

DATE: DECEMBER 14, 2022

TO: Dr. Romona Jackson Jones, Chairperson, Douglas County
ATTN TO: Allison Duncan, Planning and Zoning Manager, Douglas County
FROM: Mike Alexander, Director, ARC Center for Livable Communities

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: RC-22-03DC 4275 Highway 166

Description: A MRPA review of a proposal to construct a new single-family house - including a driveway, garage, pool, deck, and cabana - on an approximately 10-acre site at 4275 Highway 166 in Douglas County. All of the site falls within the Chattahoochee River Corridor. Proposed land disturbance areas and impervious areas are within the allowed limits.

Preliminary Finding: ARC staff have begun a review of an application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: Douglas County

Land Lot: **District:** 0 **Section:**

Date Opened: December 14, 2022

Deadline for Comments: December 27, 2022

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
CITY OF DOUGLASVILLE

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF CHATTAHOOCHEE HILLS

CHATTAHOOCHEE RIVERKEEPER
CITY OF SOUTH FULTON
FULTON COUNTY

For questions, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before 2022-12-27 00:00:00, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** DOUGLAS COUNTY

2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Morris Johnson
Mailing Address: 4275 HWY 166
City: DOUGLASVILLE **State:** GA **Zip:** 30135
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-824-2015 **Fax:** _____
Other Numbers: _____

3. **Applicant(s) or Applicant's Agent(s):**
Name(s): CHRISTOPHER WHITE, PE (AGENT)
Mailing Address: 6 COVERED BRIDGE RD
City: BREMEN **State:** GA **Zip:** 30110
Contact Phone Numbers (w/Area Code):
Daytime Phone: 678-988-3078 **Fax:** _____
Other Numbers: _____

4. **Proposed Land or Water Use:**
Name of Development: Morris Johnson PRIVATE RESIDENCE
Description of Proposed Use: SINGLE FAMILY DWELLING

5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: LAND LOTS 65, 66, 67 1ST DISTRICT, 5TH SECTION
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Size of Development (Use as Applicable):

Acres:	Inside Corridor:	<u>10.16 ACRES</u>
	Outside Corridor:	<u>0 ACRES</u>
	Total:	<u>10.16 ACRES</u>
Lots:	Inside Corridor:	<u>1</u>
	Outside Corridor:	<u>0</u>
	Total:	<u>1</u>
Units:	Inside Corridor:	_____
	Outside Corridor:	_____
	Total:	_____

Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank SEPTIC SYSTEM

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u>
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	<u>3.58 ACRES</u>	<u>2.50 ACRES</u>	<u>1.61 ACRES</u>	(70) <u>70.00</u>	(45) <u>45.00</u>
D	<u>2.67 ACRES</u>	<u>1.33 ACRES</u>	<u>0.80 ACRE</u>	(50) <u>50.00</u>	(30) <u>30.00</u>
E	<u>2.55 ACRES</u>	<u>0.76 ACRE</u>	<u>0.38 ACRE</u>	(30) <u>30.00</u>	(15) <u>15.00</u>
F	<u>1.36 ACRES</u>	<u>0.136 ACRE</u>	<u>0.027 ACRE</u>	(10) <u>10.00</u>	(2) <u>2.00</u>
Total:	<u>10.16 ACRES</u>	<u>4.726 ACRES</u>	<u>2.817 ACRES</u>	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? YES

If "yes", indicate the 100-year floodplain elevation: 745.3

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? ~~NO~~ YES

If "yes", indicate the 500-year flood plain elevation: N/A APPROX. 746 *ms 01/28/22*

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction. *ms (11/28/22)*

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

X Existing vegetation plan. Description of existing vegetation on site is provided on MRPA plan sheet

X Proposed grading plan.

NA Certified as-builts of all existing land disturbance and impervious surfaces.

X Approved erosion control plan.

X Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ **Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.**

☒ **Documentation on adjustments, if any.**

☒ **Cashier's check or money order (for application fee).**

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ **Site plan.**


☒ **Land-disturbance plan.**

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ **Concept plan.**


☐ **Lot-by-lot and non-lot allocation tables.**

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)




Signature(s) of Owner(s) of Record Date 9/26/2022

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:



Signature(s) of Applicant(s) or Agent(s) Date 9/26/2022

14. The governing authority of Douglas County, GA requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.



Signature of Chief Elected Official or Official's Designee Date 9/26/22

Metropolitan River Protection Act

Reevaluation Request Form

Date: 9/19/2022 4275 HWY 166,
Property Address (or other identifying information): DOUGLASVILLE, GA 30135

Applicant: MORRIS JOHNSON

Applicant Phone Number: 404-276-5971

Applicant Email: MJOHNSON866@GMAIL.COM

Fee for Reevaluation: 680.00 (FULL PAYMENT FOR APPLICATION FEE AND RE-EVALUATION AT SAME TIME)

Method of Payment: CHECK

Date of Reevaluation Completion: _____

Expiration for Application Fee Reduction: 9/19/2025

Note: This reevaluation does not constitute a Metropolitan River Protection Act (MRPA) review. If a full MRPA review application is submitted for a property that had a reevaluation performed within the last three years (per the expiration date above), the reevaluation fee will be applied to the application fee. After three years, the full application fee will be owed.

