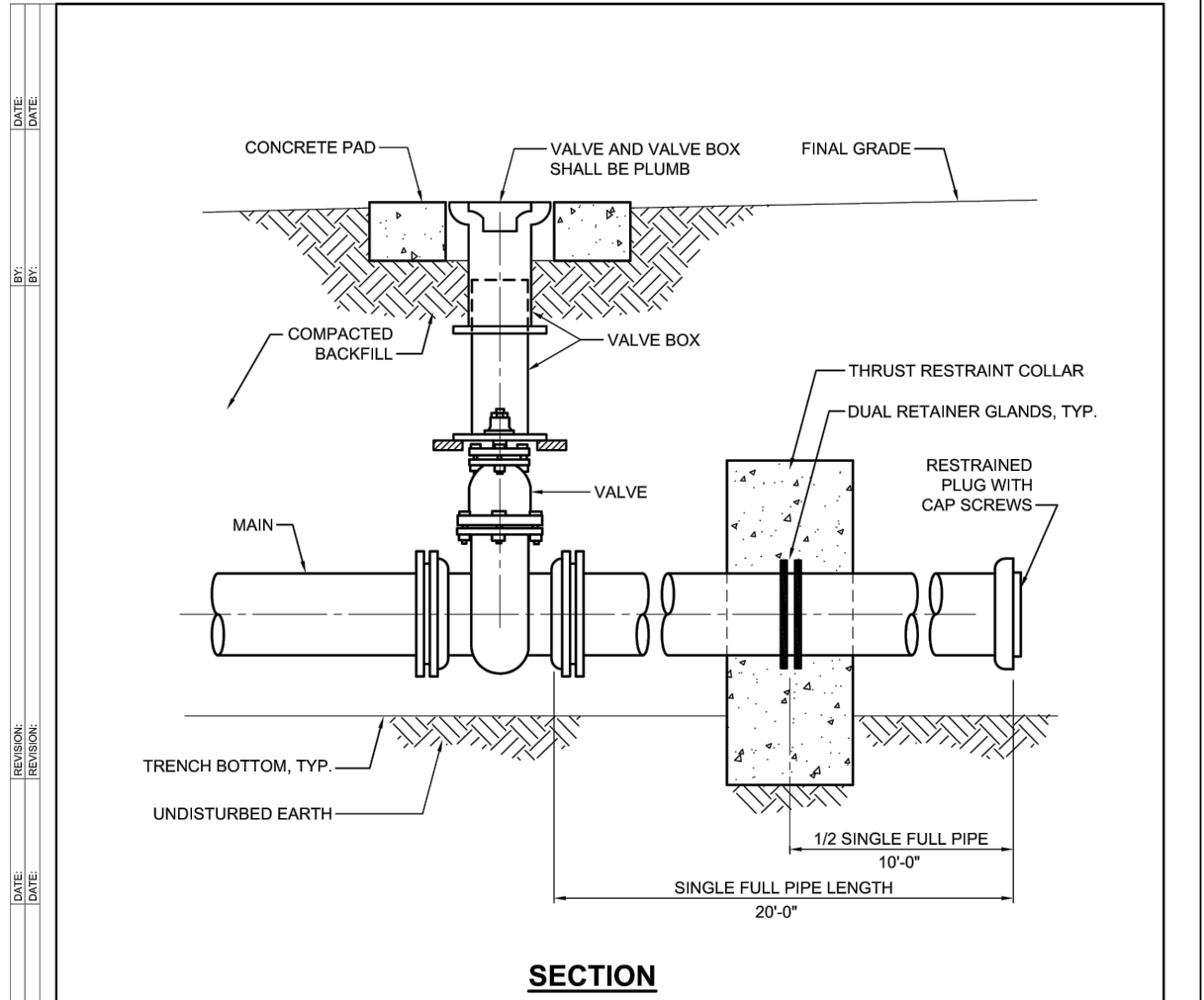
- INSTALL SERVICE LINE CONNECTIONS SHOWN ON EXISTING AND NEW WATER MAINS FOR THE WORK SPECIFIED.
- SERVICE LINE CONNECTION TAPS TO BE INSTALLED AS PIPE IS INSTALLED.
- TAP AND SERVICE LINES MUST BE DIRECTLY IN LINE WITH THE METER.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

DESIGN BY: STD. COMMITTEE
DRAWN BY: DWR
CHECKED BY: PSB
APPROVED BY: ARS
SCALE: NONE

TYPICAL WATER SERVICE CONNECTIONS

DRAWING NO.
W13



NOTES:

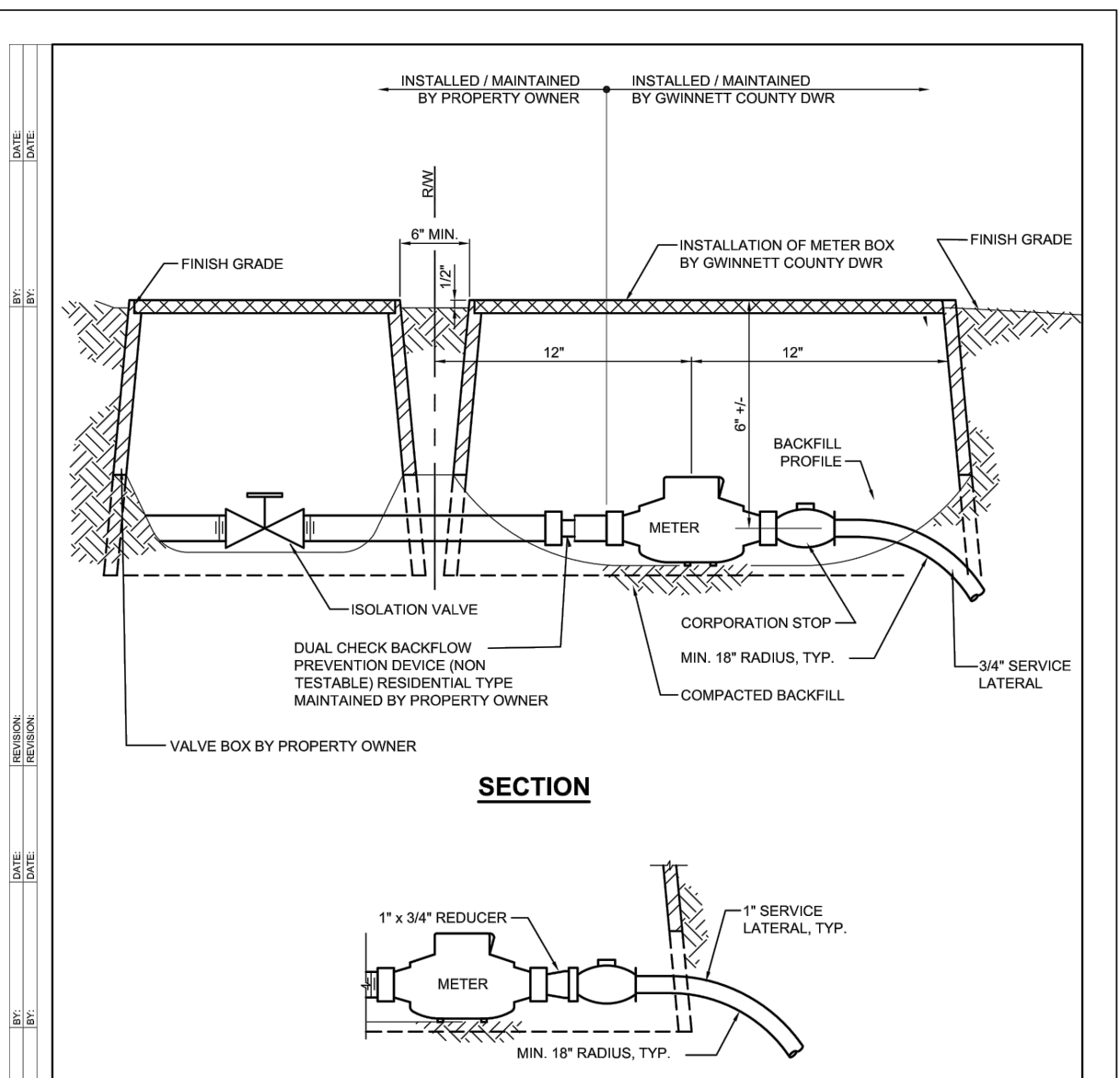
- STUB-OUT SHALL BE TESTED WITH THE WATER MAIN.
- REFER TO TYPICAL THRUST RESTRAINT COLLAR DRAWING G13 FOR ADDITIONAL DETAILS.
- REFER TO TYPICAL VALVE BOX INSTALLATION DRAWING W9 FOR ADDITIONAL DETAILS.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

DESIGN BY: STD. COMMITTEE
DRAWN BY: DWR
CHECKED BY: PSB
APPROVED BY: ARS
SCALE: NONE

TYPICAL STUB-OUT INSTALLATION

DRAWING NO.
W8



NOTES:

- WHEN CONDITIONS ARE SUCH THAT METER INSTALLATION WITHIN THE RIGHT-OF-WAY IS DIFFICULT OR IMPOSSIBLE, WITH PROPERTY OWNERS PERMISSION, THE METER MAY BE LOCATED ON PRIVATE PROPERTY.
- WHERE A 1" SERVICE LATERAL EXISTS, INSTALL A 1" TO 3/4" REDUCER BETWEEN CORPORATION STOP AND METER.
- CENTER WATER METER IN METER BOX.

GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES

DESIGN BY: STD. COMMITTEE
DRAWN BY: DWR
CHECKED BY: PSB
APPROVED BY: ARS
SCALE: NONE

TYPICAL RESIDENTIAL METER BOX INSTALLATION

DRAWING NO.
W14

WATER SYSTEM DETAILS

REVISIONS

04-01-22

11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161



GSWCC LEVEL II CERTIFICATION
NO. 03427

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PEACHTREE CORNERS, GA
404-482-5583

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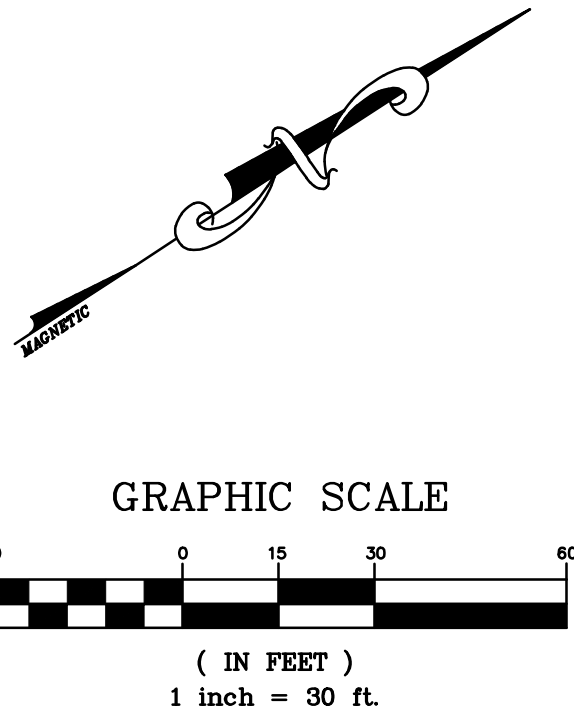
SCALE 1"=30'

DRAWING TITLE

UTILITY
DETAILS

C2C

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	WATER VALVE	
	WATER METER	
	GAS VALVE	
	GAS METER	
	POWER POLE	
	LIGHT POLE	
	POLE (SEE PLAN)	
	TRAFFIC SIGNAL	
	FIRE HYDRANT	
	DROP INLET	
	CATCH BASIN	
	STORM SEWER LINE	
	STORM SEWER MH	
	SAN. SEWER MH	
	SAN. SEWER LINE	
	WATER LINE	
	GAS LINE	
	POWER LINE	
	SEWER CLEANOUT	
	BENCHMARK	
	SPOT ELEVATION	
	CONTOUR LINE	
	DRAINAGE ARROW	
	HANDICAPPED SPACE	
	TRAFFIC DIRECTION	
	EDGE OF PAVEMENT	
	CONCRETE CURB AND GUTTER	
	CONCRETE HEADER CURB	



OWNER
SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR
BETTERTON SURVEYING & DESIGN, INC.
950 WEST SANDTOWN ROAD
MARIETTA, GEORGIA 30064
678-483-0242

ARCHITECT
MIMAR ARCHITECTURE & DESIGN, INC.
135 MANSELL PL., SUITE 304
ROSWELL, GA 30076
770-993-0200

CIVIL ENGINEER
SDG ENGINEERING
PO BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161

24 HOUR CONTACT
SHAWN BAKHTIARNEGAD
404-482-5583



GWINNETT COUNTY GRADING NOTES

1. TOPOGRAPHY IS BASED ON FIELD RUN DATA BY (COMPANY) ON (DATE)". THE FIELD RUN TOPO DATE SHOULD NOT BE EARLIER THAN THE SITE'S FINAL PLAT DATE.
2. "NO DECKS, PATIOS OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS".
3. "(NO/A) PORTION OF THE PROPERTY LIES WITHIN A FLOOD HAZARD AREA AS PER PANEL NUMBER DATED"

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

FLOOD PLAIN NOTE:

THE SUBJECT PROPERTY DOES NOT LIE WITHIN A FLOOD ZONE PER FIRM MAP NUMBER 13135C0053H, MAP EFFECTIVE 03/04/2013.

