

DATE: JUNE 10, 2022

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Helen Owens, Zoning Administrator, City of Sandy Springs
FROM: Mike Alexander, Director, ARC Center for Livable Communities

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a Metropolitan River Protection Act regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal.

Name of Proposal: Morgan Falls Connector Trail Phase 2A
MRPA Code: RC-22-09SS

Description: A MPRA review of a proposal to construct the Morgan Falls Connector Trail Phase 2A segment of the public Sandy Springs Trail System. The project is located on an approximately 8.2 acre site owned by Georgia Power within the Chattahoochee River Corridor. The hard surface trail segment will be 10 to 12 feet wide and will extend south from Morgan Falls Overlook Park to the boat ramp just south of the Morgan Falls River Park Dog Park. The segment is part of a larger planned trail that will run from Roswell Road along Morgan Falls Road to the Chattahoochee River then through an existing apartment complex and then along Cimarron Parkway back to Roswell Road; it is the only portion of the larger trail that requires review.

The scope of work includes ancillary amenities on the site which also contains two existing houses developed before the Review Act. The total amount of existing and new disturbed and impervious areas - all of which fall within Vulnerability Category E - are well below the allowed maximums.

Preliminary Finding: ARC staff have begun a review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs
Land Lot: 83,84 **District:** 17 **Section:**
Date Opened: June 10, 2022
Deadline for Comments: June 20, 2022

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ATLANTA REGIONAL COMMISSION
NATIONAL PARK SERVICE
FULTON COUNTY
CITY OF ROSWELL

GEORGIA DEPARTMENT OF NATURAL RESOURCE
GEORGIA CONSERVANCY
CITY OF SANDY SPRINGS

CHATTAHOOCHEE RIVERKEEPER
HISTORIC RIVERLINE AREA
COBB COUNTY

If you have any questions regarding this review, please contact Donald Shockey at dshockey@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before 2022-06-20 00:00:00, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. **The ARC review website is located at:** <http://www.atlantaregional.org/land-use/planreviews>.

Review materials are attached.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** City of Sandy Springs
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Georgia Power Company
Mailing Address: 241 Ralph McGill Blvd. NE
City: Atlanta **State:** Georgia **Zip:** 30308
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-387-0529 (Luke Folsom) **Fax:** _____
Other Numbers: 888-660-5890 (GA Power Corporate); 404-426-5322 (Patrick O'Rourke)
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Kaizen Collaborative
Mailing Address: 2390 Main Street
City: Tucker **State:** Georgia **Zip:** 30084
Contact Phone Numbers (w/Area Code):
Daytime Phone: 706-585-6911 **Fax:** _____
Other Numbers: 630-536-6992
4. **Proposed Land or Water Use:**
Name of Development: Morgan Falls Trail Connector Phase 2A - Georgia Power Segment
Description of Proposed Use: The construction and use of a public hard-surface, multi-use trail with a width of 10-12'.
Additional ancillary construction of site amenities on property including two existing pre act houses
5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: Land Lots 83 and 84, District 17, Fulton County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: Tax ID # 17 007600010010
(17 0077LL0136) Bounded by Morgan Falls Rd, on the North and West, and extending Approx. 775ft south along Morgan Falls western portion to a power line easement that runs northeast to encapsulate the review area; See Plans for more detail
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** _____
Outside Corridor: _____
Total: Approx. 8.8
Lots: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Units: **Inside Corridor:** _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? Yes
If “yes”, describe the additional land and any development plans: _____
Remainder of GA Power Property uses pre act land disturbance and impervious surface calculations (No review required)

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO
If “yes”, please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____
Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

C. Other: development will not have sanitation facilities and no sewage is provided for
8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	_____	_____	_____	(50)_____	(30)_____
E	278,571 Total Site SQFT	83,571 SQFT Disturbed	41,786 SQFT Impervious	(30) 30.0%	(15) 15.0%
F	79,573 Total Site SQFT	7,957 SQFT Disturbed	1,519 SQFT Impervious	(10) 10.0%	(2) 2.0%
Total:	358,144 Total Site SQFT	91,528 SQFT Disturbed	43,305 SQFT Impervious	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No
 If "yes", indicate the 100-year floodplain elevation: _____
NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.
NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.
10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No
 If "yes", indicate the 500-year flood plain elevation: _____
NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.
NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).
11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- X Written consent of all owners to this application. (Space provided on this form)
- X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- X Description of proposed use(s). (Space provided on this form)
- X Existing vegetation plan.
- X Proposed grading plan.
- X Certified as-builts of all existing land disturbance and impervious surfaces.
- X Approved erosion control plan.
- X Detailed table of land-disturbing activities. (Both on this form and on the plans)

X Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of -way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

n/a Documentation on adjustments, if any.

N/a Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

x Site plan.

X Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

 Concept plan.

 Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Joe E. Slaughter IV

Georgia Power

DocuSigned by:

Joe Ernest Slaughter

5/10/2022

674043F2CDE3459...