Disclaimer:

Changes in vulnerability categories are based on documented data and reductions in vulnerability are not guaranteed. All existing land disturbance and impervious surface will be counted towards the allocations allowed in each category. Any land disturbance or impervious surface issues identified on the reevaluated property will need to be addressed before new development is considered. Land that is below the current FEMA 100-year flood elevation of the Chattahoochee River cannot be reevaluated and is classified as E category land. Any changes in the FEMA 100-year River floodplain that occur between the time the reevaluation is completed and the time of the MRPA review application submission must be shown on the submitted plans and any affected categories must be revised and the affected category areas must be recalculated accordingly.

STAND ALONE ES&PC PLAN FOR:

MORRIS JOHNSON-SINGLE FAMILY

LAND LOT 65,66,67 1st DISTRICT, 5th SECTION, DOUGLAS COUNTY, GEORGIA
4275 HWY 166, DOUGLASVILLE, GA

SHEET INDEX

REVISION No.

C-101

COVER SHEET

C-201

EROSION CONTROL PLAN

C-301

EROSION CONTROL NOTES

C-302

EROSION CONTROL DETAILS

C-401

MRPA VULNERABILITY MAP

Sep 22, 2022

CHRISTOPHER S. WHITE, P.E.
CIVIL ENGINEERING SERVICES
6 COVERED BRIDGE RD. BRANCH, GA 30110
404-276-5971
CHRISWHITEENGINEERING@GMAIL.COM



GASVCC LEVEL II
CERTIFICATION #68071
EXPIRATION DATE: 07/03/2025

OWNER/DEVELOPER

PRIMARY PERMITEE

24 HOUR CONTACT:
Morris Johnson
4275 HWY 166
DOUGLASVILLE, GA 30135
PHONE: 404-276-5971
mjohnson856@gmail.com

Stand Alone ES&PC Plan for
Morris Johnson

LAND LOTS 65,66,67 1st DISTRICT, 5th SECTION,
DOUGLAS COUNTY, GEORGIA
4275 HWY 166, Douglasville, GA 30135

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Description:
Date:
Issue:
Rev (1):
Rev (2):
Rev (3):
Rev (4):
Rev (5):
Rev (6):

Designed by CSW
Checked by CSW
Project # 4275HWY166

COVER

C-101

DOUGLAS COUNTY WSA NOTES:

- Stormwater management structures on private property must be maintained by the property owner. All subsequent owners must be informed of operations and maintenance requirements. Failure to maintain stormwater infrastructure may result in enforcement action. Changes and modifications to stormwater infrastructure (public and private) must be approved by the Douglasville – Douglas County Water and Sewer Authority.
- Downstream impacts of development are the responsibility of the Owner. Development may not cause downstream impacts such as increased flood hazard, erosion of off-site soils and stream channels, or impairment of water quality of receiving waters.
- Approval is based on information supplied on these drawings. If unknown conditions are encountered, or site conditions change, or these plans are otherwise found to be not representative of site conditions, contact the Douglasville – Douglas County Water and Sewer Authority Engineering Department. Design revision and resubmittal may be required.
- Construction, which impacts streams, wetlands, or other environmentally sensitive areas, shall comply with applicable local, state, and federal laws. Plan approval by WSA does not relieve the Owner, Developer, and Contractor of the obligation to apply for and obtain required permits and comply with current regulations.
- Development may not occur in flood prone areas as defined by the Douglasville – Douglas County Water and Sewer Authority. Unauthorized development will be ordered removed and restoration of the site required, both at the expense of the Developer.
- Approval of these plans is based on submitted information regarding extents of soil disturbance, schedule of activities, and proposed measures to control erosion and sediment control. Significant changes to project design or schedule elements must be approved by the Authority.
- Plan approval does not release any party from duty to comply with local, state, and federal law. It is unlawful to increase turbidity in receiving waters more than 25 NTU.
- The Douglasville-Douglas County Water and Sewer Authority requires that every service connected be equipped with a backflow prevention device. Facilities that, in the opinion of the Authority, may potentially introduce hazardous or toxic substances into the water supply will be required to install a reduced pressure assembly that vents to the atmosphere.
- Douglasville-Douglas County WSA approval of these plans does not constitute a guarantee of water or sewerage capacity. Capacity is not allocated until it is purchased through the sale of a water meter.
- Any modifications/changes to an existing or additions to a portion of the water, sewer, or stormwater systems is required to be inspected and or reviewed by WSA (WSA Eng. Dept. Phone # 770-949-7617).
- Plan approval does not release the Owner, Developer, or Contractor from responsibility for environmental damage, property damage, or endangerment of public health. Responsible parties shall mitigate impacts, repair damage, and compensate affected parties as required by local and state law.
- All construction materials shall be in full accordance with current Rules and Regulations and Design Standards and Specifications published by the Douglasville-Douglas County Water and Sewer Authority. It is the responsibility of each Developer and Contractor to familiarize himself with all current WSA rules and standards.
- The Douglasville-Douglas County Water and Sewer Authority will obtain road bore permits and road cut permits at the County and State levels for all approved projects. Road bore/cut work shall not begin until permits are obtained.
- Please notify W.S.A. Engineering Dept. 72 Hours Before Construction at 770-949-7617.