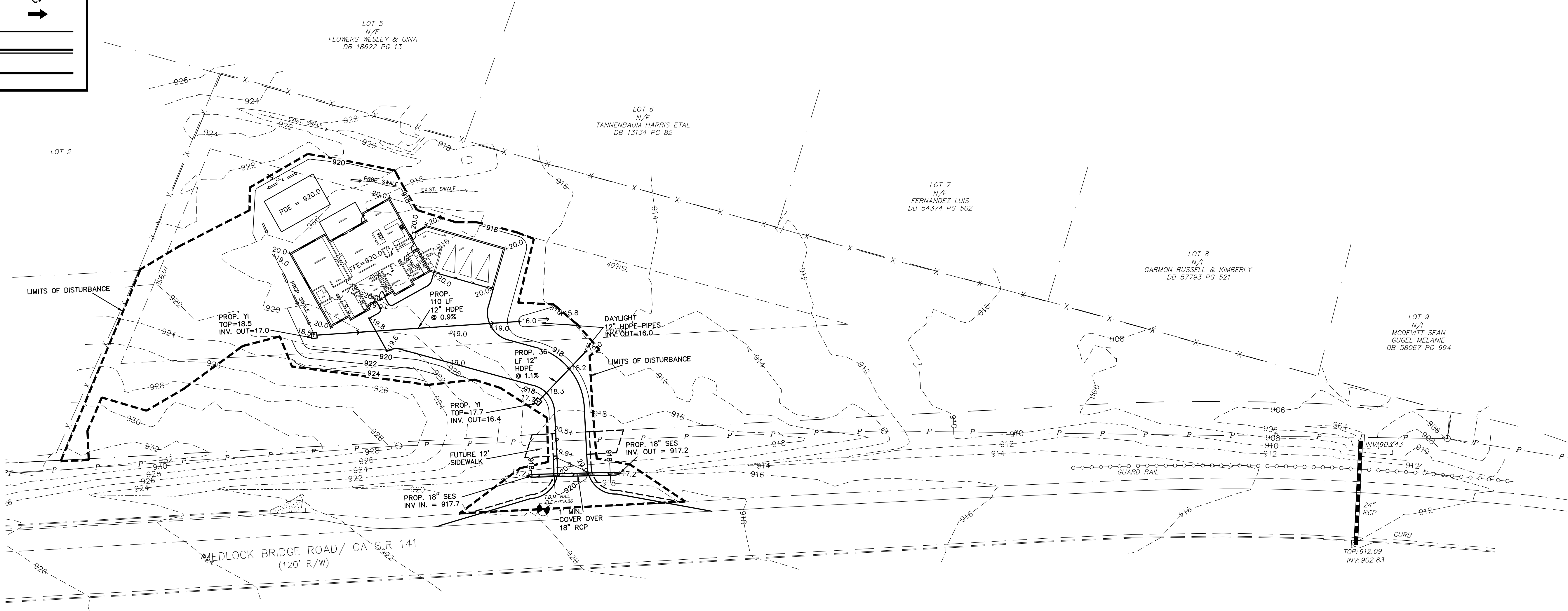
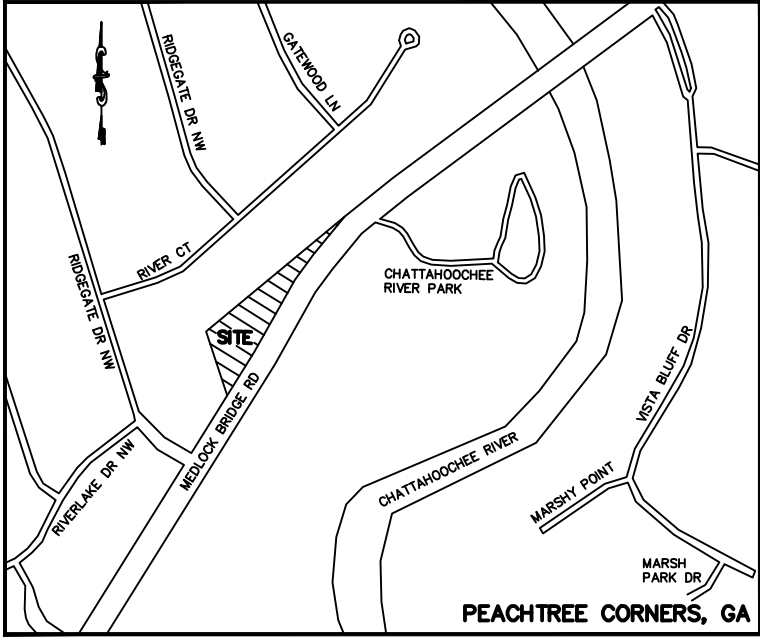
PEACHTREE CORNERS GRADING NOTES

1. CITY OF PEACHTREE CORNERS ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. THE CITY OF PEACHTREE CORNERS DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE CITY RIGHT-OF-WAY.
2. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
3. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.
4. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
5. DEVELOPER TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
6. PROVIDE DETENTION POND POST-CONSTRUCTION (RECORD) DRAWINGS WITH THE SUBMITTAL OF THE FINAL PLAT OR ONE WEEK PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY SO THAT THE POST CONSTRUCTION CONDITIONS MAY BE VERIFIED AND APPROVED. CERTIFIED RECORD DRAWINGS SHALL INCLUDE TOPO OF POND AND OUTLET STRUCTURE DETAIL USING POST-CONSTRUCTION SURVEY DATA. USING RECORD DRAWINGS, PROVIDE A CERTIFIED HYDROLOGY REPORT VERIFYING POND VOLUMES AND PEAK OUTFLOWS FROM REGULATED STORM EVENTS.
7. MAXIMUM CUT OR FILL SLOPES IS 2H:1V.
8. THERE ARE NOT WETLANDS ON THIS SITE.
9. ACCESS EASEMENT TO BE CLEARED AND GRUBBED.
10. 12% TO 15% STREET GRADES REQUIRE AN 'AS GRADED' SURVEY BEFORE INSTALLATION OF THE CURB.

ZONED: R100
PROP. SITE AREA: 1.64 ACRES
PROP. DISTURBED AREA: 0.57 ACRES
(INCLUDES 0.06 ACRES WITHIN R/W)

VULNERABILITY ANALYSIS

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown in Parentheses)	Percent Imperv. Surface
A				(90)	(75)
B				(80)	(60)
C				(70)	(45)
D	1.31	0.42	0.15	(50) 32.1	(30)
E	0.33	0.09	0.03	(30) 27.3	(15)
F				(10)	(2)
Total:	1.34	0.51	0.18	N/A	N/A



REVISIONS
02-07-22
04-01-22
11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161

GEORGIA
REGISTERED
PROFESSIONAL
ENGINEER
MICHAEL D. RITCH
No. 18740
GSMC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE
PEACHTREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

DATE 12-01-21
PROJECT NO. 21537
DRAWN BY JDR
SCALE 1"=30'
DRAWING TITLE
GRADING PLAN
C3

LEGEND

EXISTING

DESCRIPTION

PROPOSED

WV

WM

GV

GM

PP

LP

POLE

FH

DI

CB

STORM SEWER LINE

STORM SEWER MH

SAN. SEWER MH

SAN. SEWER LINE

WATER LINE

GAS LINE

POWER LINE

SEWER CLEANOUT

BENCHMARK

SPOT ELEVATION

CONTOUR LINE

DRAINAGE ARROW

HANDICAPPED SPACE

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SHAWN BAKHTIARNEGAD

4611 MEDLOCK BRIDGE RD

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24 HOUR CONTACT

SHAWN BAKHTIARNEGAD

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GWINNETT COUNTY GRADING NOTES

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- MAXIMUM CUT OR FILL SLOPES IS 2H:1V.
- THERE ARE NOT WETLANDS ON THIS SITE.
- ACCESS EASEMENT TO BE CLEARED AND GRUBBED.
- 12% TO 15% STREET GRADES REQUIRE AN 'AS GRADED' SURVEY BEFORE INSTALLATION OF THE CURB.

SITE SUMMARY

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ZONED: R100
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(INCLUDES 0.06 ACRES WITHIN R/W)

VULNERABILITY ANALYSIS

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Vicinity Map

Not To Scale

REVISIONS
02-07-22
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SDG ENGINEERING

P.O. BOX 680963

MARIETTA, GEORGIA 30068-0017

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GEORGIA

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ENGINEER

NO. 19740

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4611 MEDLOCK BRIDGE

PEACHTREE CORNERS, GA

404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT

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LL 319, 5TH DIST., 2ND SECT.

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PARCEL # R6319 045

DATE 12-01-21

PROJECT NO. 21537

DRAWN BY JDR

SCALE 1"=30'

DRAWING TITLE

GRADING PLAN

C3

811

Know what's below.

Call before you dig.

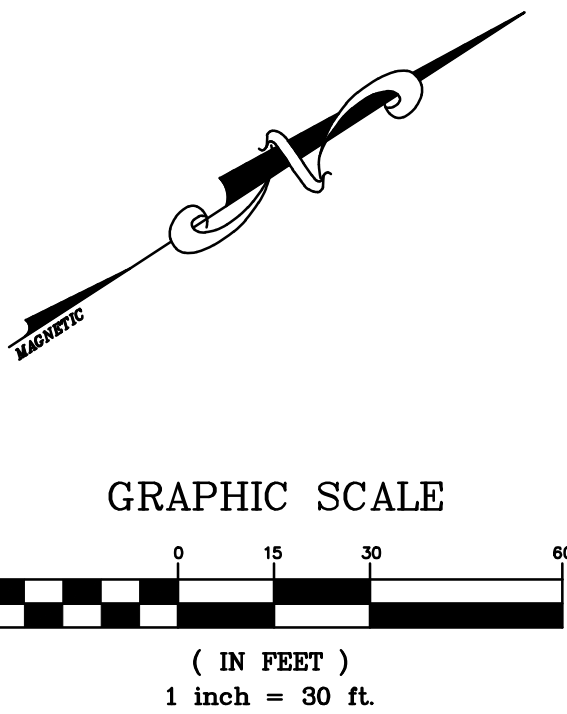
LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	WATER VALVE	
	WATER METER	
	GAS VALVE	
	GAS METER	
	POWER POLE	
	LIGHT POLE	
	POLE (SEE PLAN)	
	TRAFFIC SIGNAL	
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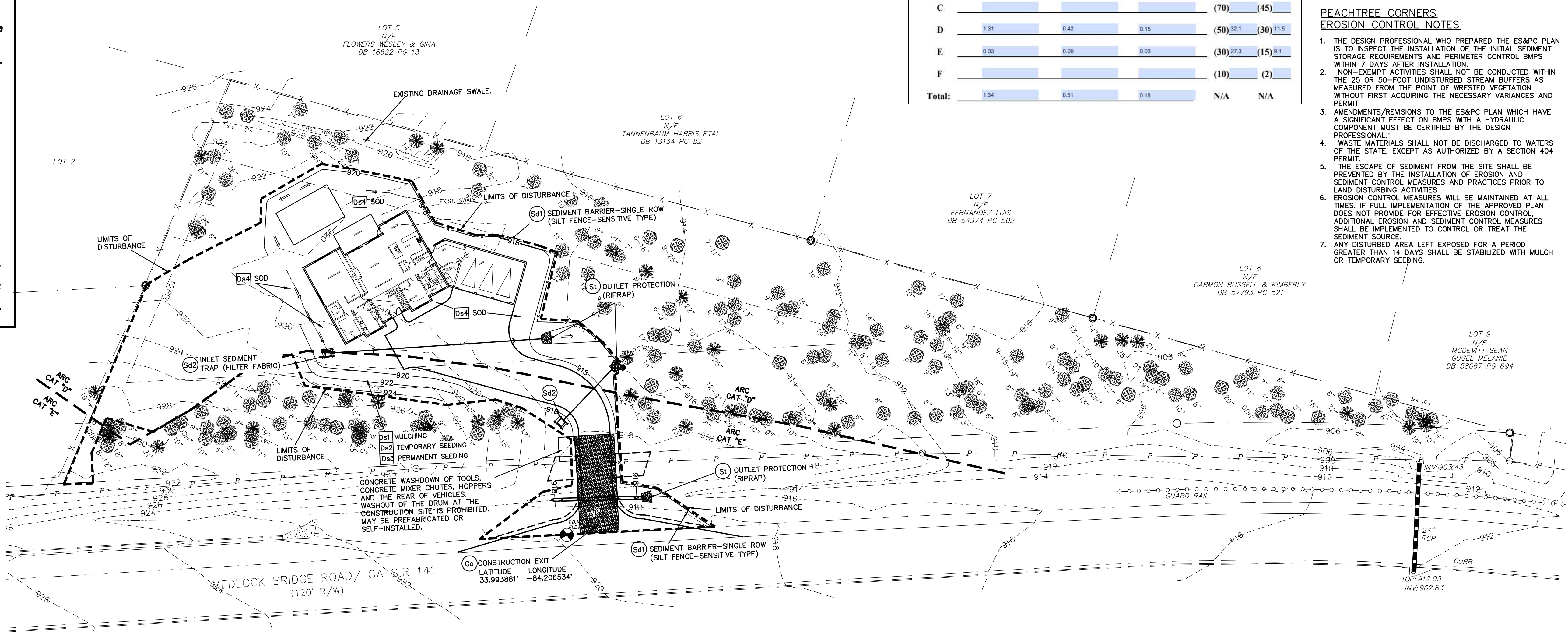
ARCHITECT
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678-560-4161



24 HOUR CONTACT
SHAWN BAKHTIARNAGAD
404-482-5583

811
Know what's below.
Call before you dig.



EROSION CONTROL NOTES

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- THE CONTRACTOR MUST NOTIFY THE UTILITIES PROTECTION CENTER AT 1-800-282-7411 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITIES.
- STRIPPING OF VEGETATION, REGRADING, AND OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE EROSION.
- CUT AND FILL OPERATIONS SHALL BE KEPT TO A MINIMUM.
- DEVELOPMENT PLANS MUST CONFORM TO TOPOGRAPHY AND SOIL TYPE, SO AS TO CREATE THE LOWEST PRACTICABLE EROSION POTENTIAL.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED.
- DISTURBED AREAS AND THEIR DURATION OF EXPOSURE TO EROSION ELEMENTS SHALL BE KEPT TO A PRACTICABLE MINIMUM.
- DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICAL.
- TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
- PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- TO THE EXTENT NECESSARY, SEDIMENT IN RUN-OFF WATER SHALL BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS, OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.

- ADEQUATE PROVISIONS SHALL BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACES OF FILLS.
- CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY.
- FILLS SHALL NOT ENCROACH UPON NATURAL WATER COURSES OR CONSTRUCTED CHANNELS IN A MANNER THAT WOULD ADVERSELY AFFECT OTHER PROPERTY OWNERS.
- GRADING EQUIPMENT MUST CROSS FLOWING STREAMS BY THE MEANS OF BRIDGES OR CULVERTS, EXCEPT WHEN SUCH METHODS ARE NOT FEASIBLE, PROVIDED IN ANY CASE THAT SUCH CROSSINGS SHALL BE KEPT TO A MINIMUM AND THAT A PROPERLY TEMPORARY STREAM CROSSING IS CONSTRUCTED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- PROVISIONS SHALL BE PROVIDED FOR TREATMENT OR CONTROL OF ANY SOURCE OF SEDIMENTS AND ADEQUATE SEDIMENTATION CONTROL FACILITIES TO RETAIN SEDIMENTS ON SITE OR PRECLUDE SEDIMENTATION OF ADJACENT WATERS BEYOND THE LEVELS SPECIFIED IN THIS PERMIT.
- NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50-FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS (AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION) UNLESS A FORMAL WAIVER HAS BEEN GRANTED BY THE AUTHORITY.
- WHERE THE AUTHORITY GRANTS A WAIVER, NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25-FOOT BUFFER STATE BUFFER WITHOUT FULL COMPLIANCE OF STATE REGULATIONS AND OBTAINING A VARIANCE IF APPLICABLE.
- EXCEPT AS PROVIDED ABOVE, FOR REQUIRED BUFFERS NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL, UNDISTURBED, STATE OF VEGETATION.
- BETWEEN THE TIME FINAL STABILIZATION OF THE SITE IS ACHIEVED AND UPON THE SUBMITTAL OF A NOTICE OF TERMINATION, A BUFFER MAY BE THINNED OR TRIMMED OF VEGETATION. A PROTECTIVE VEGETATIVE COVER MUST REMAIN TO PROTECT WATER QUALITY AND AQUATIC HABITAT AND A NATURAL CANOPY MUST BE LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAMBED.