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Tanner Copeland

Kaizen Collaborative

Tanner G. Copeland

07/07/21

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

[Signature]

8/9/21

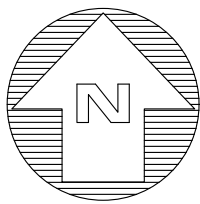
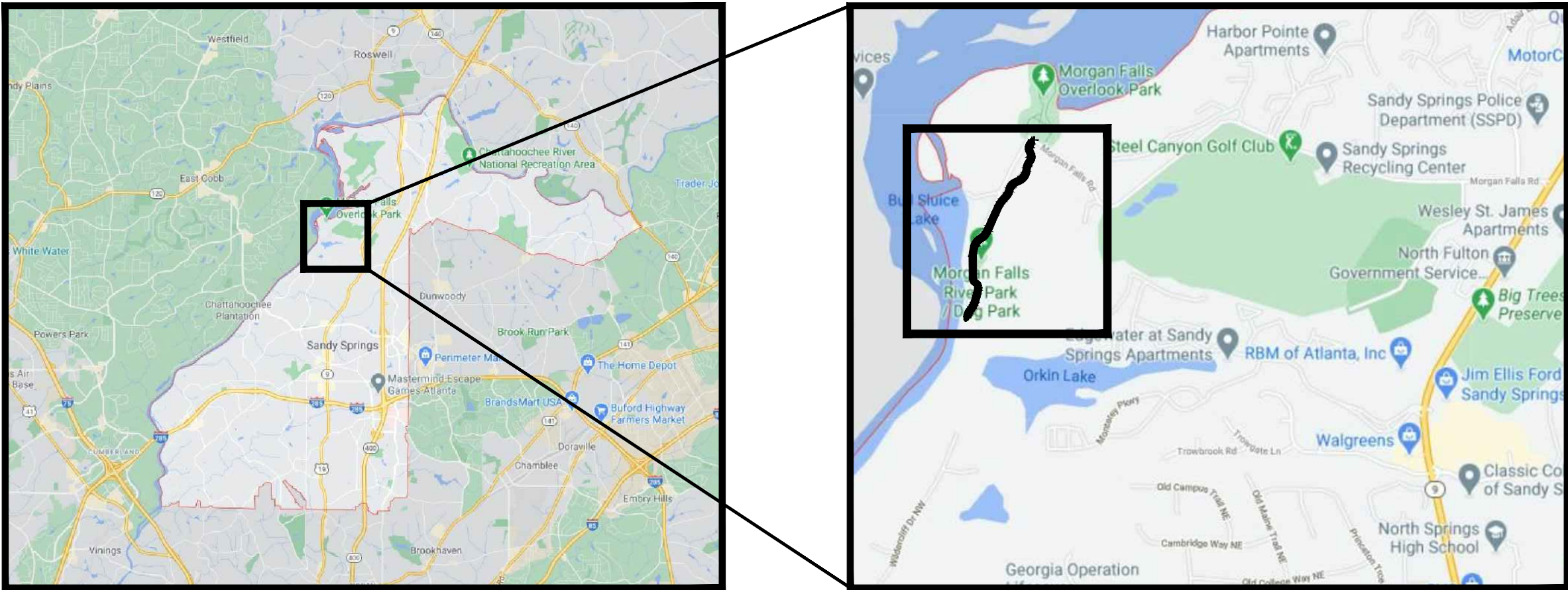
Signature of Chief Elected Official or Official's Designee