DOUGLAS COUNTY NOTES:

- All construction must conform to Douglas County, Georgia, Standards.
- All drainage easements must be grassed and rip rapped as required to control erosion.
- All building sites shall be a minimum of 3' above high water elevation and/or the 100-year flood elevation.
- All buildings should be a minimum of 40' from an open drainage easement.
- Clearing and grading shall be limited to areas designated as right-of-way and those areas required for storm drainage, detention facilities, and utilities.
- All sidewalks are required to be installed prior to expiration of bonds.
- Projects requiring mass grading will require reports from an independent geotechnical engineer to be submitted to the Development Control Division verifying material type and that proper compaction was achieved.
- Hauling excess cut/fill to and from site requires approval from the Douglas County DOT.
- The topping shall not installed until one (1) year after final plat approval or building construction on 75% of all lots has been completed, whichever comes first.
- Note: **Wetlands Certification:** The design professional whose seal appears herein certifies the following: (1) The National Wetlands Inventory Map has been consulted; (2) the appropriate plan sheet Does indicate wetlands as shown on the map; and (3) if wetlands are indicated the landowner or developer has been advised that land disturbance of protected wetlands shall not occur unless the appropriate Section 404 Permit or Letter of Permission has been obtained."
- Street lights are required to be installed prior to obtaining a Final Plat (for Residential) / Certificate of Occupancy (for Commercial/Industrial)
- Signage Required On-site: **"Attention subcontractors: You must observe Tree Protection Area – No construction or equipment encroachment. You are responsible for damages."**
- It shall be unlawful for any person to engage in or conduct any activity in the construction of any building or structure, the moving of earth, or the laying of any pavement, including, but not limited to, the making of any excavation, clearing or grading of surface land, and loading or unloading material, equipment, or supplies, except between the hours of 7:00 am and 7:00 pm, Monday through Saturday.
- Roadway construction must include installing sidewalks at beginning of road until frontages of lots 127 and 132. Performance bonds cannot be used for these sections of sidewalk.

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CONTRACTOR'S ANTICIPATED ACTIVITY SCHEDULE										
ACTIVITY	MO. 1	MO. 2	MO. 3	MO. 4	MO. 5	MO. 6	MO. 7	MO. 8	MO. 9	
1. INSTALL SEDIMENT CONTROL DEVICES										
2. DEMOLITION, CLEARING AND GRADING										
3. MAINTAIN EROSION CONTROL										
4. GRASS (TEMP.) (PERM.)										
5. FINAL LANDSCAPING										
6. CLEAN UP										
7. SOLID WASTE DISPOSAL										

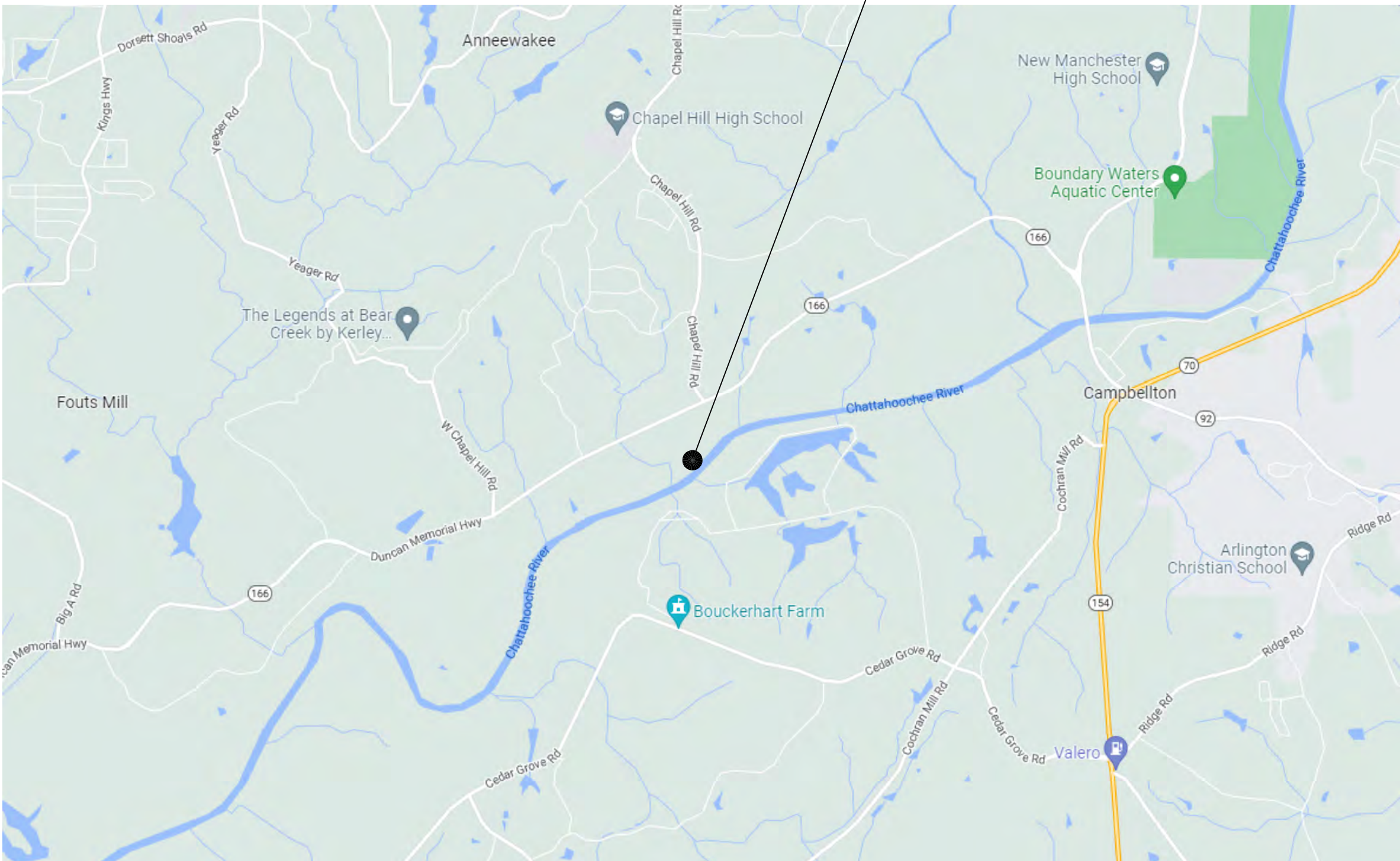
NOTE: EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED. CONSTRUCTION IS ESTIMATED IS COMMENCE DURING THE MONTH OF AUGUST 2022.



NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONFLICTS WITH EXISTING UTILITIES.

NOTE: IF THE CONTRACTOR, IN THE COURSE OF WORK FINDS ANY DISCREPANCY BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNTIL AUTHORIZED, WILL BE AT CONTRACTOR'S RISK.

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LOCATION MAP NTS

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GPS LOCATION OF
CONSTRUCTION EXIT : LATITUDE
33.647760, LONGITUDE -84.717547

6

TOTAL SITE: 10.16 ACRES
TOTAL DISTURBED AREA: 0.88 ACRE

THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE REPRODUCED OR USED FOR THE CONSTRUCTION OF ANOTHER PROJECT WITHOUT SPECIFIC AUTHORIZATION. ALL DIMENSIONS, PROPOSED ITEMS AND EXISTING UTILITIES TO BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE LICENSED PROFESSIONAL OF RECORD IMMEDIATELY IF A DISCREPANCY IS FOUND. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING LIABLE FOR ALL CHANGES.

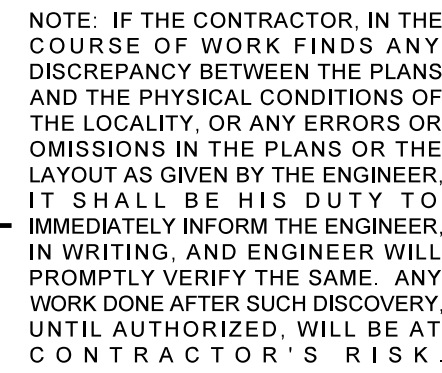
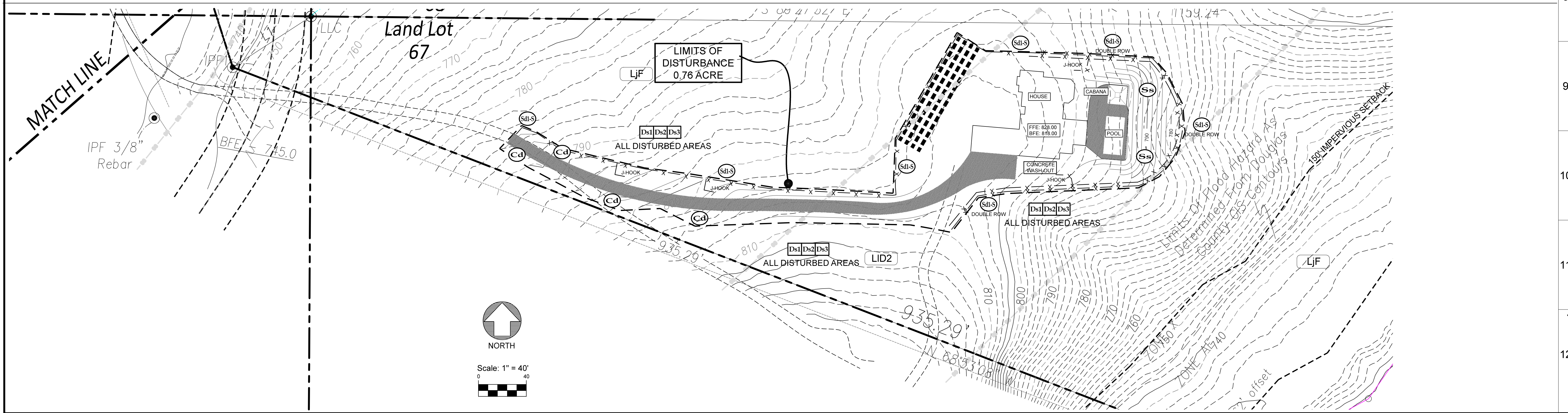
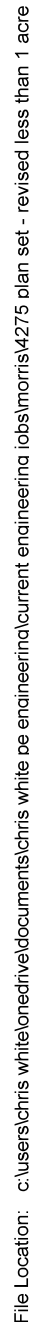