- THE DESIGN PROFESSIONAL WHO PREPARED THIS PLAN SHALL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- THERE ARE NO KNOWN EXISTING LANDFILLS AND PROPOSED ON-SITE BURY PITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- MAXIMUM CUT OR FILL SLOPES IS 2H:1V.
- APPROVAL OF THESE PLANS DOES NOT RELIEVE THE OWNER, DEVELOPER, AND/OR CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE RULES, REGULATIONS, AND ORDINANCES.
- TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONSTRUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

EXISTING SITE CONDITIONS

THE EXISTING SITE HAS NOT BEEN PREVIOUSLY DEVELOPED AND DRAINS TO THE NORTHEAST TO AN EXISTING DRAINAGE DITCH ALONG MEDLOCK BRIDGE RD. RECEIVING WATER IS CHATTAHOOCHEE RIVER.

DEVELOPED SITE CONDITIONS

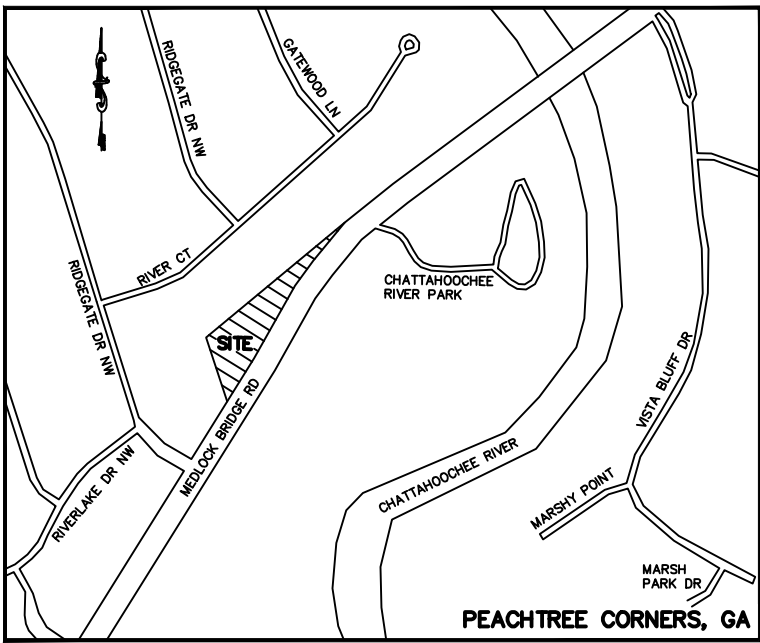
THE DEVELOPED SITE WILL BE FINE GRADED AND DEVELOPED A WITH HARD SURFACE OF A HOUSE, GARAGE, POOL AND DRIVEWAY. ADDITIONAL STORM SEWER WILL BE INSTALLED INCLUDING STORM STRUCTURES AND LINES. RECEIVING WATER IS CHATTAHOOCHEE RIVER.

SITE SUMMARY

PROP. USE: RESIDENTIAL
ZONED: R100
PROP. SITE AREA: 1.64 ACRES
PROP. DISTURBED AREA: 0.57 ACRES
(INCLUDES 0.06 ACRES WITHIN R/W)

VULNERABILITY ANALYSIS

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb.	Percent Imperv. Surf.
A				(90)	(75)
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C				(70)	(45)
D	1.31	0.42	0.15	(50)	(30)
E	0.33	0.09	0.03	(30)	(2.1)
F				(10)	(2)
Total:	1.34	0.51	0.18	N/A	N/A



Vicinity Map

Not To Scale

PEACHTREE CORNERS EROSION CONTROL NOTES

- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMIT.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
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ADJACENT SITES

TO THE WEST IS PUBLIC R/W.
TO THE NORTH, EAST AND SOUTH IS DEVELOPED COMMERCIAL PROPERTY.

CRITICAL AREAS

NO CRITICAL AREAS ARE EXPECTED DURING THE DEVELOPMENT OF THIS PROJECT. THE EROSION CONTROL PRACTICES SHOWN ON THIS PLAN SHOULD PREVENT ANY EROSION OR SEDIMENT FROM LEAVING THE SITE.

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EROSION CONTROL MEASURES TO BE UTILIZED

SILT FENCE, CONSTRUCTION EXIT, INLET SEDIMENT TRAPS, SEDIMENT POND, RIPRAP, ROCK DAM, MULCHING, TEMPORARY SEEDING, PERMANENT SEEDING AND SOD SHALL BE UTILIZED AS MINIMUM TO PREVENT SEDIMENT FROM LEAVING THE SITE.

INSTALLATION NOTE

INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

WETLANDS STATEMENT

IT HAS BEEN DETERMINED THAT THERE ARE NO WETLANDS WITHIN THIS PROPERTY.

SOIL SERIES

THE ENTIRE SITE SOIL CONDITIONS ARE CLASSIFIED AS:
CIS - CHEWACIA SILT LOAM, 0 TO 2 PERCENT SLOPES
W62 WEDOWEE SANDY LOAM, 10 TO 25 PERCENT SLOPES

STATE WATERS STATEMENT

THERE ARE NO STATE WATERS ON OR WITHIN 200 FEET OF THE PROJECT SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

REVISIONS

02-07-22

03-04-22

11-30-22

SDG ENGINEERING

P.O. BOX 680963

MARIETTA, GEORGIA 30068-0017

678-560-4161



GSWCC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNAGAD
4611 MEDLOCK BRIDGE
PEACHTREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

DATE 12-01-21

PROJECT NO. 21537

DRAWN BY JDR

SCALE 1"=30'

DRAWING TITLE

EROSION
CONTROL
PLAN

C4

VEGETATIVE MEASURES

CODE	PRACTICE	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	Establishing permanent vegetative cover such as trees, shrubs, vines, grasses, sod, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)	A permanent vegetative cover using sods on highly erodible or critically eroded soils.
Du	DUST CONTROL ON DISTURBED AREAS	Controlling surface and air movement of dust on construction sites, roadways and similar sites.

DEFINITION - CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION SITES.

PURPOSE - TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES.

- TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY BE HARMFUL OR INJURIOUS TO HUMAN HEALTH, WELFARE, OR SAFETY, OR TO ANIMALS OR PLANT LIFE.

CONDITIONS - THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST WHERE ON AND OFF-SITE DAMAGE MAY OCCUR WITHOUT TREATMENT.

METHOD AND MATERIALS

A. TEMPORARY METHODS

MULCHES - SEE STANDARD DS1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO STANDARD TB-TACKIFIERS AND BINDERS. RESINS SUCH AS GUARACOL OR TERRATACK SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

VEGETATIVE COVER - SEE STANDARD DS2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING). SPRAY-ON ADHESIVES, THESE ARE USED ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO STANDARD TB-TACKIFIERS AND BINDERS.

TILLAGE - THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART. SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED. BARRIERS, SOIL BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

CALCIUM CHLORIDE - APPLY AT RATE THAT WILL KEEP SURFACE MOSTLY WET. MAY NEED RETREATMENT.

B. PERMANENT METHODS

PERMANENT VEGETATION - SEE STANDARD DS3 - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING - THIS ENTAILS COVERING THE SURFACE WITH LESS ERODIBLE SOIL MATERIAL. SEE STANDARD TP - TOPSOILING.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE STANDARD CR-CONSTRUCTION ROAD STABILIZATION.

GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

STATE SOIL AND WATER CONSERVATION COMMISSION OF GEORGIA

STRUCTURAL PRACTICES

CODE	PRACTICE	DESCRIPTION
Co	CONSTRUCTION EXIT	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
St	OUTLET PROTECTION	A SHORT SECTION OF RIPRAP CHANNEL PLACED AT THE OUTLET OF A STORM DRAIN SYSTEM TO REDUCE VELOCITY
Sd1	SEDIMENT BARRIER	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales, or straw or hay, brush, logs and poles, gravel, or a sediment fence. The barriers are usually temporary and inexpensive.
Sd2	INLET SEDIMENT TRAP	An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.

- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within + or - 5% . Tons or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 6-6.2. See Figure 6-4.1 for your Resource Area.

Table 6-6.2
Sod Planting Requirements

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifton Tifton Tifton	M-L P C C	Warm Weather Warm Weather
Bastardgrass	Perennial	P-C	Warm Weather
Centipede	Perennial	P-C	Warm Weather
St. Augustine	Common Bastard Tifton	C	Warm Weather
Zoysia	Common Myer	P-C	Warm Weather
Tall Fescue	Kentucky	M-L-P	Cool Weather

MAINTENANCE

Re-sod areas where an adequate stand of sod is not obtained. New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified (See Figure 6-8.2).

Apply one ton of agricultural lime as indicated by soil test or every 4-6 years. Fertilize grasses in accordance with soil tests or Table 6-6.3.

Table 6-6.3
Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (lb./A.)	Rate (lb./1000 sq. ft.)	Nitrogen Top Dressing Rate (lb./A.)
Cool season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 100 30
Warm season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 50-100 30

DS4 SODDING

Use seed Fertilizer:
Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of (16-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before and preparation and incorporated with a disk, ripper or chisel.

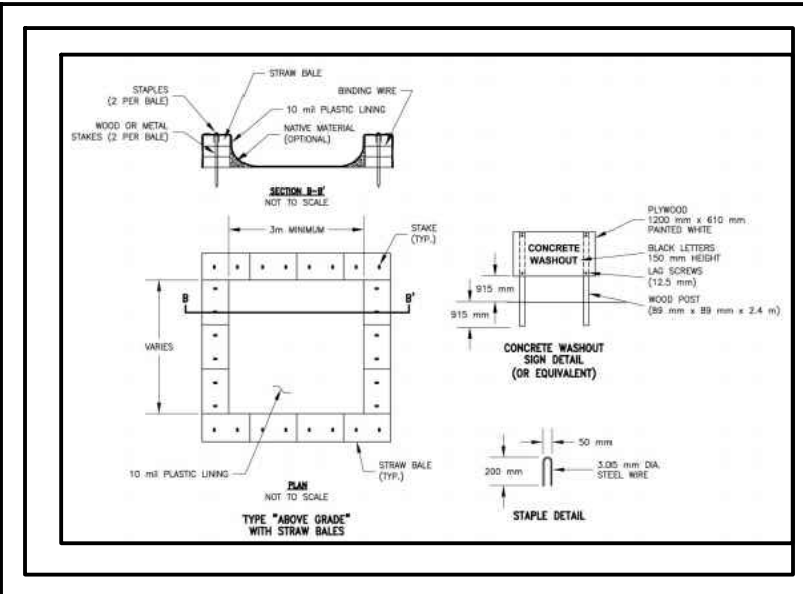
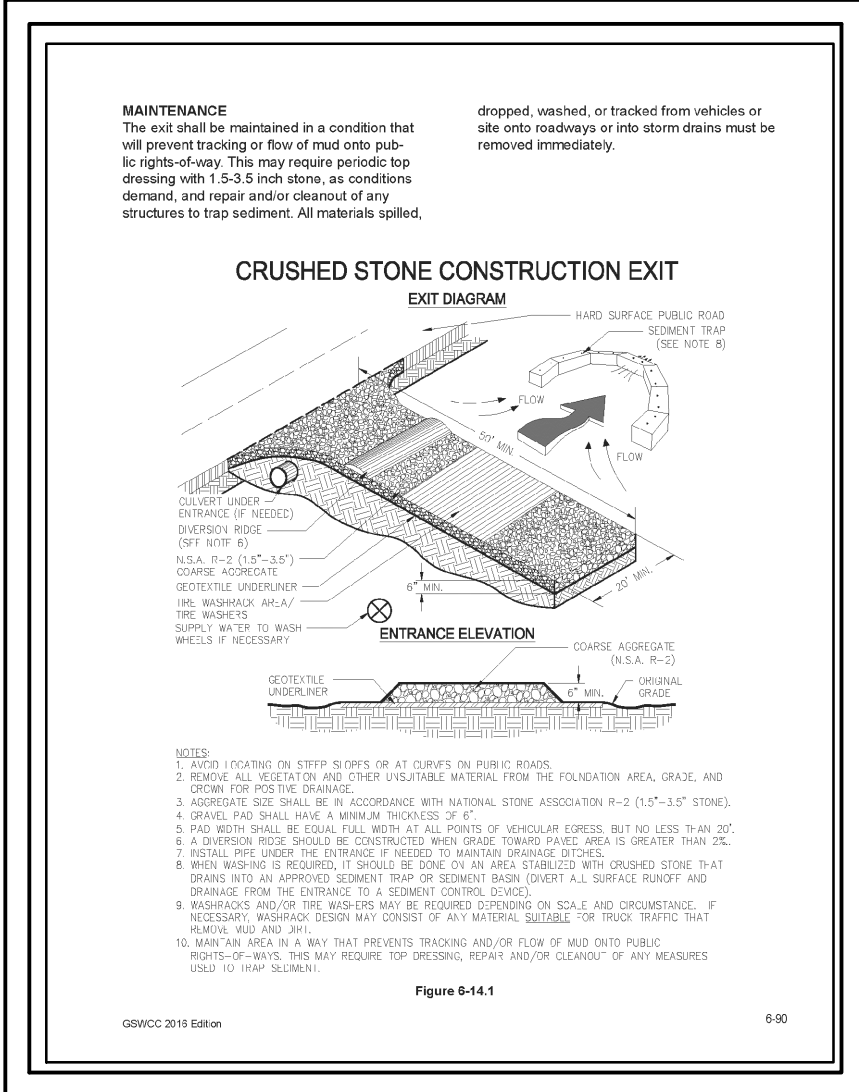
Seeding:
Select a grain or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, mulch/seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or mulch/seeder seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is two times the seed diameter. Sod should be "raked" lightly to cover seed with soil or sod by hand.