Date

MORGAN FALLS CONNECTOR PHASE 2A- GEORGIA POWER

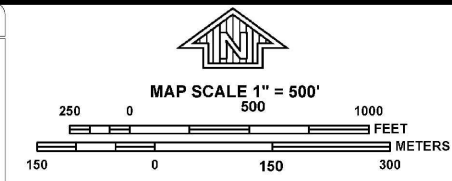
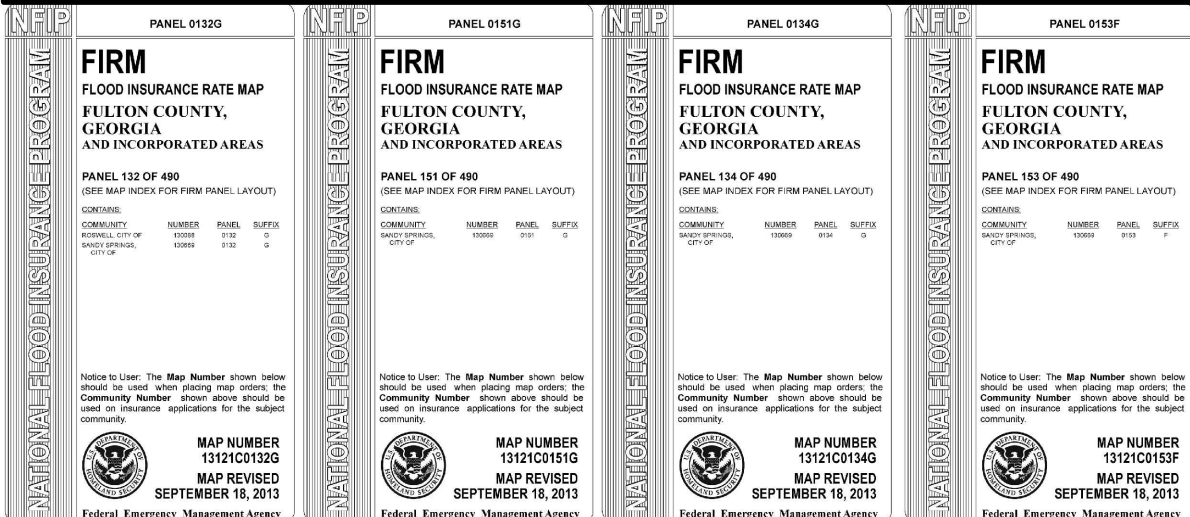
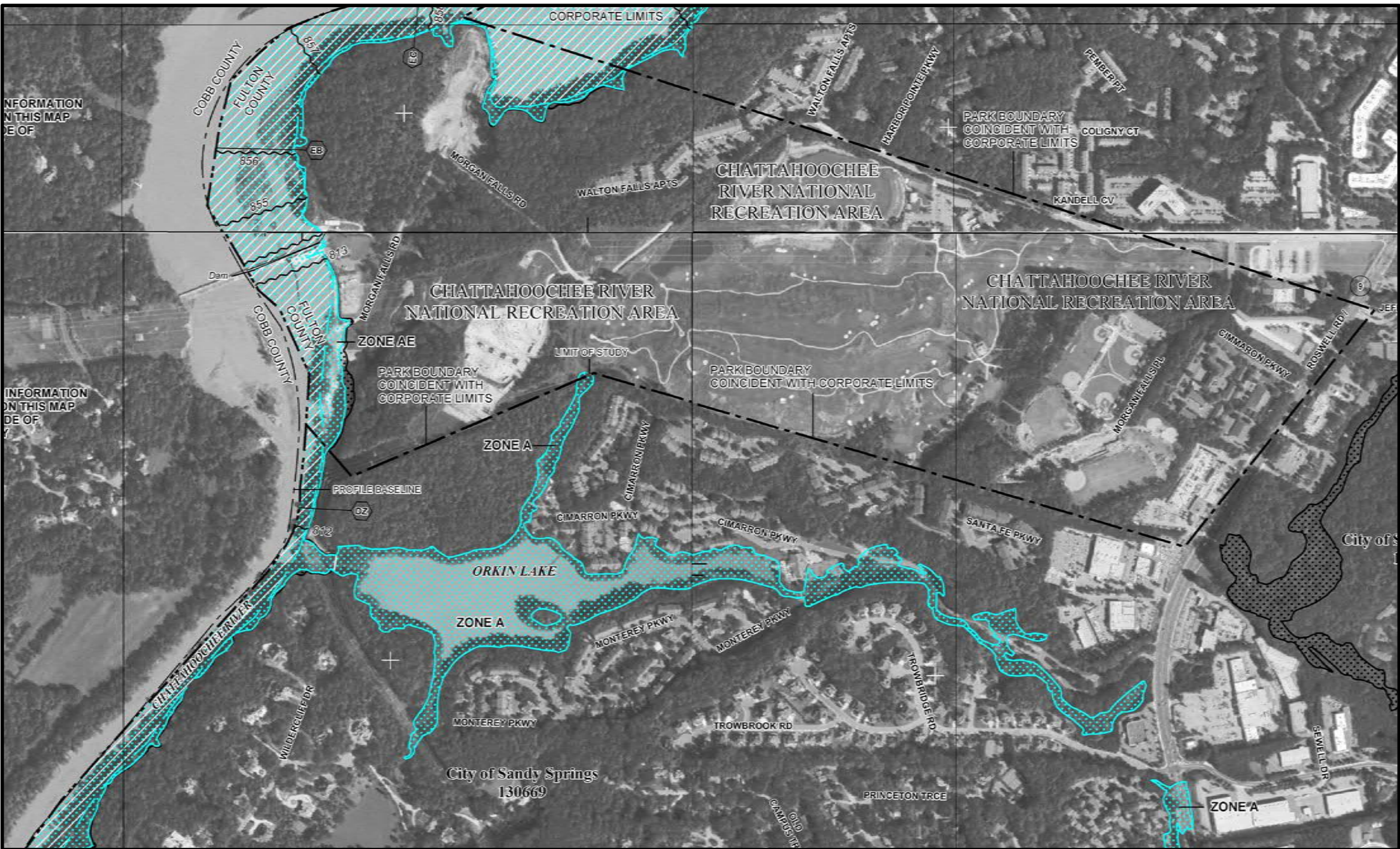
From Morgan Falls Road to Fulton County Access Drive
FULTON COUNTY, GEORGIA. LAND LOTS 31, 76, 83 AND 84 IN DISTRICT 17

City of Sandy Springs



LOCATION MAP
SCALE: N.T.S.

TOTAL LENGTH OF PROJECT = 1,943 LF (0.37 MI.)
TOTAL DISTURBED AREA = 2.5 ACRES



THIS IS AN OFFICIAL COPY OF A PORTION OF THE ABOVE REFERENCE FLOOD MAP. IT WAS EXTRACTED USING FIRM ONLINE. THIS MAP DOES NOT REFLECT CHANGES OR AMENDMENTS WHICH MAY HAVE BEEN MADE SUBSEQUENT TO THE DATE ON THE TITLE BLOCK. FOR THE LATEST PRODUCT INFORMATION ABOUT NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAPS CHECK THE FEMA FLOOD MAP STORE AT www.fema.gov

F.E.M.A. F.I.R.M. MAP
SCALE: N.T.S.