Diagram illustrating the Soil Classification Boundary Line. The diagram shows a horizontal line separating the 'Soil' box (containing 'LID2', 'Cfs', 'LJf') from the 'SOIL CLASSIFICATION' box (containing 'Louisburg complex', 'Chewacla silt loam', 'Louisia fine sandy loam'). The line is labeled 'SOIL CLASSIFICATION BOUNDARY LINE' and 'SOIL CLASSIFICATION'.

MAP SYMBOL	DESCRIPTION	SLOPE
LID2	Louisburg complex	10% to 15% slopes, eroded
Cfs	Chewacla silt loam	0% to 2% slopes, frequently flooded
LJf	Louisia fine sandy loam	25% to 40% slopes

**NOTE: DEVELOPER
SHALL BE RESPONSIBLE
FOR ANY CONFLICTS
WITH EXISTING
UTILITIES.**



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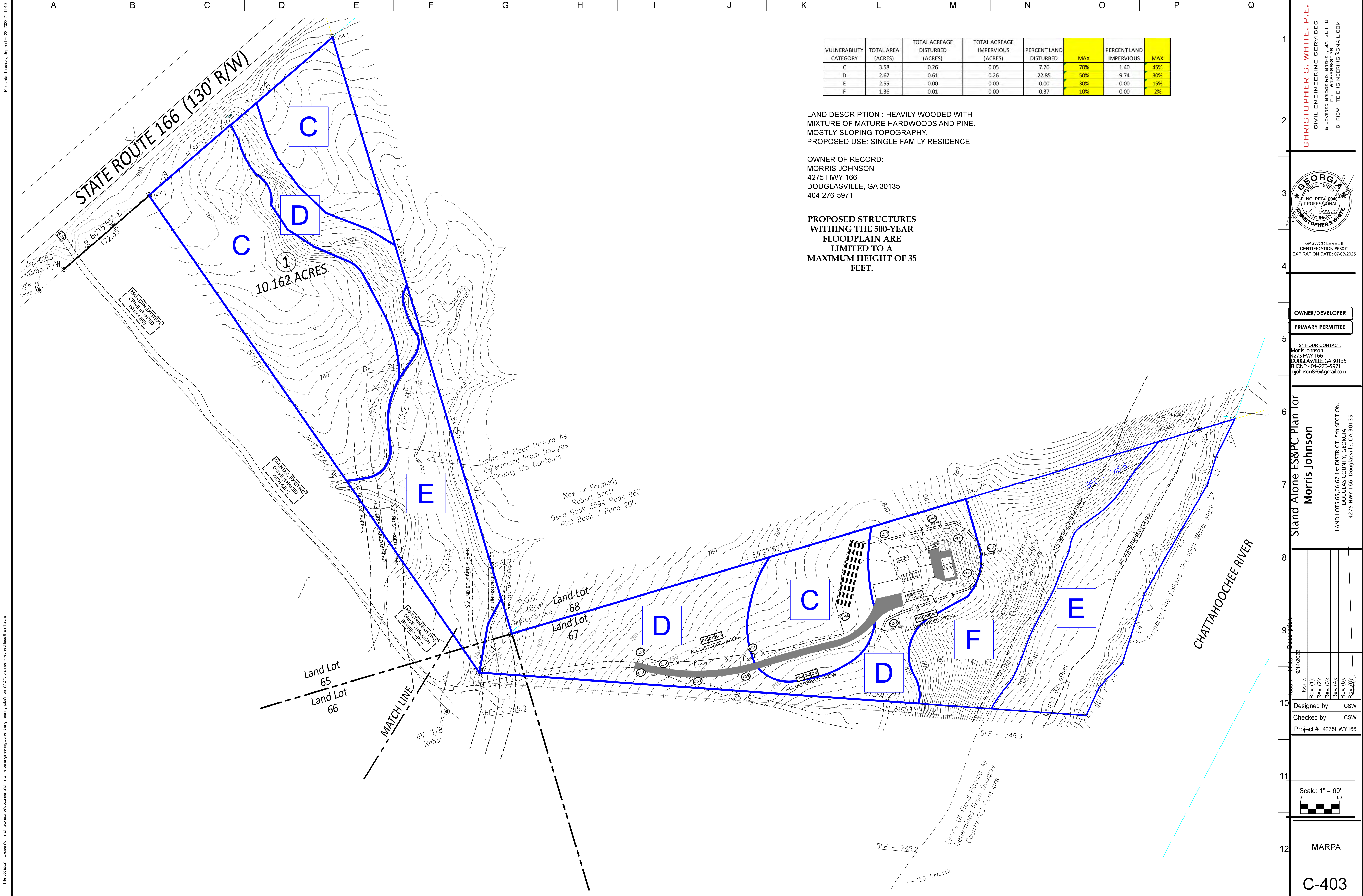
Stand Alone ES&PC Plan for
Morris Johnson