Mulching:
Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

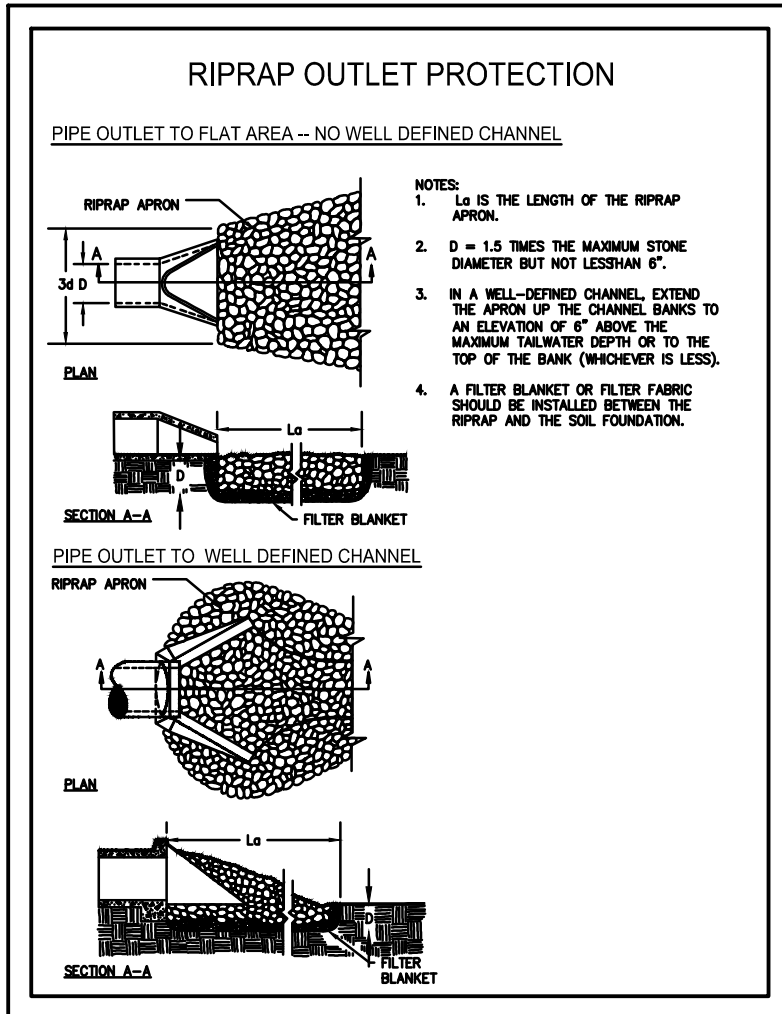
TEMPORARY

Mulching:
Mulch is required for all permanent vegetation applications. Mulch applied to seeded areas shall achieve 75% and cover. Select the mulching material from the following and apply as indicated:
1. Dry straw or dry hay of good quality and free of weed seeds can be used. Dry straw shall be applied at the rate of 2 tons per acre. Dry hay shall be applied at a rate of 1.5 tons per acre.
2. Wood cellulose mulch or wood pulp fiber shall be used with hydraulic seeding. It shall be applied at the rate of 500 pounds per acre. Drystraw or dry hay shall be applied at the rate indicated above after hydraulic seeding.
3. One thousand pounds of wood cellulose or wood pulp fiber, which includes a fertilizer, shall be used with hydraulic seeding on slopes 3:4 or steeper.
4. Cellulose mulch containing mature seed shall be applied at a rate of three tons per acre.
5. Fine straw or pine bark shall be applied at a thickness of 3 inches for bedding purposes. Other suitable materials in sufficient quantity may be used where permanent or other ground covers are planned. This is not appropriate for seeded areas.
6. When using temporary erosion control blankets or black seed, mulch is not required.
7. Bituminous treated roving may be applied on planned areas on slopes, in ditches or dry washways to prevent erosion. Bituminous treated roving shall be applied within 24 hours after an area has been planned. Application rates and materials must meet Georgia Department of Transportation specifications.
Wood cellulose and wood pulp fibers shall not contain germination or growth inhibiting factors. They shall be evenly dispersed when applied to water. The fibers shall contain a dye to allow visual metering and aid in uniform application during seeding.
Applying Mulch:
Straw or hay mulch will be spread uniformly within 24 hours after seeding and/or planting. The mulch may be spread by blow-type spreading equipment, other spreading equipment or by hand. Mulch shall be applied to cover 75% of the soil surface.
Wood cellulose or wood fiber mulch shall be applied uniformly with hydraulic seeding equipment.

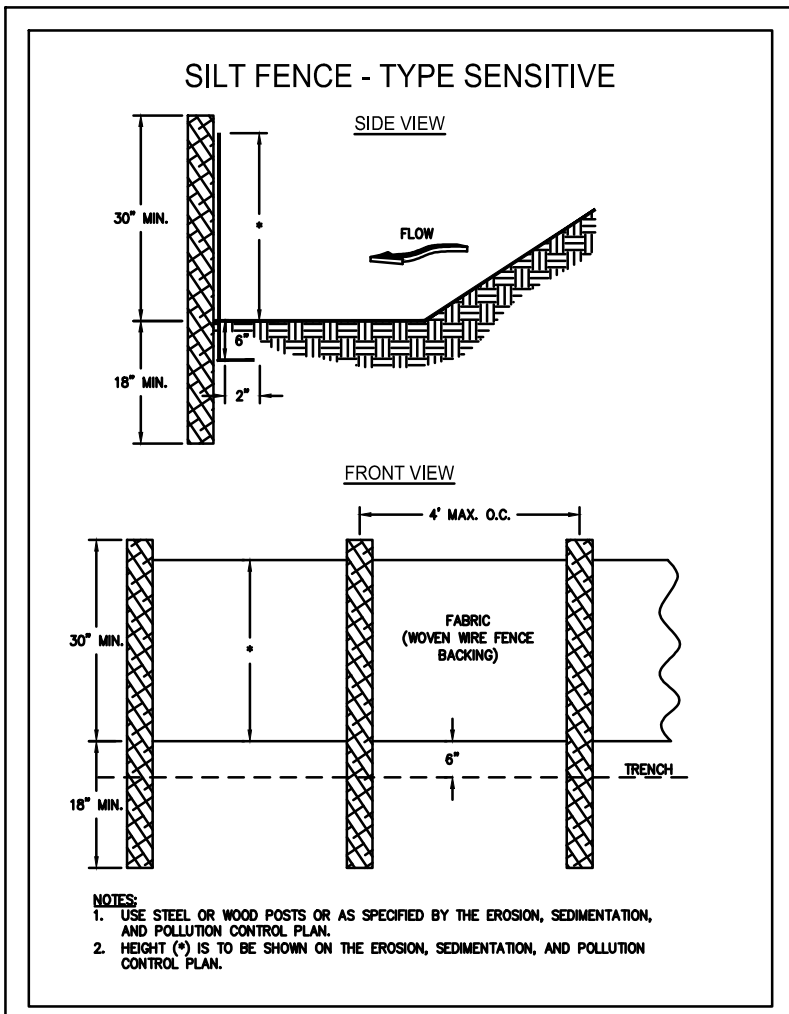
PERMANENT



Co CONSTRUCTION EXIT



St OUTLET PROTECTION (RIPRAP)



Sd1 SEDIMENT BARRIER-(SILT FENCE - SENSITIVE OR TYPE "C")

Du DUST CONTROL

TYPE	RATE (TON/AC.)	DEPTH (IN)
STRAW or HAY	2 1/2	6-10
WOODPASTE, CHIPS, SAWDUST, BARK	6-9	4-8

Ds1 MULCHING

Table 6-4.1 - continued
PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS 1/

Species	Broadcast Rates 2/ - PLS 3/ Per Acre	Resource Area 4/	Planting Dates by Resource Areas Planting Dates (Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates.)	Remarks
MILLET, PEARL (Pennisetum glaucum) alone	50 lbs. 1.1 lb.	M-L P C	J F M A M J J A S O N D	88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
OATS (Avena sativa) alone in mixtures	4 bu. (128 lbs.) 1 bu. (32 lbs.) 2.9 lb. 0.7 lb.	M-L P C	J F M A M J J A S O N D	13,000 seed per pound. Use on productive soils. Not as winterhardy as ryegrass or barley.
RYE (Secale cereale) alone in mixtures	3 bu. (168 lbs.) 1/2 bu. (28 lbs.) 3.9 lb. 0.6 lb.	M-L P C	J F M A M J J A S O N D	18,000 seed per pound. Quick cover. Drought tolerant and winterhardy.
RYEGRASS, ANNUAL (Lolium temulentum) alone	40 lbs. 0.9 lb.	M-L P C	J F M A M J J A S O N D	227,000 seed per pound. Dense cover. Very competitive and is not to be used in mixtures.
SUDANGRASS (Sorghum sudanese) alone	60 lbs. 1.4 lb.	M-L P C	J F M A M J J A S O N D	55,000 seed per pound. Good on droughty sites. Not recommended for mixtures.

Ds2 TEMPORARY SEEDING

PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Broadcast Rates 1/ - PLS 2/ Per Acre	Resource Area 3/	Planting Dates by Resource Areas Planting Dates (Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates.)	Remarks
BAHIA, PENSACOLA (Paspalum notatum) alone or with temporary cover	60 lbs. 1.4 lb. 30 lbs. 0.7 lb.	P C	J F M A M J J A S O N D	166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread into bermuda pastures and lawns. Mix with Serotia repens or weeping lovegrass.
BAHIA, WILMINGTON (Paspalum notatum) alone or with temporary cover	60 lbs. 1.4 lb. 30 lbs. 0.7 lb.	M-L P	J F M A M J J A S O N D	Same as above.
BERMUDA, COMMON (Cynodon dactylon) Filled seed alone with other perennials	10 lbs. 0.2 lb. 6 lbs. 0.1 lb.	P C	J F M A M J J A S O N D	1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.

Ds3 PERMANENT SEEDING

FERTILIZER REQUIREMENTS

TYPE OF SPECIES	YEAR	COUPLER/SPREADER	RATE	N-TOP DRESSING
Cool season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 100 30
Warm season grasses	First Second Maintenance	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 50-100 30

REVISIONS

11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161



CSMCC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE
PEACH TREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACH TREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

DATE

12-01-21

PROJECT NO.

21537

DRAWN BY

JDR

SCALE

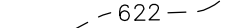
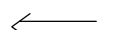
1"=30'

DRAWING TITLE

EROSION
CONTROL
DETAILS

C5

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	WV WATER VALVE	 WV
	WM WATER METER	 WM
	GV GAS VALVE	 GV
	GM GAS METER	 GM
	PP POWER POLE	 PP
	LP LIGHT POLE	 LP
	POLE POLE (SEE PLAN)	 POLE
	TRAFFIC SIGNAL	
	FH FIRE HYDRANT	 FH
	DI DROP INLET	 DI
	CB CATCH BASIN	 CB
	STORM SEWER LINE	
	STORM SEWER MH	
	SAN. SEWER MH	
	SAN. SEWER LINE	
	WATER LINE	
	GAS LINE	
	POWER LINE	
	SEWER CLEANOUT	
	BENCHMARK	
	+ 621.25 SPOT ELEVATION	 + 621.25
	- 622 --- CONTOUR LINE	 - 622 ---
	← DRAINAGE ARROW	
	HANDICAPPED SPACE	
	→ TRAFFIC DIRECTION	
	— EDGE OF PAVEMENT	
	== CONCRETE CURB AND GUTTER	
	— CONCRETE HEADER CURB	

OWNER

SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR

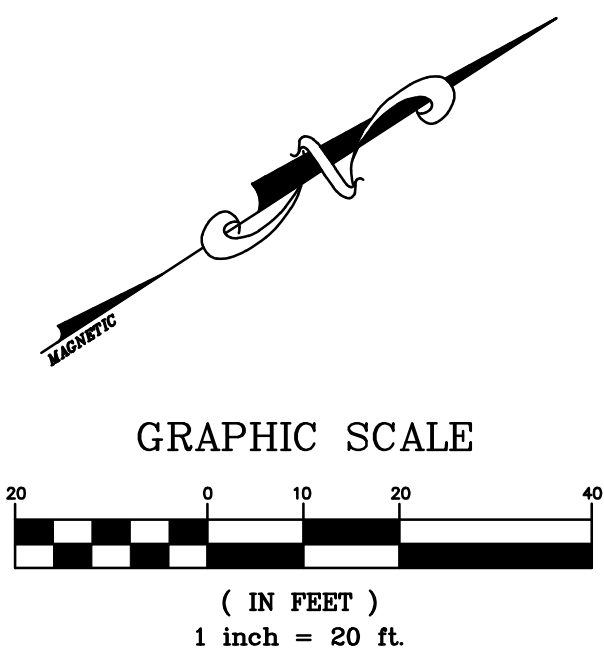
BETTERTON SURVEYING & DESIGN, INC.
950 WEST SANDTOWN ROAD
MARIETTA, GEORGIA 30064
678-483-0242