NOTE: PART OF THE DISTURBED AREA IS WITHIN THE FEMA 100 YEAR FLOOD HAZARD ZONE

GENERAL NOTES:

1. NO GRADED SLOPE SHALL EXCEED 2H:1V.
2. WALKS AND TRAILS TO HAVE MAXIMUM CROSS SLOPE OF 1.8%.
3. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS.
4. CONTRACTOR TO ABIDE BY ALL STATE AND COUNTY CODES AND ORDINANCES PRIOR TO AND DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROPOSED WORK.
6. CONTRACTOR TO ERECT THE APPROPRIATE BARRICADES, SIGNAGE, AND WARNINGS TO PROTECT THE SITE DURING DEMOLITION AND CONSTRUCTION.
7. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
8. ALL TREE PROTECTION FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING IS COMPLETE.
9. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED AND REPLACED AS NEEDED.
10. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
11. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT/OWNER IMMEDIATELY IF ANY ITEM EXISTING ON SITE IS NOT SHOWN ON THIS PLAN (e.g. UTILITY/ DRAINAGE LINES).
12. ANY UNDERGROUND UTILITY THAT IS BROKEN OR DISRUPTED THAT IS NOT A PART OF A SCHEDULED OUTAGE SHALL BE REPAIRED AS QUICKLY AS POSSIBLE AT CONTRACTOR'S EXPENSE.
13. CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS FOR THE PROTECTION OF THE PUBLIC, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF LIGHTS, BARRIERS, FLAGMEN, AND TEMPORARY DETOURS, ETC.
14. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO ANY LAND DISTURBING ACTIVITIES OR DEMOLITION BEGINNING ON THE SITE.
15. CONTRACTOR SHALL UTILIZE ALL PRACTICABLE MEASURES TO ENSURE THE PREVENTION OF ENVIRONMENTAL IMPACTS ARE TAKEN BY ALL PERSONNEL EMPLOYED IN THE WORK. IMPACTS INCLUDE NOISE, DUST, CHEMICAL SPILLS, EROSION AND SEDIMENTATION, AND DAMAGE TO EXISTING TREES & PLANTS.
16. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES.
17. CONTRACTOR TO VERIFY DEPTH OF EXISTING UTILITY LINES PRIOR TO LAND DISTURBANCE.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE FOLLOWING APPLICABLE CODES:
- THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS, CURRENT EDITION.
- 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN
- ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY STANDARDS
- STANDARD SPECIFICATION FOR HWY BRIDGES 917TH EDITION 2002, PUBLISHED BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)
- PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES

BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY:
FLOYD AND ASSOCIATES, INC.
2060 BUFORD HWY, SUITE 105
BUFORD, GEORGIA 30518.
770-531-0900

Sandy Springs, GA

03/08/2022

Jenny Chung

Permitted

FOR Director

Community Development Department

1. CONTRACTOR TO PROVIDE NOI TO COMMUNITY DEVELOPMENT PRIOR TO A PRE-CONSTRUCTION MEETING.
2. CONTRACTOR TO PROVIDE EASEMENT DOCUMENTS / AGREEMENT FOR WORK ON PRIVATE PROPERTY TO COMMUNITY DEVELOPMENT PRIOR TO A PRE-CONSTRUCTION MEETING.

PRIOR TO THE LAND-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY OF SANDY SPRINGS ENVIRONMENTAL AND CONSTRUCTION ENFORCEMENT INSPECTOR: (404) 546-1300.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLING OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ENGINEER'S CERTIFICATION STATEMENT:

With my signature at the line below and my seal and signature, I Charles M. Abbott, a professional **Engineer, Architect or Landscape Architect** licensed in the **State of Georgia**, hereby certify that I have personally reviewed the attached submittal plans for a land disturbance permit. In my opinion these submittal plans meet all applicable regulations and ordinances of the City of Sandy Springs and other affected parties may rely on this certification.

Signed: *Charles M. Abbott* GA. Registration # **NO.31674**

Date: **AUGUST 20, 2021**

Design certification statement:

The Erosion & Sediment Control Plan was completed by
Chuck Abbott, P.E., a Level II Certified Design Professional.
Certification No. 0000041686 expires 04-13-2022

PROJECT DESCRIPTION

THE PROJECT FALLS WITHIN LAND LOT 31, 76 AND 84 IN LAND DISTRICT 17.

THIS IS A TRAIL PROJECT WHICH IS BEING BUILT ON CITY PROPERTY AND CITY EASEMENT. IT IS CONSISTENT WITH ZONING & WILL NOT REQUIRE ANY ZONING VARIANCES.

THE LIMITS OF DISTURBANCE IS APPROXIMATELY 2.5 ACRES. THE SITE DOES FALL WITHIN 200' OF STATE WATERS AND WITHIN THE 100 YEAR FLOODPLAIN (PER FIRM PANES 13121C0161F, 13121C0134G, 13121C0142F, 13121C0153F; DATED SEPTEMBER 18, 2013).

NARRATIVE

THIS PROJECT IS A GREENWAY TRAIL BEGINNING AT THE MORGAN FALLS OVERLOOK PARK INTERSECTION, ALIGNING THROUGH GEORGIA POWER PARCEL AND ENDING AT THE FULTON COUNTY ACCESS DRIVE AFTER THE MORGAN FALLS RIVER PARK.

THE PROJECT LENGTH IS APPROXIMATELY 1,943 LF AND INCLUDES A 10'-12' WIDE CONCRETE TRAIL, LANDSCAPE IMPROVEMENTS, STORMWATER IMPROVEMENTS, AND TRAIL AMENITIES. ADDITIONAL WORK ASSOCIATED WITH THE PROJECT INCLUDES MINOR DEMOLITION AND CLEARING, EROSION CONTROL, GRADING, AND SIGNAGE.