LAND LOTS 65,66,67 1st DISTRICT, 5th SECTION,
DOUGLAS COUNTY, GEORGIA
4275 HWY 166, Douglasville, GA 30135

Issue	Date	Description
Issue	9/14/2022	
Rev. (1)		
Rev. (2)		
Rev. (3)		
Rev. (4)		
Rev. (5)		
Rev. (6)		

EROSION
CONTROL PLA

C-201



CHRISTOPHER S. WHITE, P.E.
CIVIL ENGINEERING SERVICES
6 COVERED BRIDGE RD. BRECKENRIDGE, GA 30110
404-276-5971
CHRISWHITEENGINEERING@GMAIL.COM



GASWCC LEVEL II
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EXPIRATION DATE: 07/03/2025

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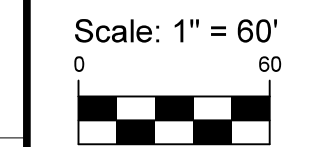
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Rev (1)	9/14/2022	
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Rev (4)		
Rev (5)		
Rev (6)		

Designed by CSW
Checked by CSW
Project # 4275HWY166



MARPA

C-403



COBB & DOUGLAS
PUBLIC HEALTH

APPLICATION FOR CONSTRUCTION PERMIT AND SITE APPROVAL FOR ON-SITE SEWAGE MANAGEMENT SYSTEM

75' Creek Setback

Date 10/12/2022 Amount Paid \$ _____ DHD # OSC-048-02441 Received By _____
Invoice # 890339 Authorization # _____ Check # _____ ☐ Cash ☐ MC ☐ Visa ☐ Discover

Street Address 4275 Hwy 166 City Douglasville Zip 30135
Subdivision Name _____ Lot _____ Phase _____ Land Lot _____ District _____ Section _____

I hereby apply for a construction permit to install an on-site sewage management system and agree that the system will be installed to conform to the requirements of the Rules of the Georgia Department of Public Health, Chapter 290-5-26. I understand that a final inspection is required. I will notify Cobb & Douglas Public Health upon completion of construction and before applying the final cover.

Property Owner's Name Morris Johnson Phone 404-276-5971
Owner's Address 3645 Marketplace Blvd, Suite 130-600, East Point, GA 30344
Owner's Email mjohnson866@gmail.com Applicant's Email mjohnson866@gmail.com
Permit Applicant's Name Morris Johnson Phone 404-276-5971
Applicant's Address 3645 Marketplace Blvd, Suite 130-600, East Point, GA 30344
Facility Type ☒ Single Family Other _____ # Bedrooms 4 # Gallons / Day _____
Water Supply ☒ Public ☐ Community ☐ Individual ☒ Well Located required distance from possible pollution source? ☒ Yes ☐ No
Lot Size Front _____ ft. Back _____ ft. Right Side _____ ft. Left Side _____ ft. Square ft. (or acres) 10.162
House Design ☐ Ground Level ☐ Split Level ☒ With Basement Garbage Disposal ☐ Yes ☒ No Plumbing Outlet Level ☐ Ground Level ☐ Split Level ☒ Basement
I certify that the location of this house, septic tank and drain field meets local codes and the Department of Natural Resources, EPD, Chapter 391-3-16-.01 for water supply, water sheds.
Owner / Agent Signature _____ Date 10/12/2022

OFFICE USE ONLY
Soil Conditions (Absorption Field) Percolation Rate 50 Min / in Water Table Depth > 72 in Suitable Soil Type Pacolet
Loading Rate _____ Gal / sq ft Depth to Rock > 72 in
Sewage Disposal ☐ Conventional ☒ High Capacity ☐ Alternative _____
Total Capacity Septic Tank 1000 Gals Dosing Tank _____ Gals ATU Tank _____ Gals Grease Trap _____ Gals
Layout Method ☐ Distribution Box ☒ Serial Field ☐ Level Field ☐ Other _____
Absorption Field Area Primary LF 271 Trench Depth (inches) 24-36 Site Approved ☐ Yes ☐ No
Reserve LF 416 Trench Width ☒ Chamber 36" ☐ Polystyrene 30" ☐ Other _____

Special Conditions:
*Keep well 100' or more from proposed septic areas.
Install in area shown on plans.
Follow Natural on-site contours.
Any modifications or additions to this plan must be approved thru this office.

A permit is hereby granted to install or construct the on-site sewage management system described above.
This permit is not valid unless properly signed below, and expires twelve (12) months from the issue date.
Issuance of a construction permit for an on-site sewage management system, and subsequent approval of same by representatives of the Georgia Department of Public Health or the Cobb & Douglas Public Health shall not be construed as a guarantee that such system will function satisfactorily for a given period of time; furthermore, said representatives do not, by an action taken in affecting compliance with these rules, assume any liability for damages which are caused, or which may be caused, by the malfunction of such system. Any site modification including burial of debris may void this permit.