ARCHITECT

MIMAR ARCHITECTURE & DESIGN, INC.
135 MANSELL PL., SUITE 304
ROSWELL, GA 30076
770-993-0200

CIVIL ENGINEER

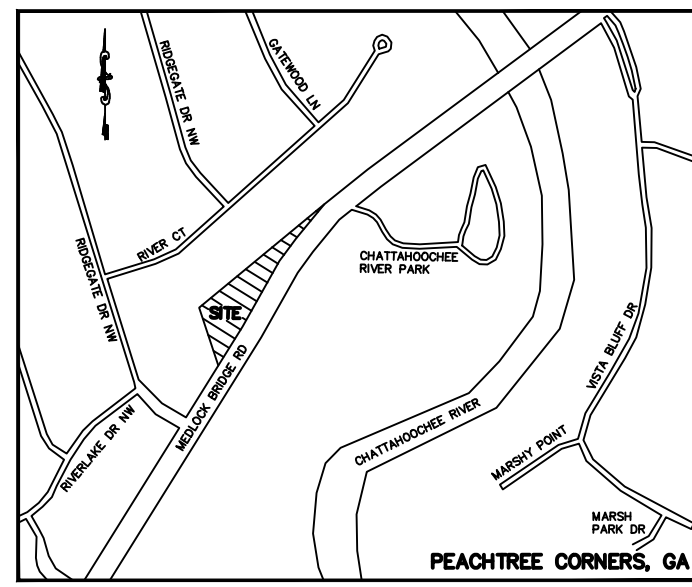
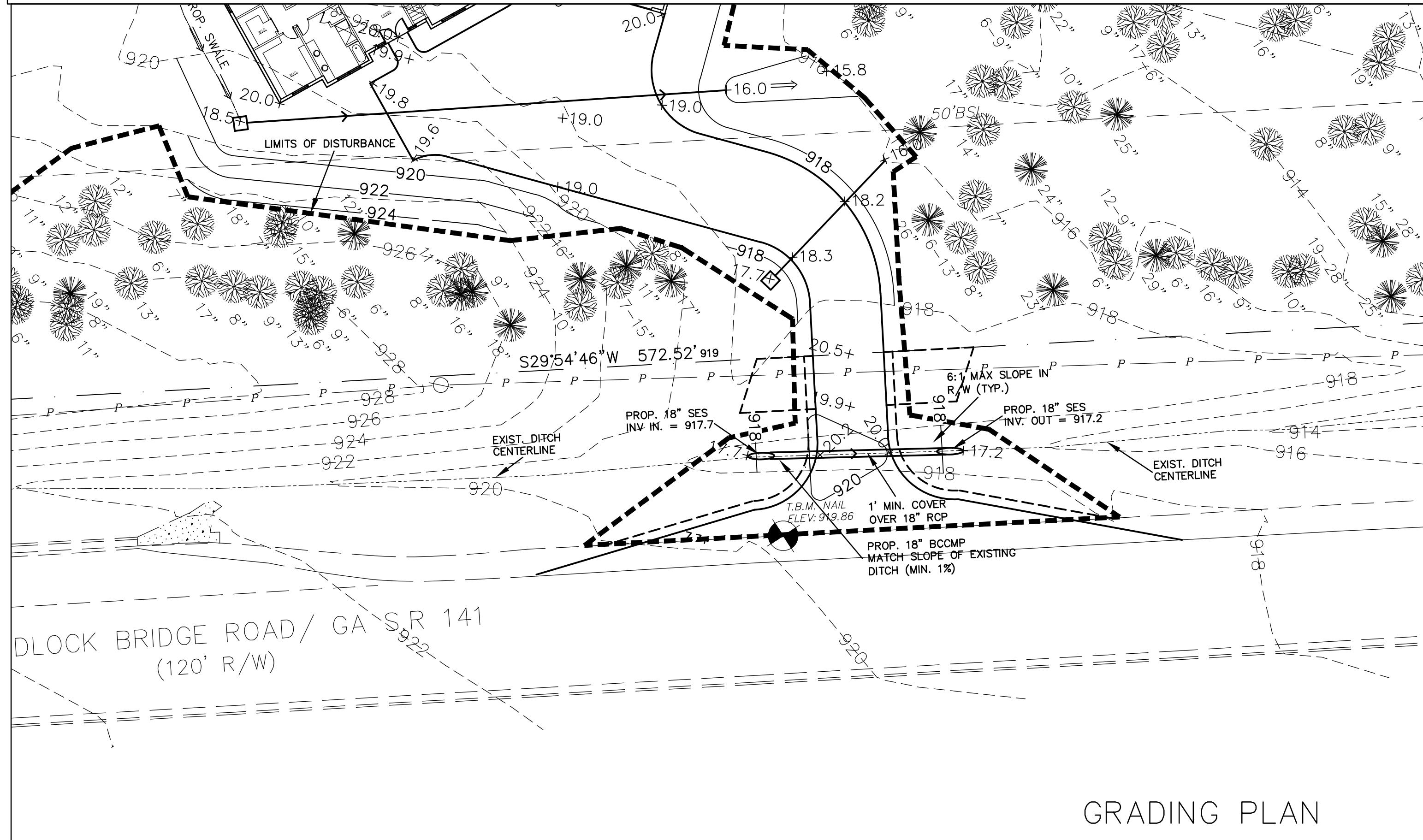
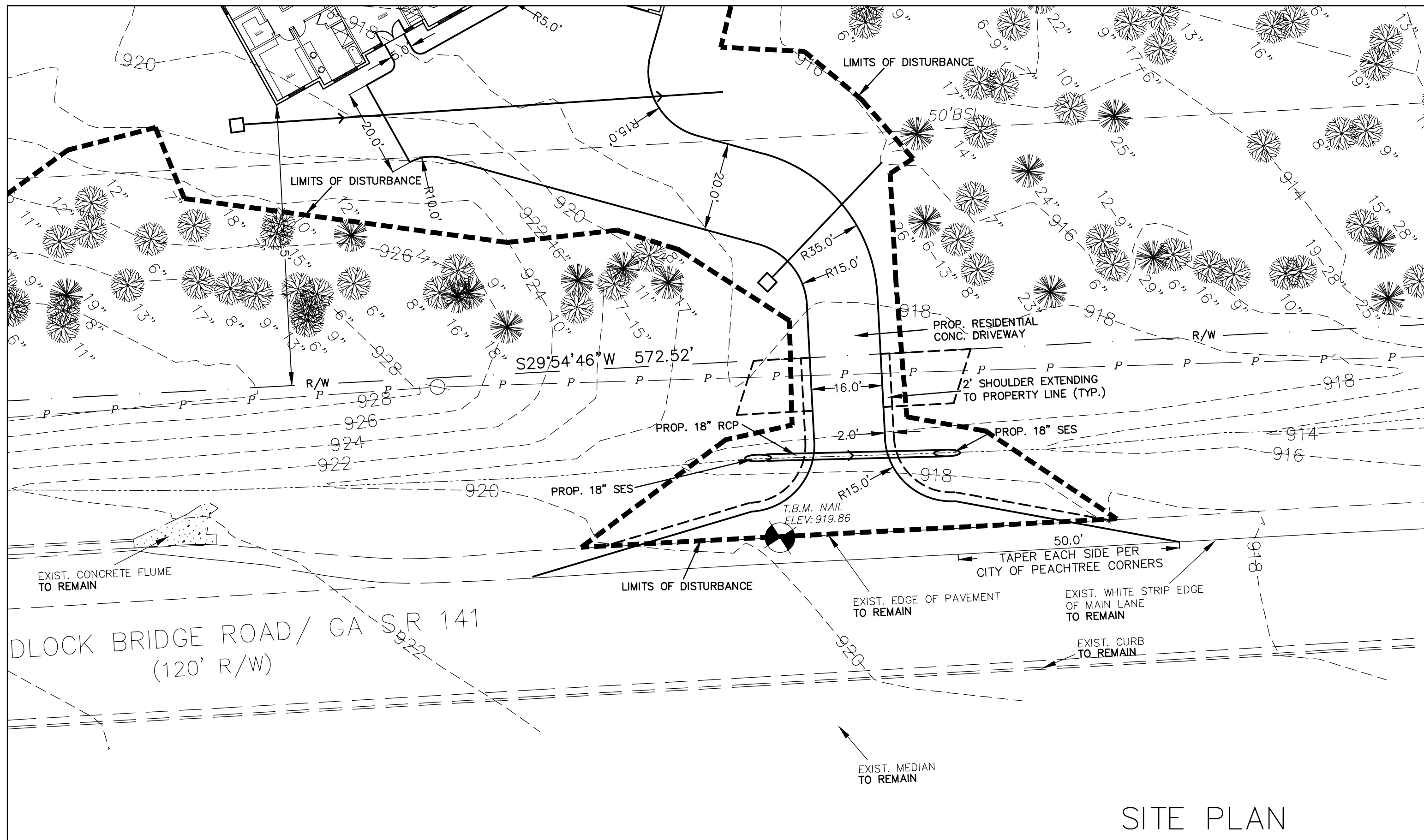
SDG ENGINEERING
PO BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161



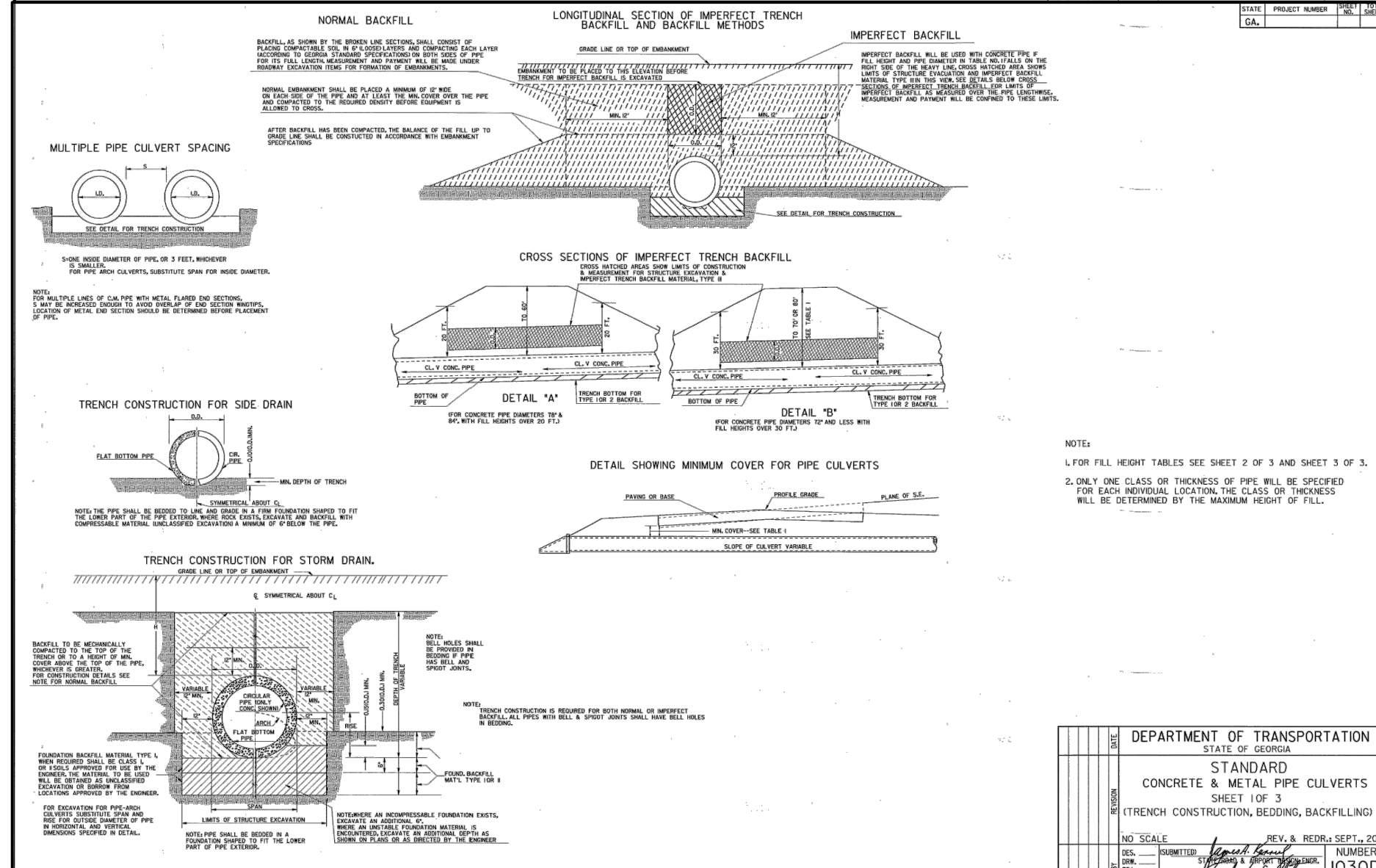
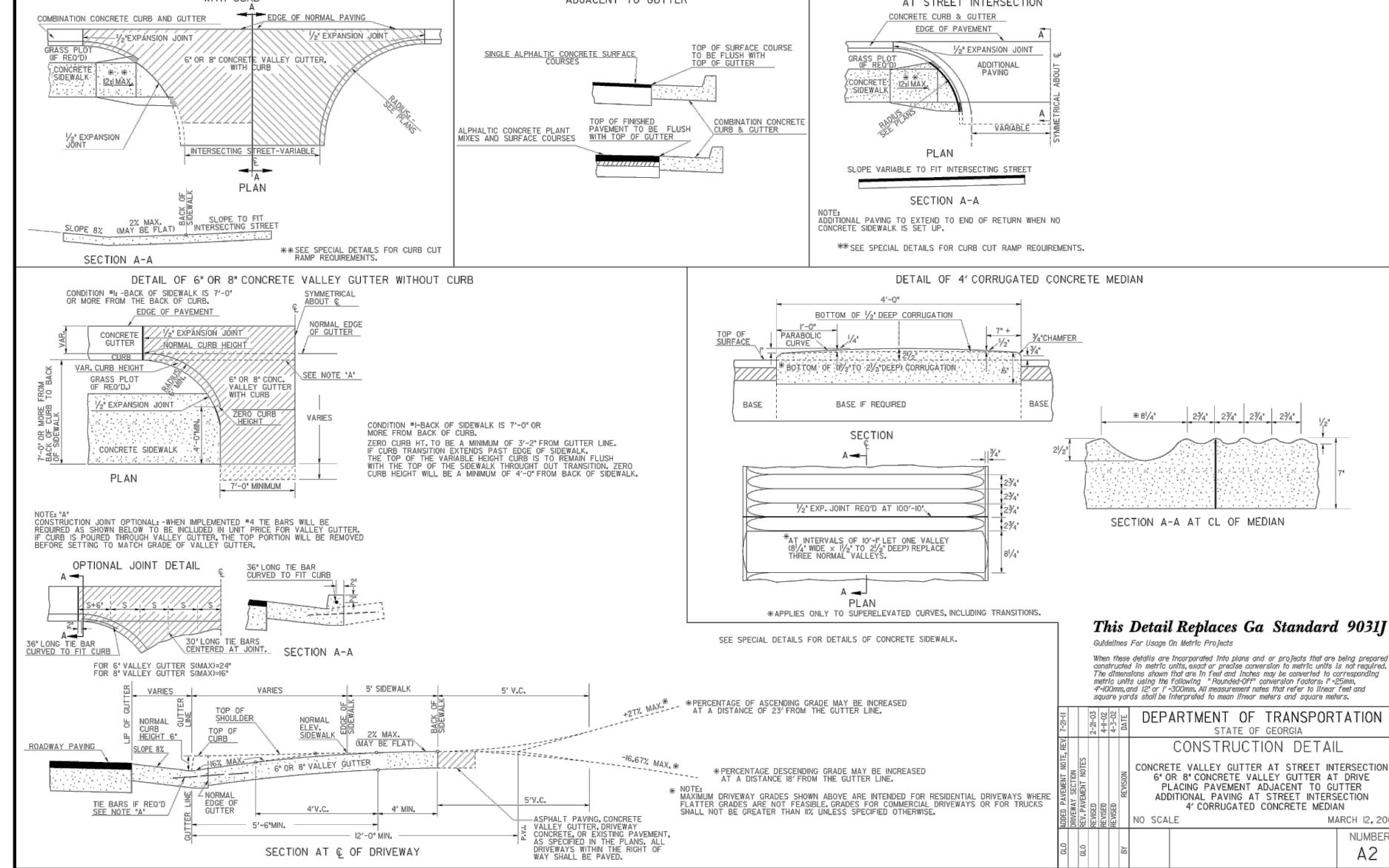
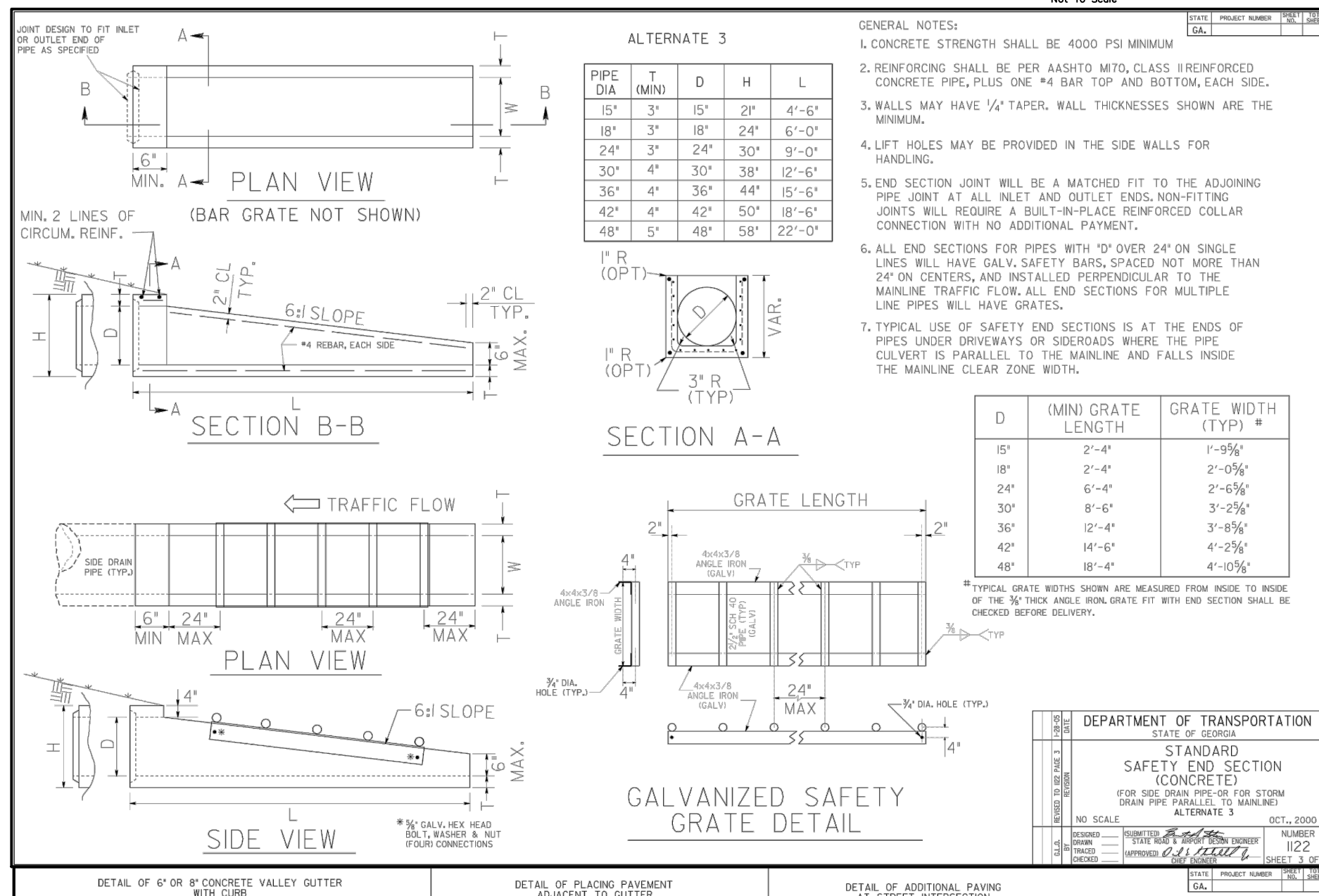
24 HOUR CONTACT
SHAWN BAKHTIARNEGAD
404-482-5583