PROJECT MANAGEMENT

PATH Foundation, PO Box 14327, Atlanta, GA.
JONATHAN McCAIG - 24 HOUR CONTACT
GA GSWCC LEVEL 1 CERTIFICATION # 58893
08/20/2024
office 404-875-7284 x5 cell 404-433-1900

OWNER/PRIMARY PERMITEE

CITY OF SANDY SPRINGS
MICHAEL PERRY - RECREATION & PARKS DIRECTOR
1 GALAMBOS WAY, SANDY SPRINGS, GEORGIA 30328
office 770-730-5600

INDEX OF SHEETS

GENERAL
CS-01 COVER SHEET (THIS SHEET)
GN-01 GENERAL NOTES
CM-01 COMPOSITE MAP

TOPOGRAPHIC SURVEY
SHEET 16-20 TOPOGRAPHIC SURVEY

SITE/TREE CONSERVATION PLANS
STCP-01 SITE/TREE CONSERVATION PLAN
STCP-02 SITE/TREE CONSERVATION PLAN
STCP-03 SITE/TREE CONSERVATION PLAN
STCP-04 SITE/TREE CONSERVATION PLAN
STCP-05 SITE/TREE CONSERVATION PLAN

TYPICAL SECTIONS
TS-01 TYPICAL SECTIONS
TS-02 TYPICAL SECTIONS

CONSTRUCTION PLANS
CP-01 CONSTRUCTION PLAN
CP-02 CONSTRUCTION PLAN
CP-03 CONSTRUCTION PLAN
CP-04 CONSTRUCTION PLAN
CP-05 CONSTRUCTION PLAN

RIVER CORRIDOR PLANS
RC-01 IMPERVIOUS AREA CALCULATIONS
RC-02 IMPERVIOUS AREA CALCULATIONS
RC-03 IMPERVIOUS AREA GRAPHIC

STORMWATER PROFILES
SP-01 STORMWATER PROFILES
SP-02 STORMWATER PROFILES

STRUCTURAL PLANS
S-01 GENERAL NOTES & HANDRAIL DETAILS
S-02 WALL, SITE PLAN & SECTION DETAILS

SIGNING AND MARKING PLANS
SM-01 TRAIL SIGN NOTES AND DETAILS
SM-01 SIGNING AND MARKING PLAN
SM-02 SIGNING AND MARKING PLAN
SM-03 SIGNING AND MARKING PLAN
SM-04 SIGNING AND MARKING PLAN
SM-05 SIGNING AND MARKING PLAN

REVEGETATION PLANS
RP-00 GENERAL NOTES & PLANT SCHEDULE
RP-01 REVEGETATION PLAN
RP-02 REVEGETATION PLAN
RP-03 REVEGETATION PLAN
RP-04 REVEGETATION PLAN
RP-05 REVEGETATION PLAN
RP-01 REVEGETATION DETAILS

CONSTRUCTION DETAILS
CD-01 CONSTRUCTION DETAILS
CD-02 CONSTRUCTION DETAILS
CD-03 CONSTRUCTION DETAILS
CD-04 CONSTRUCTION DETAILS
CD-05 CONSTRUCTION DETAILS
CD-06 CONSTRUCTION DETAILS
CD-07 CONSTRUCTION DETAILS

EROSION, SEDIMENT & POLLUTION CONTROL PLANS
EC-01 TO EC-05 ESDCP
EC-06 TO EC-09 COMPREHENSIVE MONITORING PLAN
ECD-01 CONSTRUCTION DETAILS
ECD-02 CONSTRUCTION DETAILS
ECD-03 CONSTRUCTION DETAILS
ECD-04 CONSTRUCTION DETAILS

REVISION DATE	DESCRIPTION
05/14/2021	ISSUE FOR REVIEW
07/07/2021	ARC REVIEW SET
08/20/2021	ISSUE FOR REVIEW
09/27/2021	GP SECURITY COMMENTS
11/04/2021	REV. EPD COMMENTS
12/10/2021	ISSUE FOR PERMIT



Know what's below.
Call before you dig.

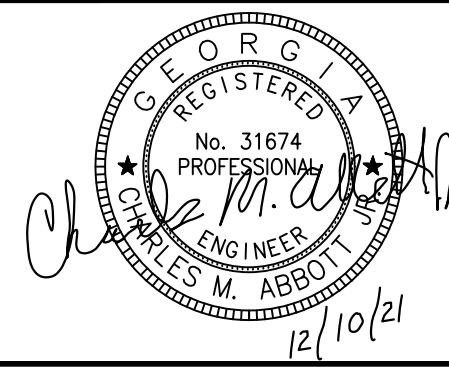
PLANS PREPARED BY:

KAIZENCOLLABORATIVE

2390 Main Street | Tucker, GA 30084 | 404.239.2521



PO BOX 14327, ATLANTA, GA 30324



MORGAN FALLS CONNECTOR PHASE 2A
KAIZEN PROJ # 2020-210
12/10/2021 100% ISSUE FOR PERMIT
RP21-00002 + RW21-00194
100 Morgan Falls Rd.

SITE DATA

DISTURBED AREA = 2.5 ACRES

NPDES FEE
STATE AMOUNT = \$100 (\$40/ACRE)
CITY AMOUNT = \$100 (\$40/ACRE)

LAND LOT: 31, 76 AND 84 IN DISTRICT 17, FULTON COUNTY

CONTACTS

24-HOUR CONTACTS:

PATH FOUNDATION
JONATHAN McCAIG - 24 HOUR CONTACT
GA GSWCC LEVEL 1 CERTIFICATION # 58893

EXP. 08/17/2021
office 404-875-7284 x5 cell 404-433-1900

EROSION & SEDIMENT CONTROL

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBANCE ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
4. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
5. EROSION AND SEDIMENT MEASURES AND PRACTICES TO BE INSPECTED DAILY.
6. ALL INSPECTION, MONITORING, AND REPORTING SHALL BE PERFORMED AS REQUIRED BY NPDES PERMIT AND BY PROJECT EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES.