Approved by [Signature] Title EHIS Date 11-14-22
Cobb & Douglas Public Health Representative



322 Another Creek
Lagaville, GA 30053

LEVEL 3 SOIL INVESTIGATION REPORT

Report Date: 1/12/2022 Inspection Date: 12/13/2021
Site Location: 0 State Route 166 Parcel 006501500303
Client: Morris Johnson
Contract: Douglas
Field Supervisor: Christian Hootley, CPSE, DPH CEC
During Location Method: Jumper Geoprobe System GPS Unit
Certified By: Christian Hootley, CPSE, DPH CEC

SOIL SERIES & INTERPRETIVE PROPERTIES

Soil Series & Slope Class	Depth to Rock (ft)	Depth to Bedrock (ft)	Estimated Permeability (cm/hr)	Depth of E-Unit (ft)	Recommended Installation Depth (ft)	Soil Suitability Code
Pacolet 2-10%	<2.0	<2.0	90	13-44	33-36	A
Pacolet Stony 15-20%	<2.0	<2.0	70	6-12	12-15	B

* Permeability Units: Table

SOIL SUITABILITY CODE DEFINITIONS

- Soils are typically suitable for conventional absorption field with proper design, installation and maintenance.
- 24A: Crust and solonch are present at surface and in soil profile. Moisture is as recommended but appears to be due to conditions of soil rather than to soil texture. Fracture plus moisture prior to installation may allow deeper trench depth to be recommended.

GENERAL NOTES & COMMENTS

- Property boundaries & elevation contours (2) were obtained from the Survey Map. Boundary Lines Guided by Plan and Surveying dated October 12, 2021.
- Every effort should be made to place tanks away from patios, landscape and adjacent landscape that contain the septic drain field lines for proper system function.
- Soil test borings & landscape features, shown on the Level 3 Soil Map, were located with a Jumper Geoprobe System GPS Unit.
- When installing trench line in clay soils, every effort should be made to prevent trenching trench with soil bottom. These conditions reduce drainage rate and may cause premature failure.
- Modification of the existing trench and fill of the drain field area will void the installation.