Know what's below.
Call before you dig.



Vicinity Map



REVISIONS

04-01-22

11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 3006
678-560-4161



GSWCC LEVEL II CERTIFICATION
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DATE 11-19-21

PROJECT NO.
21537

DRAWN BY
JDR

SCALE 1"=20'

DRAWING TITLE

GDOT
RESIDENTIAL
DRIVEWAY
PLAN

VEGETATIVE MEASURES

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Centipede	Perennate	P, C	Warm Weather
St. Augustine	Common Biscayne Palm	C	Warm Weather
Zoysia	Common Myer	P, C	Warm Weather
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Re-sod areas where an adequate stand of sod is not obtained. New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified (See Figure 6-8.2).
Apply one ton of agricultural lime as indicated by soil test or every 4-6 years. Fertilize grasses in accordance with soil tests or Table 6-8.3.

Types of Species	Planting Year	Fertilizer (lb./A.C.)	Rate (lb./1000 sq. ft.)	Nitrogen Top Dressing Rate (lb./A.C.)
Cool season grasses	First Maintenance	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 30
Warm season grasses	First Maintenance	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 30

DS4 SODDING

Use seed Fertilizer:
Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of (16-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before and preparation and incorporated with a disk, ripper or chisel.

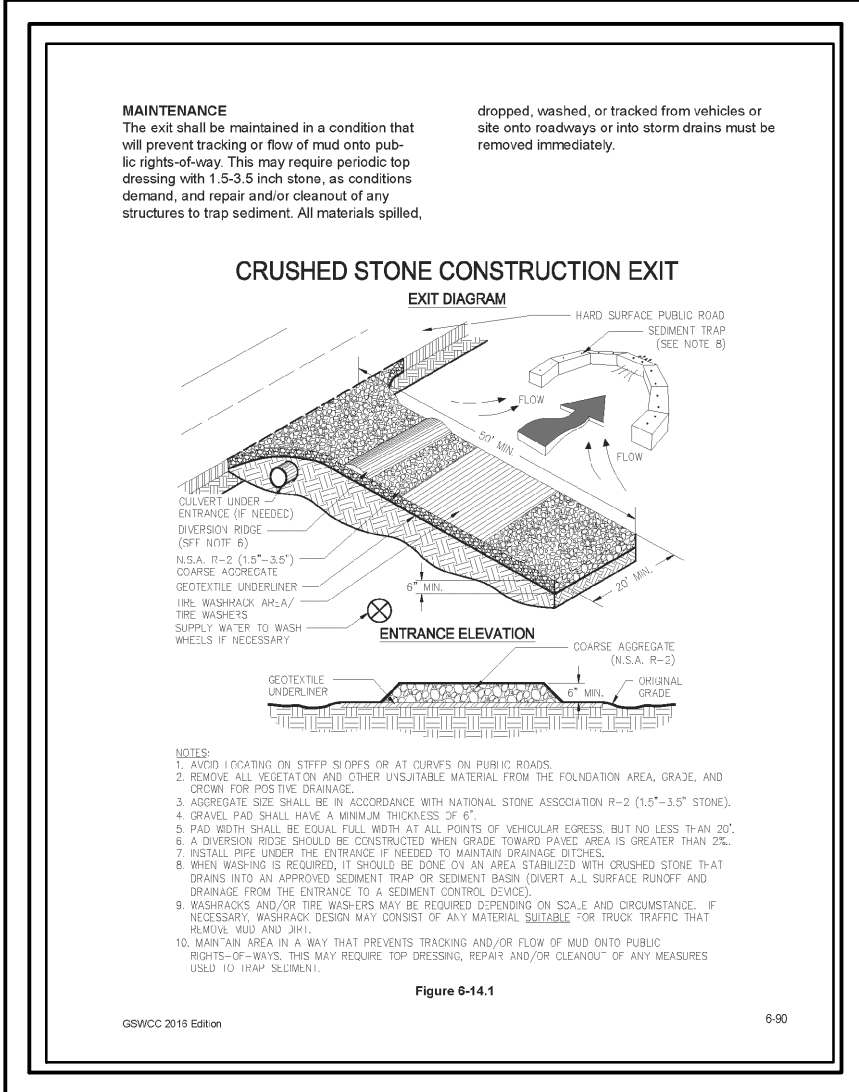
Seeding:
Select a grain or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, mulch/seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or mulch/seeder seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is two times the seed diameter. Sod should be "raked" lightly to cover seed with soil or sod by hand.

Mulching:
Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

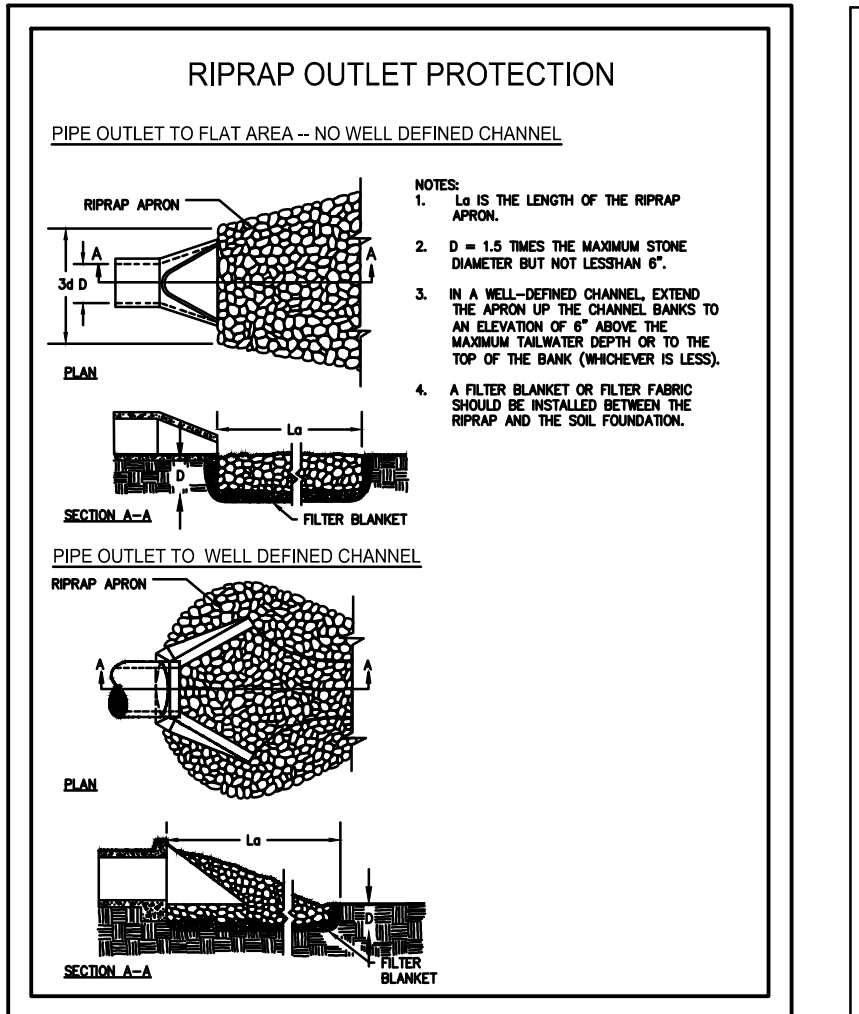
TEMPORARY

Mulching
Mulch is required for all permanent vegetation applications. Mulch applied to seeded areas shall achieve 75% and cover. Select the mulching material from the following and apply as indicated:
1. Dry straw or dry hay of good quality and free of weed seeds can be used. Dry straw shall be applied at the rate of 2 tons per acre. Dry hay shall be applied at a rate of 1.5 tons per acre.
2. Wood cellulose mulch or wood pulp fiber shall be used with hydraulic seeding. It shall be applied at the rate of 500 pounds per acre. Drystraw or dry hay shall be applied at the rate indicated above after hydraulic seeding.
3. One thousand pounds of wood cellulose or wood pulp fiber, which includes a fertilizer, shall be used with hydraulic seeding on slopes 3:4 or steeper.
4. Grasses/legumes hay containing mature seed shall be applied at a rate of three tons per acre.
5. Fine straw or pine bark shall be applied at a thickness of 3 inches for bedding purposes. Other suitable materials in sufficient quantity may be used where permanent or other ground covers are planned. This is not appropriate for seeded areas.
6. When using temporary erosion control blankets or black seed, mulch is not required.
7. Bituminous treated roving may be applied on planned areas on slopes, in ditches or dry washways to prevent erosion. Bituminous treated roving shall be applied within 24 hours after an area has been planned. Application rates and materials must meet Georgia Department of Transportation specifications.
Wood cellulose and wood pulp fibers shall not contain germination or growth inhibiting factors. They shall be evenly dispersed when applied to water. The fibers shall contain a dye to allow visual metering and aid in uniform application during seeding.
Applying Mulch:
Straw or hay mulch will be spread uniformly within 24 hours after seeding and/or planting. The mulch may be spread by blow-type spreading equipment, other spreading equipment or by hand. Mulch shall be applied to cover 75% of the soil surface.
Wood cellulose or wood fiber mulch shall be applied uniformly with hydraulic seeding equipment.

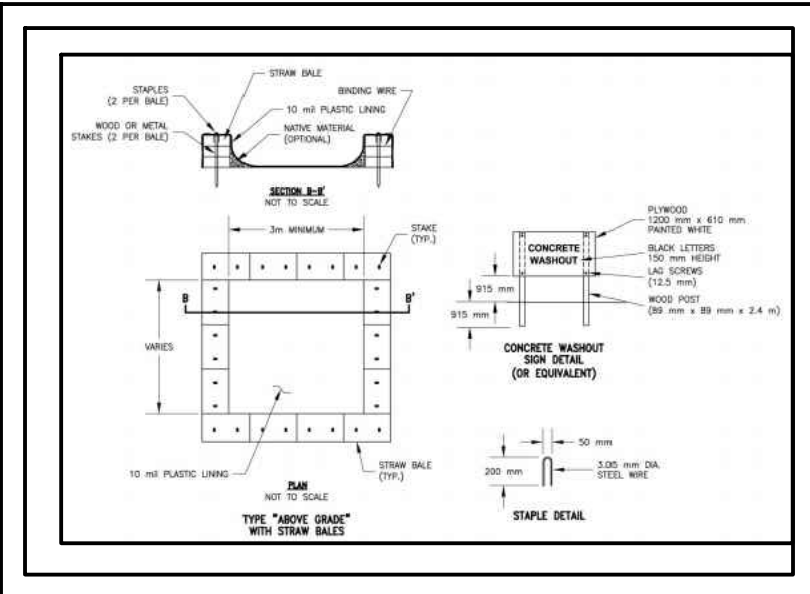
PERMANENT



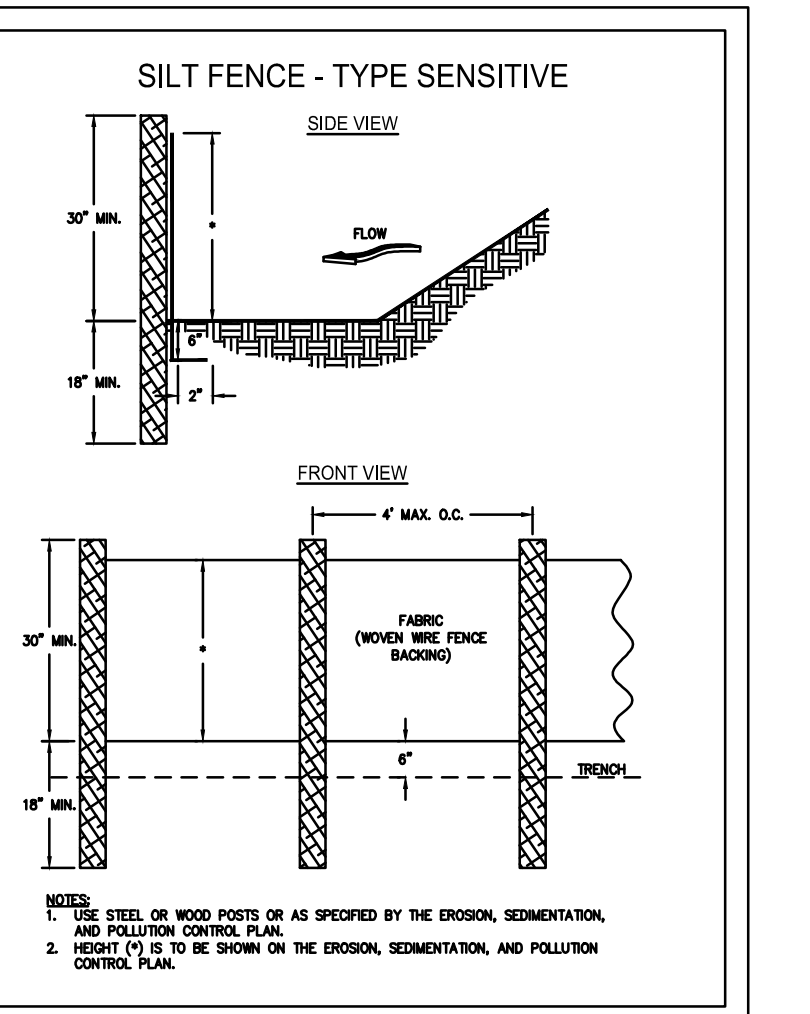
Co CONSTRUCTION EXIT



St OUTLET PROTECTION (RIPRAP)



CONCRETE WASHDOWN AREA



Sd1 SEDIMENT BARRIER-(SILT FENCE - SENSITIVE OR TYPE "C")

Species	Broadcast Rates 2' - PLS 3' Per Acre	Resource Area 4'	Planting Dates by Resource Areas	Remarks
MILLET, PEARL (Pennisetum glaucum) alone	50 lbs. 1.1 lb	M-L P C	J F M A M J J A S O N D	88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
OATS (Avena sativa) alone in mixtures	4 bu. (128 lbs.) 1 bu. (32 lbs.) 0.7 lb	M-L P C	J F M A M J J A S O N D	13,000 seed per pound. Use on productive soils. Not as winterhardy as ryegrass or barley.
RYE (Secale cereale) alone in mixtures	3 bu. (168 lbs.) 1/2 bu. (28 lbs.) 0.6 lb	M-L P C	J F M A M J J A S O N D	18,000 seed per pound. Quick cover. Drought tolerant and winterhardy.
RYEGRASS, ANNUAL (Lolium temulentum) alone	40 lbs. 0.9 lb	M-L P C	J F M A M J J A S O N D	227,000 seed per pound. Dense cover. Very competitive and is not to be used in mixtures.
SUDANGRASS (Sorghum sudanese) alone	60 lbs. 1.4 lb	M-L P C	J F M A M J J A S O N D	55,000 seed per pound. Good on droughty sites. Not recommended for mixtures.