ARCHITECTURAL BARRIERS ACT (ABA) STANDARDS

CHAPTER 10: RECREATIONAL FACILITIES; SECTION 1017 TRAILS

ADVISORY 1017.7.1 MAXIMUM RUNNING SLOPE AND SEGMENT LENGTH

Table 1017.7.1 Maximum Running Slope and Segment Length

Running Slope of Trail Segment		Maximum Length of Segment
Steeper than	But not Steeper than	
1:20 (5%)	1:12 (8.33%)	200 feet (61 m)
1:12 (8.33%)	1:10 (10%)	30 feet (9 m)
1:10 (10%)	1:8 (12%)	10 feet (3050 mm)

GRADUAL RUNNING SLOPES ON TRAILS ARE MORE USABLE BY INDIVIDUALS WITH DISABILITIES. WHERE THE TERRAIN RESULTS IN STEEPER RUNNING SLOPES (STEEPER THAN 1:20 OR 5%), RESTING INTERVALS ARE REQUIRED MORE FREQUENTLY. WHERE RUNNING SLOPES ARE LESS SEVERE, RESTING INTERVALS ARE PERMITTED TO BE FURTHER APART. THE MAXIMUM LENGTH OF THE SEGMENT SHALL BE IN ACCORDANCE WITH TABLE 1017.7.1, AND A RESTING INTERVAL COMPLYING WITH 1017.8 SHALL BE PROVIDED.

ADVISORY 1017.8 RESTING INTERVALS
LENGTH: THE RESTING AREA SHALL BE 60 INCHES (1525 MM) MIN.
SLOPE: RESTING INTERVALS SHALL HAVE SLOPES NOT STEEPER THAN 1:48 (2%) IN ANY DIRECTION

CHAPTER 10: RECREATIONAL FACILITIES; SECTION 1019 CONDITIONS FOR EXCEPTIONS

ADVISORY 1019.1 GENERAL

EXCEPTIONS TO SPECIFIC PROVISIONS IN 1017 SHALL BE PERMITTED WHEN AN ENTITY DETERMINES THAT ANY OF THE FOLLOWING CONDITIONS DOES NOT PERMIT FULL COMPLIANCE WITH THE PROVISION:

1. COMPLIANCE IS NOT PRACTICABLE DUE TO TERRAIN

EXCEPTIONS IN THE FOLLOWING SECTIONS REQUIRE COMPLIANCE TO THE EXTENT PRACTICABLE WHEN AN ENTITY DETERMINES THAT A CONDITION IN 1019 DOES NOT PERMIT FULL COMPLIANCE WITH A SPECIFIC PROVISION:

- 1017.1 EXCEPTION 1 (ANY PROVISION FOR TRAILS);