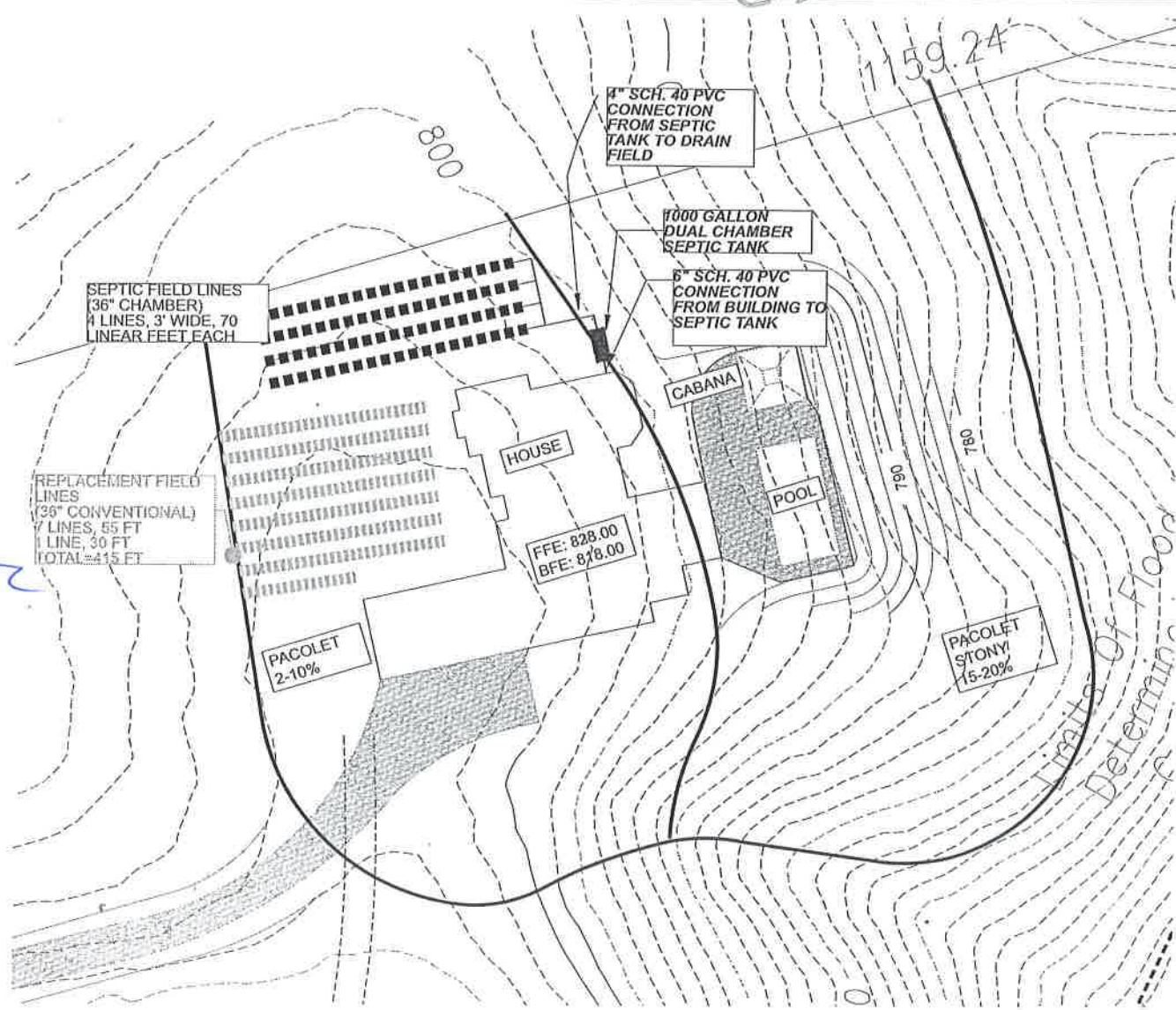
received
11/07/2022

Any modifications
or additions to this
plan must be approved
thru this office.

APPROVED

DOUGLAS PUBLIC HEALTH
CENTER FOR ENVIRONMENTAL HEALTH

"UNAUTHORIZED EXCAVATION OR FILLING
OF LOT MAY RENDER THE APPROVAL VOID"



SPECIFICATIONS

GENERAL - ALL SEPTIC SYSTEM CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE "MANUAL FOR ON-SITE SEWAGE MANAGEMENT SYSTEMS" PUBLISHED BY THE GEORGIA DEPARTMENT OF HUMAN RESOURCES, DIVISION OF PUBLIC HEALTH, LATEST EDITION.

SEPTIC TANK - 1000 GALLON DUAL-CHAMBER TANK MEETING THE SPECIFICATIONS CONTAINED IN THE "MANUAL FOR ON-SITE SEWAGE MANAGEMENT SYSTEMS". IT IS THE RESPONSIBILITY OF THE TANK MANUFACTURER AND TANK INSTALLER TO PROVIDE TANKS THAT ARE STRUCTURALLY ADEQUATE FOR THE DEPTH AT WHICH THEY ARE INSTALLED.

PIPING - SOLID PIPING FROM THE BUILDING TO THE SEPTIC TANK SHALL BE 6" SCHEDULE 40 PVC. ALL SOLID PIPING FROM THE SEPTIC TANK TO THE DRAIN FIELD SHALL BE 4" SCHEDULE 40 PVC. PERFORATED PIPE WITHIN THE INFILTRATION TRENCHES SHALL BE 4" PERFORATED CORRUGATED PIPE SUCH AS ADS LEACH FIELD CORRUGATED PIPE, OR EQUIVALENT.

CHAMBERS (OPTIONAL) - ADS ARC36 CHAMBERS, OR EQUIVALENT, TO BE APPROVED BY THE ENGINEER.

SEPTIC SYSTEM DESIGN CALCULATIONS			
PROPOSED HOUSE			
BEDROOMS	4		
DRAINAGE FIELD CALCULATIONS			
PERC RATE (MIN/IN)	50 PACOLET		
FROM TABLE 10.F	310 SF/BR		
SF REQUIRED	1240		
STD. TRENCH REQ (LINEAR FT)	413.3333 STANDARD GRAVEL TRENCH/PERF PIPE		
IF REDUCED BY 35%	806		
ADS ARC36 CHAMBER (LINEAR FT)	268.6667 USE 280 FT OF CHAMBER		

Table 10.F Residential Trench Absorption Field Sizing

Percolation Rate (minutes/inch)	Absorption Area per Bedroom (ft²)	Percolation Rate (minutes/inch)	Absorption Area per Bedroom (ft²)
5	125	65	345
10	165	70	355
15	190	75	365
20	210	80	370
25	230	85	375
30	250	90*	380
35	265	95*	385
40	280	100*	390
45	300	105*	395
50	310	110*	400
55	325	115*	405
60	335	120**	410

*Note: For rates less than 1 inch in size, and horizons that exceed a percolation rate of 90 minutes per inch shall not be considered for installation of a conventional on-site sewage management system.
**Note: For rates of 1 inch or more in size, and horizons that exceed a percolation rate of 120 minutes per inch shall not be considered for installation of a conventional on-site sewage management system.

LEVEL 3 SOIL INVESTIGATION NOTES:

- PROPERTY BOUNDARIES & ELEVATION CONTOURS (2) WERE OBTAINED FROM THE SURVEY MAP. BOUNDARY LINES GUIDED BY PLAN AND SURVEYING DATED OCTOBER 12, 2021.
- STORMWATER MUST BE REMOVED AWAY FROM SEPTIC ABSORPTION FIELDS FOR PROPER SYSTEM FUNCTION.
- SOIL BOREHOLE WERE LOCATED USING A JUMPER GEOPROBE SYSTEM GPS UNIT.

Christian Hootley, DPH CEC
45 DPH CEC 302

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