DS2 TEMPORARY SEEDING

Species	Broadcast Rates 1' - PLS 2' Per Acre	Resource Area 3'	Planting Dates by Resource Areas	Remarks
BAHIA, PENSACOLA (Paspalum notatum) alone or with temporary cover	60 lbs. 1.4 lb. 30 lbs. 0.7 lb.	P C	J F M A M J J A S O N D	166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread into bermuda pastures and lawns. Mix with Serotia repens or weeping lovegrass.
BAHIA, WILMINGTON (Paspalum notatum) alone or with temporary cover	60 lbs. 1.4 lb. 30 lbs. 0.7 lb.	M-L P	J F M A M J J A S O N D	Same as above.
BERMUDA, COMMON (Cynodon dactylon) Filled seed alone with other perennials	10 lbs. 0.2 lb. 6 lbs. 0.1 lb.	P C	J F M A M J J A S O N D	1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.

DS3 PERMANENT SEEDING

REVISIONS
11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30068-0017
678-560-4161

GEORGIA
REGISTERED
ENGINEER
MICHAEL D. RITCHIE
No. 19740
Professional Seal

CSMCC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNAGAD
4611 MEDLOCK BRIDGE
PEACH TREE CORNERS, GA
404-482-5583

PROJECT TITLE

SINGLE FAMILY RESIDENTIAL LOT
4611 MEDLOCK BRIDGE RD
PEACH TREE CORNERS
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

DATE 12-01-21

PROJECT NO. 21537

DRAWN BY JDR

SCALE 1"=30'

DRAWING TITLE
EROSION CONTROL DETAILS

C5

LEGEND

EXISTING

DESCRIPTION

PROPOSED

WV

WM

GV

GM

PP

LP

POLE

FH

DI

CB

STORM SEWER LINE

SAN. SEWER MH

SAN. SEWER LINE

WATER LINE

GAS LINE

POWER LINE

SEWER CLEANOUT

BENCHMARK

SPOT ELEVATION

CONTOUR LINE

DRAINAGE ARROW

HANDICAPPED SPACE

TRAFFIC DIRECTION

EDGE OF PAVEMENT

CONCRETE CURB AND GUTTER

CONCRETE HEADER CURB

WV

WM

GV

GM

PP

LP

POLE

FH

DI

CB

STORM SEWER MH

SAN. SEWER LINE

WATER LINE

GAS LINE

POWER LINE

SEWER CLEANOUT

BENCHMARK

SPOT ELEVATION

CONTOUR LINE

DRAINAGE ARROW

HANDICAPPED SPACE

TRAFFIC DIRECTION

EDGE OF PAVEMENT

CONCRETE CURB AND GUTTER

CONCRETE HEADER CURB

OWNER
SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR
BETTERTON SURVEYING & DESIGN, INC.
950 WEST SANDTOWN ROAD
MARIETTA, GEORGIA 30064
678-483-0242

ARCHITECT
MIMAR ARCHITECTURE & DESIGN, INC.
135 MANSELL PL., SUITE 304
ROSWELL, GA 30076
770-993-0200

CIVIL ENGINEER
SDG ENGINEERING
PO BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161

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GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

24 HOUR CONTACT
SHAWN BAKHTIARNEGAD
404-482-5583

811

Know what's below.
Call before you dig.

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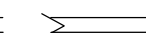
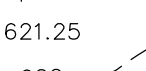
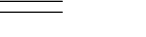
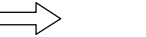
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LEGEND

EXISTING	DESCRIPTION	PROPOSED
 WV	WATER VALVE	 WV
 WM	WATER METER	 WM
 GV	GAS VALVE	 GV
 GM	GAS METER	 GM
 PP	POWER POLE	 PP
 LP	LIGHT POLE	 LP
 POLE	POLE (SEE PLAN)	 POLE
	TRAFFIC SIGNAL	
 FH	FIRE HYDRANT	 FH
 DI	DROP INLET	 DI
 CB	CATCH BASIN	 CB
	STORM SEWER LINE	
	STORM SEWER MH	
	SAN. SEWER MH	
	SAN. SEWER LINE	
	WATER LINE	
	GAS LINE	
	POWER LINE	
 S — CO	SEWER CLEANOUT	 S — CO
	BENCHMARK	
+ 621.25 	SPOT ELEVATION	+ 621.25 
	CONTOUR LINE	 622
	DRAINAGE ARROW	
	HANDICAPPED SPACE	
	TRAFFIC DIRECTION	
	EDGE OF PAVEMENT	
	CONCRETE CURB AND GUTTER	
	CONCRETE HEADER CURB	

OWNER
SHAWN BAKHTIARNEGAD
4611 MEDLOCK BRIDGE RD
PEACHTREE CORNERS, GA
404-482-5583

SURVEYOR

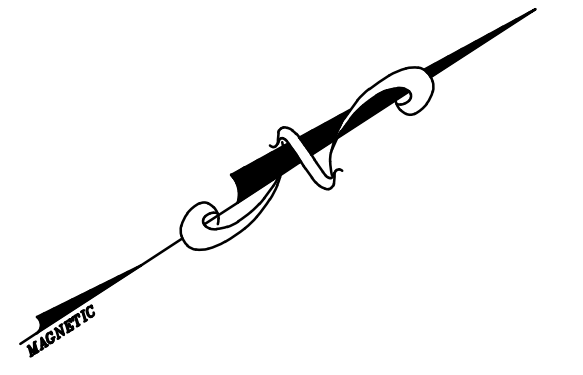
BETTERTON SURVEYING & DESIGN, INC.
950 WEST SANDTOWN ROAD
MARIETTA, GEORGIA 30064
678-483-0242

ARCHITECT

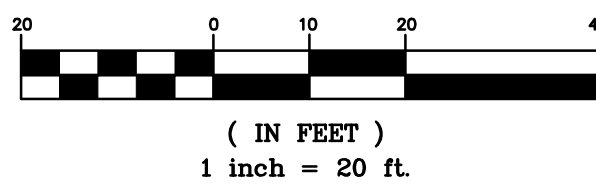
MIMAR ARCHITECTURE & DESIGN, INC.
135 MANSELL PL., SUITE 304
ROSWELL, GA 30076
770-993-0200

CIVIL ENGINEER

SDG ENGINEERING
PO BOX 680963
MARIETTA, GEORGIA 30068
678-560-4161



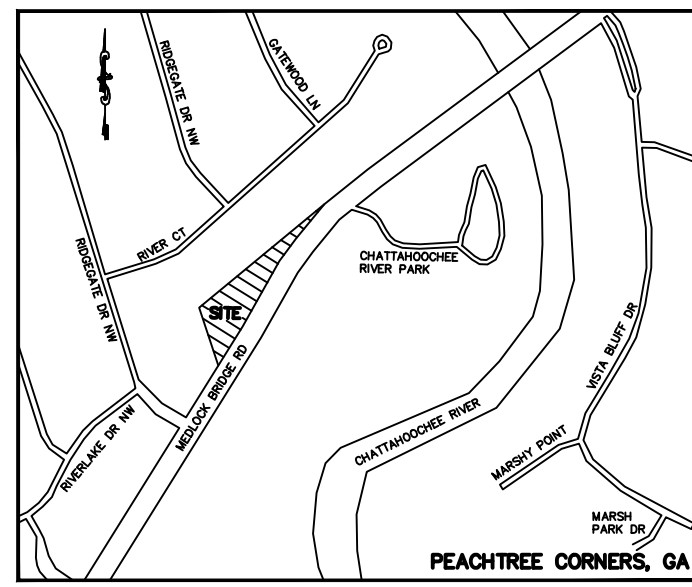
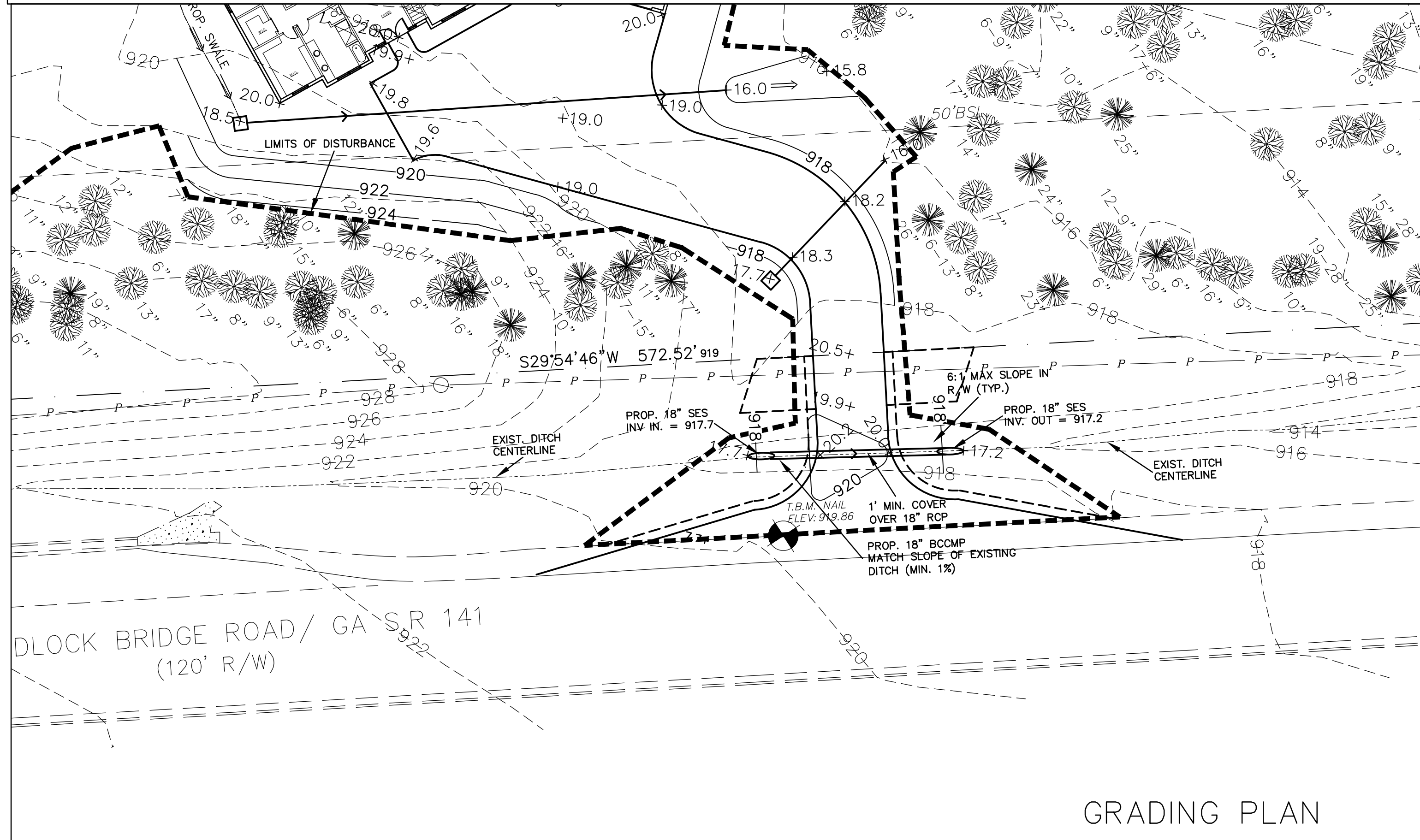
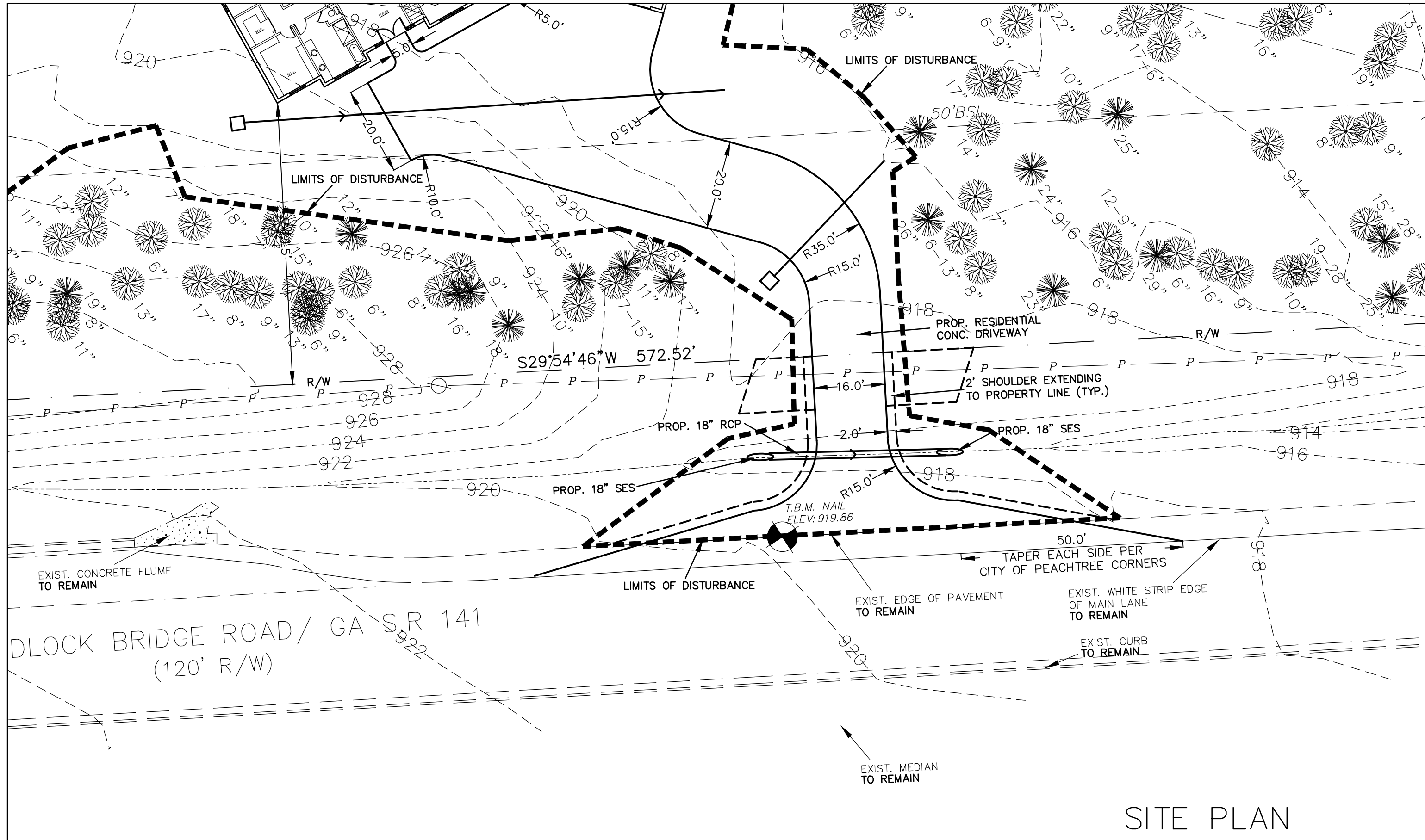
GRAPHIC SCALE