Sandy Springs, GA

03/08/2022

Jenny Chung

Permitted

FOR Director
Community Development Department

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS SHOWN HEREIN WITH THE ARCHITECTURAL DRAWINGS PRIOR TO ANY CONSTRUCTION AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
2. PROPOSED CONTOURS AND SPOT ELEVATIONS REPRESENT FINAL GRADE. PROPOSED GRADE ELEVATIONS SHOWN WITHIN PAVED AREA REPRESENT TOP OF PAVEMENT ELEVATIONS. CONTRACTOR SHALL ALLOW FOR PAVEMENT THICKNESS, TOPSOIL, BASE COURSE, SLABS, ETC. WHEN GRADING TO SUBGRADE ELEVATIONS
3. DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRUCTURE AND CENTER LINE OF COLUMN LINE, UNLESS OTHERWISE NOTED. ANGLES SHOWN ON STORM AND SANITARY SEWER ARE TO CENTER OF PIPE, UNLESS OTHERWISE NOTED.
4. **CALL BEFORE YOU DIG 811.** THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. BEWARE OF HIDDEN UTILITIES NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION. IF UNCHARTED UTILITIES ARE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IMMEDIATELY FOR INSTRUCTIONS. ANY DAMAGE OR INTERRUPTION OF EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED PROMPTLY AT THE CONTRACTOR'S EXPENSE.
5. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED DISTURBANCE SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO DISTURBANCE SHALL OCCUR OUTSIDE THE LIMITS INDICATED ON THE DRAWINGS WITHOUT APPROVAL IN WRITING FROM THE PROJECT LANDSCAPE ARCHITECT.
6. THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES, LIGHTS, WARNING SIGNS, AND OTHER TRAFFIC CONTROL METHODS ADJACENT TO EXISTING ROADWAYS AND PARKING AREAS AS MAY BE REQUIRED FOR THE PROTECTION AND SAFETY OF THE PUBLIC. ALL TRAFFIC CONTROL MEASURES UTILIZED WITHIN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF ALL CONSTRUCTION ELEMENTS, WITH SOME FIELD ADJUSTMENTS AS NECESSARY BY THE LANDSCAPE ARCHITECT. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT TRAIL AND AMENITY CONSTRUCTION COMPLIES WITH AASHTO REQUIREMENTS, PARTICULARLY WITH RESPECT TO TRAIL CROSS-SLOPES AND GRADIENTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT GROUNDWATER CONTROL DURING CONSTRUCTION, AS WELL AS PROVISIONS FOR CONTROLLING SURFACE WATER RUN-OFF, IN ORDER TO PREVENT PONDING IN OPEN EXCAVATIONS AND POTENTIAL UNDERMINING OF PERMANENT CONSTRUCTION FEATURES.
9. EARTHWORK OPERATIONS AND SOIL COMPACTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND DRAWINGS. PRIOR TO POURING CONCRETE, EARTHWORK SHALL BE CLEAR OF DEBRIS AND MACHINE COMPACTED. COMPACTION OF CONSTRUCTION ACTIVITIES SHALL BE MONITORED BY A GEOTECHNICAL CONSULTING FIRM APPROVED BY THE OWNER TO VERIFY THAT EARTHWORK, WALL CONSTRUCTION, AND OTHER OPERATIONS CONFORM WITH THE CONTRACT DOCUMENTS. GEOTECHNICAL SERVICES SHALL BE AT THE COST OF THE CONTRACTOR.
10. THE TOPOGRAPHIC SURVEY INFORMATION HAS BEEN PROVIDED BY FLOYD & ASSOCIATES, (770) 531-0900, AND IS REFERENCED TO THE GEORGIA STATE PLANE COORDINATE SYSTEM (WEST ZONE).
11. DEMOLITION DEBRIS SHALL BECOME PROPERTY OF THE CONTRACTOR AND WASTE SOILS, VEGETATION, AND OTHER DELETERIOUS MATERIALS SHALL BE HAULED OFF-SITE AND BE DISPOSED OF AT AN APPROVED LOCATION IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. BURNING WILL NOT BE ALLOWED ON THIS PROJECT.
12. EROSION CONTROL MEASURES AND OTHER SITE ISSUES SHALL BE INSPECTED AS REQUIRED BY NPDES PERMITTING BY CONTRACTOR.
13. ON ALL AREAS WHERE ROADWAYS, CONCRETE TRAILS, RETAINING WALLS, OR OTHER STRUCTURES ARE TO BE CONSTRUCTED ON COMPACTED SUBGRADE, FOUNDATION SOILS SHALL BE REVIEWED AND APPROVED BY THE GEOTECHNICAL CONSULTING FIRM PRIOR TO THE PLACEMENT OF CONCRETE, AGGREGATE BASE, OR FILL MATERIALS.
14. CONSTRUCTION ACCESS POINTS ARE APPROXIMATE LOCATIONS AND MUST BE FIELD VERIFIED AND APPROVED BY CITY OF SANDY SPRINGS.

15. ALL WORK TO BE DONE IN ACCORDANCE WITH THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS, CURRENT EDITION, THE 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN, THE ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY STANDARDS, THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES, AND AS MODIFIED BY CONTRACT DOCUMENTS.

16. ALL CONCRETE TO BE USED FOR THE CONSTRUCTION OF TRAILS TO BE 3000 PSI CONCRETE.

17. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH PATH FOUNDATION PROJECT MANAGER, KAIZEN COLLABORATIVE, AND CITY OF SANDY SPRINGS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL REQUEST CAD STAKING DATA FROM LANDSCAPE ARCHITECT UPON AWARD OF CONTRACT.

18. NOTICE: IT IS THE OWNER'S RESPONSIBILITY TO COMPLY WITH ALL ENVIRONMENTAL IMPACT ISSUES AND TO OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE GOVERNING AUTHORITIES.

TRAIL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING MINIMUM GRADES AND NOT EXCEEDING MAXIMUM GRADES ALONG THE TRAIL. TRAIL LONGITUDINAL GRADES NOT ADJACENT TO A ROADWAY THAT EXCEED 4.9% SHALL ADHERE TO TABLE 1017.7.1 . TRAILS ADJACENT TO A ROADWAY SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY PER PROWAG R302.5.1. TRAIL CROSS SLOPE SHALL BE MINIMUM 1%, MAXIMUM 1.8%.
2. THE LAYOUT OF THE TRAIL IS SHOWN IN RELATION TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LAYOUT WITH OWNER PRIOR TO CONSTRUCTION OF TRAIL.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING ALL UNDERSTORY VEGETATION WITHIN 10' FROM CENTERLINE OF TRAIL. CLEARING AREA MAY INCREASE WHERE INVASIVE PLANTS ARE LOCATED. CONTRACTOR SHALL CONFIRM VEGETATION TO BE CLEARED WITH LANDSCAPE ARCHITECT AND PROJECT ENGINEER PRIOR TO CLEARING.
4. ALL SIGNING & MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
5. ALL ROAD PAVEMENT MARKING SHALL BE THERMOPLASTIC. TRAIL CENTERLINE STRIPING SHALL BE PAINT.