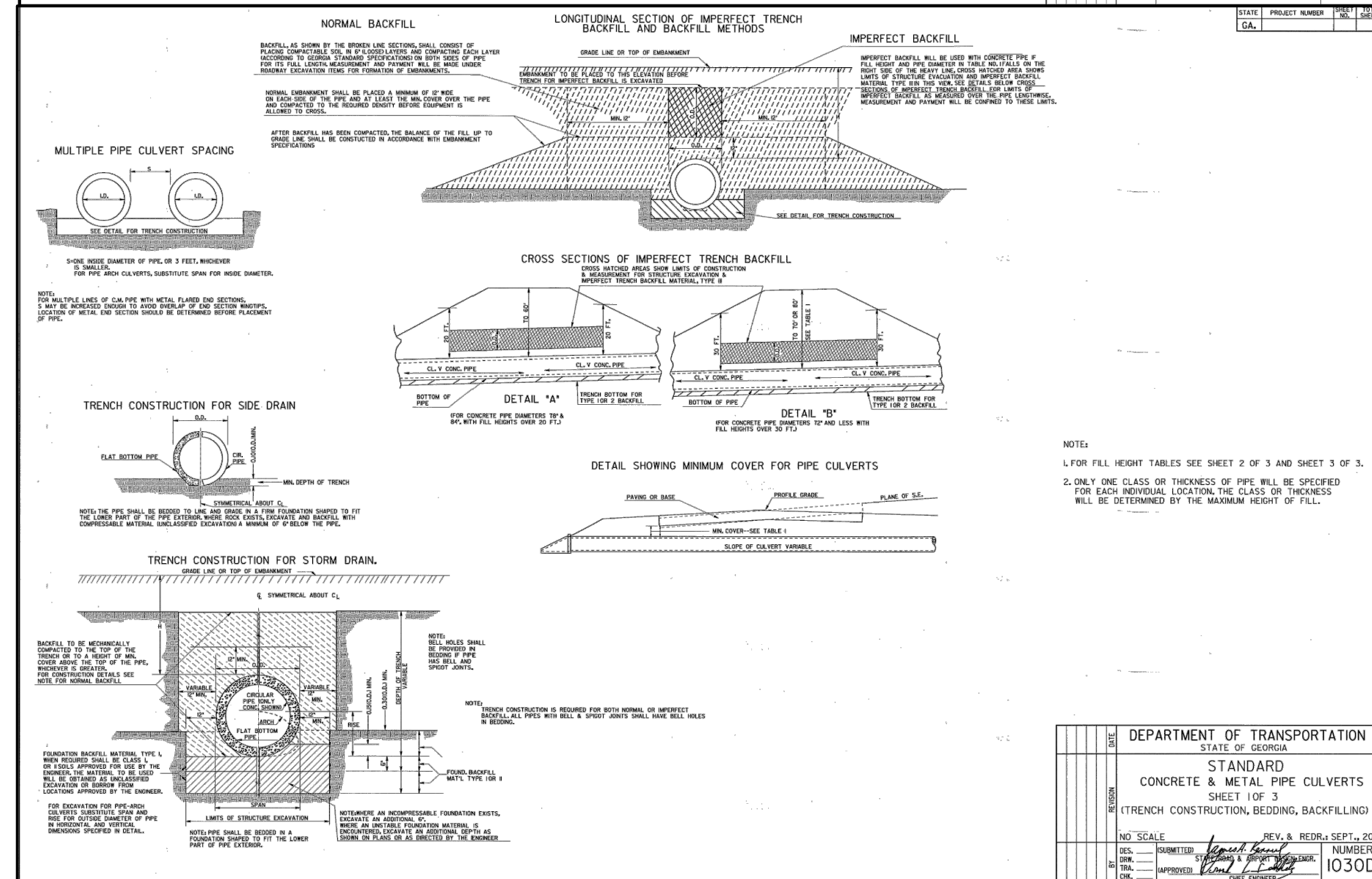
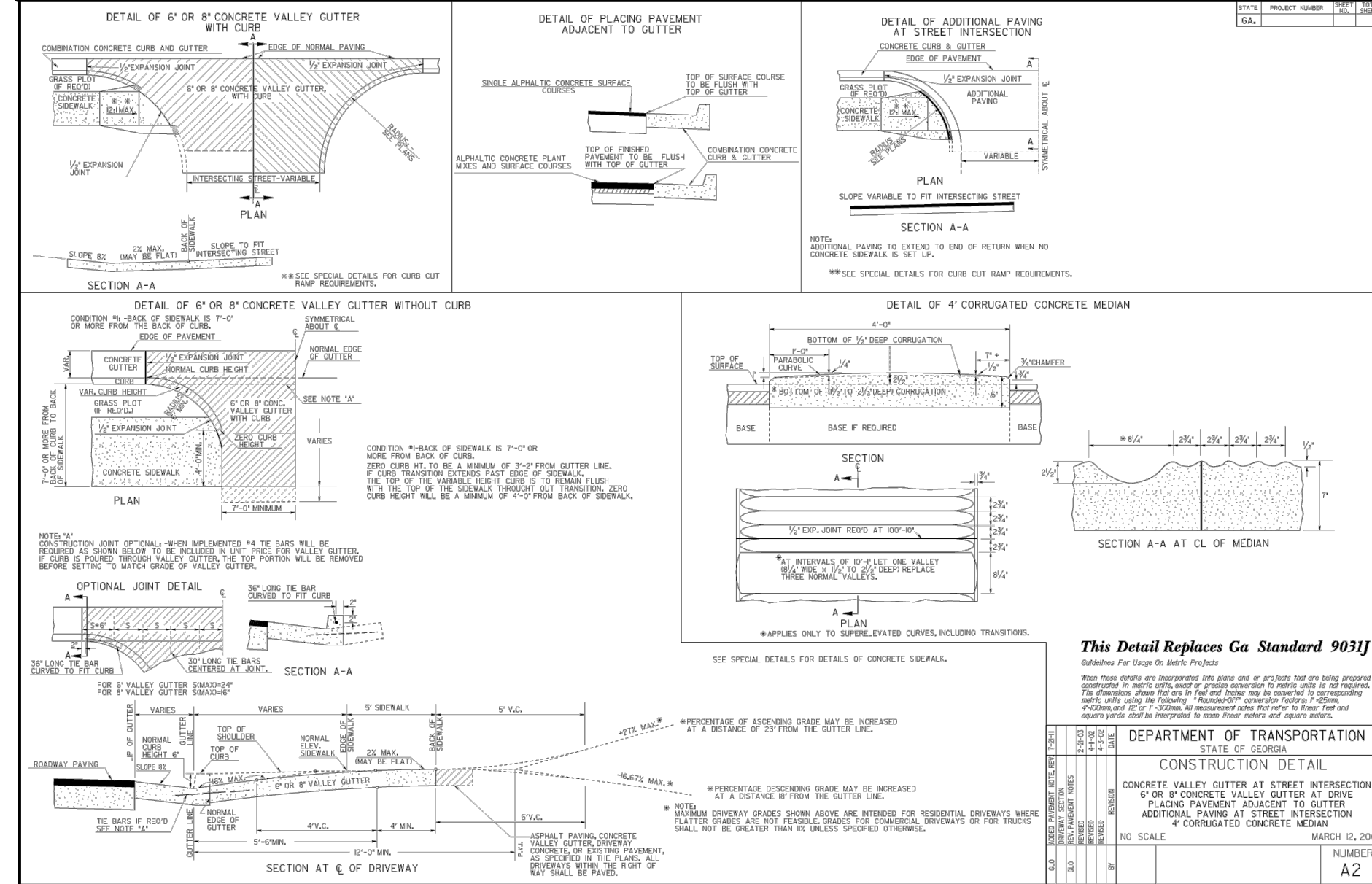
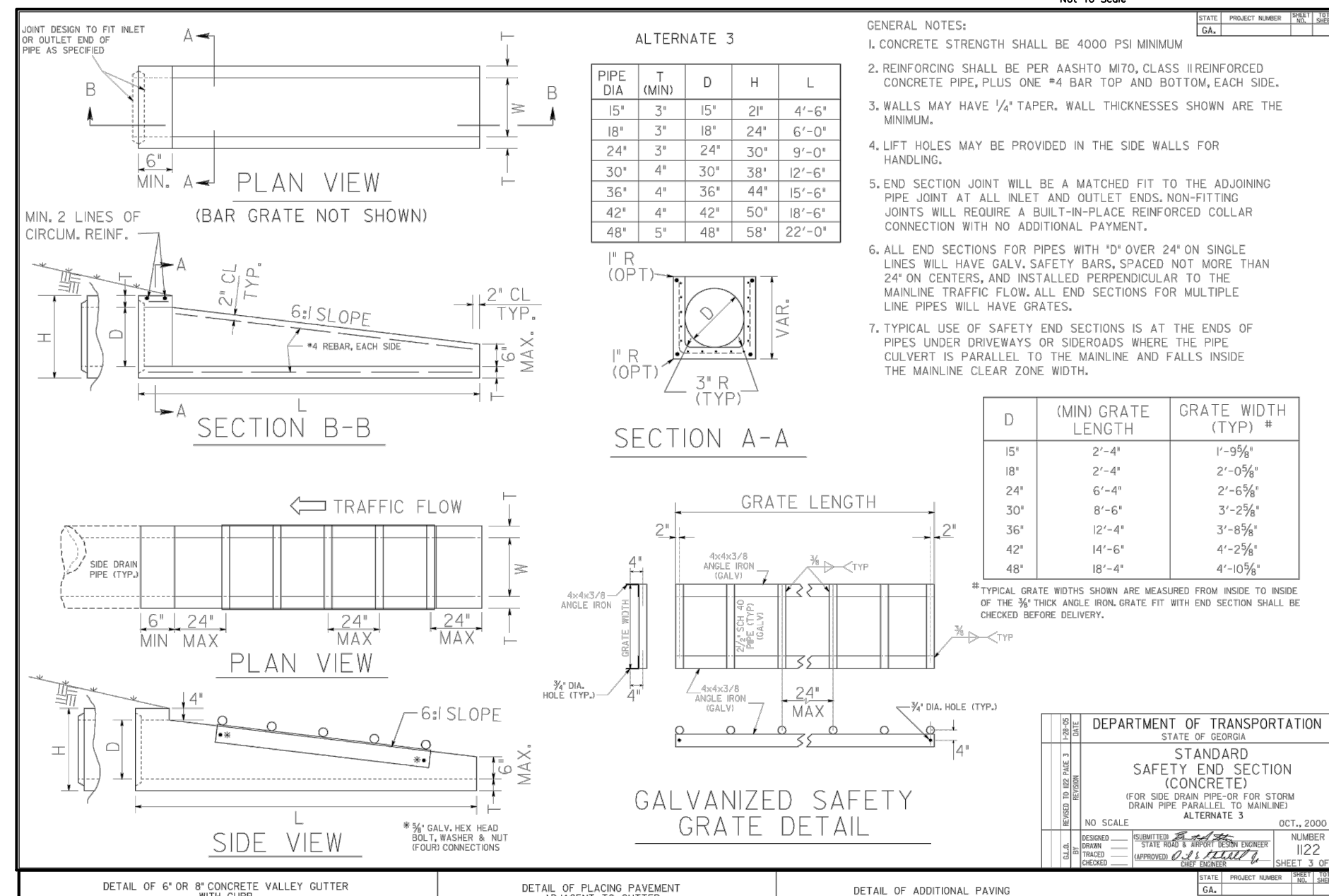
24 HOUR CONTACT
HAWN BAKHTIARNEGAD
404-482-5583



Know what's **below**.
Call before you dig.



Vicinity Map

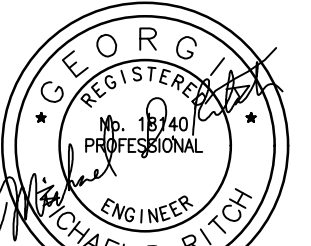


REVISIONS

04-01-22

11-30-22

SDG ENGINEERING
P.O. BOX 680963
MARIETTA, GEORGIA 30066
678-560-4161



GSWCC LEVEL II CERTIFICATION
NO. 03427

CLIENT NAME

SHAWN BAKHTIARNAGAD
4611 MEDLOCK BRIDGE
PEACHTREE CORNERS, GA
404-482-5583

PROJECT TITLE

PEACHTREE CORNERS
4611 MEDLOCK BRIDGE RD
LL 319, 5TH DIST., 2ND SECT.
GWINNETT COUNTY, GA
PARCEL # R6319 045

11-19-21

ECT NO.
21537

IN BY
JDR

E
1"=20'

GDOT
RESIDENTIAL
DRIVEWAY
PLAN