CONSTRUCTION NOTES

1. TRAIL BACKFILL DIRT SHALL BE CLEAN, COHESIVE CLAY OR SANDY CLAY FREE OF DEBRIS, ORGANICS, DELETERIOUS MATERIAL AND ROCKS GREATER THAN 3" DIAMETER.
2. DESIRABLE GRADED SLOPES ARE TO BE 3:1 (H:V) OR FLATTER. MAX CUT OR FILL SLOPES SHALL BE 2:1 (H:V), UNLESS SPECIFICALLY NOTED.
3. EQUIPMENT AND MATERIALS SHALL BE STORED IN AREAS DESIGNATED BY THE OWNER. CONSTRUCTION AND STORAGE AREAS SHALL BE KEPT NEAT AND CLEAN. TREE SAVE AREAS SHALL NOT BE USED FOR STORAGE OR PARKING. EQUIPMENT AND MATERIAL SHALL NOT BE STORED WITHIN THE DRIP LINE OF TREES.
4. CONTRACTOR TO VERIFY THE ELEVATIONS OF ALL TIE-IN POINTS FOR INSTALLATION OF UTILITIES, CURB & GUTTER AND PAVING.
5. TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE OPTIMUM COMPACTION FOR ANY SOIL CLASSIFICATION AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-180 METHOD "A". THE TOP 2 FEET OF ALL AREAS TO RECEIVE PAVEMENT SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE CLEAN AND FREE OF ROOTS, ROCK OR DELETERIOUS MATTER. CONTRACTOR SHALL CORRECT ANY DAMAGE TO CURBING OR PAVING CAUSED BY TRENCH SETTLEMENT WHICH OCCURS WITHIN 12 MONTHS OF PROJECT ACCEPTANCE.
6. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PROMPTLY UPON DISCOVERY.
7. ALL EXISTING ELECTRICAL BOXES, WATER METER BOXES, AND VALVE BOXES, WHICH ARE TO REMAIN SHALL BE SET FLUSH WITH THE TOP OF THE PROPOSED GRADE.
8. AREAS INTENDED TO SUPPORT PAVEMENT OR NEW FILL SHALL BE PROOF ROLLED IN THE PRESENCE OF THE GEOTECHNICAL PROJECT MANAGER. PROJECT MANAGER MAY REQUEST A GEOTECHNICAL ENGINEER IF SOILS ARE DETERMINED UNSUITABLE. AREAS WHICH PUMP WHILE PROOF ROLLED SHALL BE UNDERCUT AND BACK-FILLED AS DIRECTED BY GEOTECHNICAL ENGINEER.
9. GRADED AGGREGATE BASE COURSE IN PAVEMENT BASE SHALL CONFORM WITH SECTION 815 OF THE STATE OF GEORGIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS. ALL ASPHALT MATERIAL AND PAVING OPERATIONS SHALL MEET APPLICABLE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF TRANSPORTATION.
10. ALL FILL AREAS MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR. THE TOP 2 FEET OF ALL AREAS TO RECEIVE PAVEMENT SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. A REPORT FROM A GEOTECHNICAL ENGINEER WILL BE REQUIRED FOR ALL FILL AREAS WITHIN THE RIGHT-OF-WAY.
11. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS DISTURBED AREA AND INTO DRAINAGE FEATURES.

CONSTRUCTION LEGEND

- PROPOSED TRAIL AND CENTERLINE
- PROPOSED STRUCTURAL SLAB
BRIDGE CROSSINGS
- PROPOSED CROSSWALK
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED FENCELINE
- EXISTING FENCELINE
- PROPOSED DEMOLITION ITEM
- EXISTING CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING DIRT ROAD
- PIPE AND CULVERT
- STEEL BOLLARDS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SHEET MATCHLINE
- PROPERTY LINE
- LAND LOT LINE

LEGEND		

TREE LEGEND

- ASH
BE
BH
BI
C
CH
CW
DW
GI
HB
HK
MA
MI
O
PC
PE
PI
PO
UK
SG
SM
SW
WA
- ASH
BOXELDER
BEECH
BIRCH
CEDAR
CHERRY
COTTONWOOD
DOGWOOD
GINKO
HACKBERRY
HICKORY
MAPLE
MIMOSA
OAK
PECAN
PEAR
PINE
POPLAR
UNK HARDWOOD
SWEETGUM
SYCAMORE
SOURWOOD
WALNUT

KAIZENCOLLABORATIVE

2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

CHARLES M. ABBOTT JR, P.E.
DESIGN ENGINEER LEVEL II CERTIFICATION
GSWCC # 000004168 EXPIRES: 04/13/2022
CHUCK.ABBOTT@KAIZENCOLLABORATIVE.COM
O: 404-239-2521



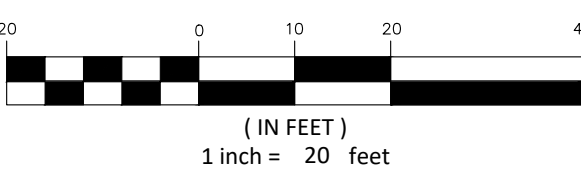
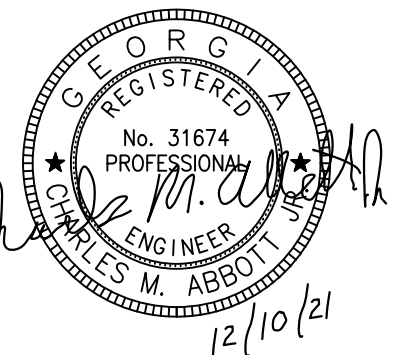
24 HOUR CONTACT - JONATHAN McCAIG
E: JONATHAN@PATHFOUNDATION.ORG
O: 404-875-7284 x 5 C: 404-433-1900

DATE	DESCRIPTION
05/14/2021	ISSUE FOR REVIEW
07/07/2021	ARC REVIEW SET
08/20/2021	ISSUE FOR REVIEW
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12/10/2021	ISSUE FOR PERMIT

PROJECT # 2020 - 210
PROJECT MANAGER CMA

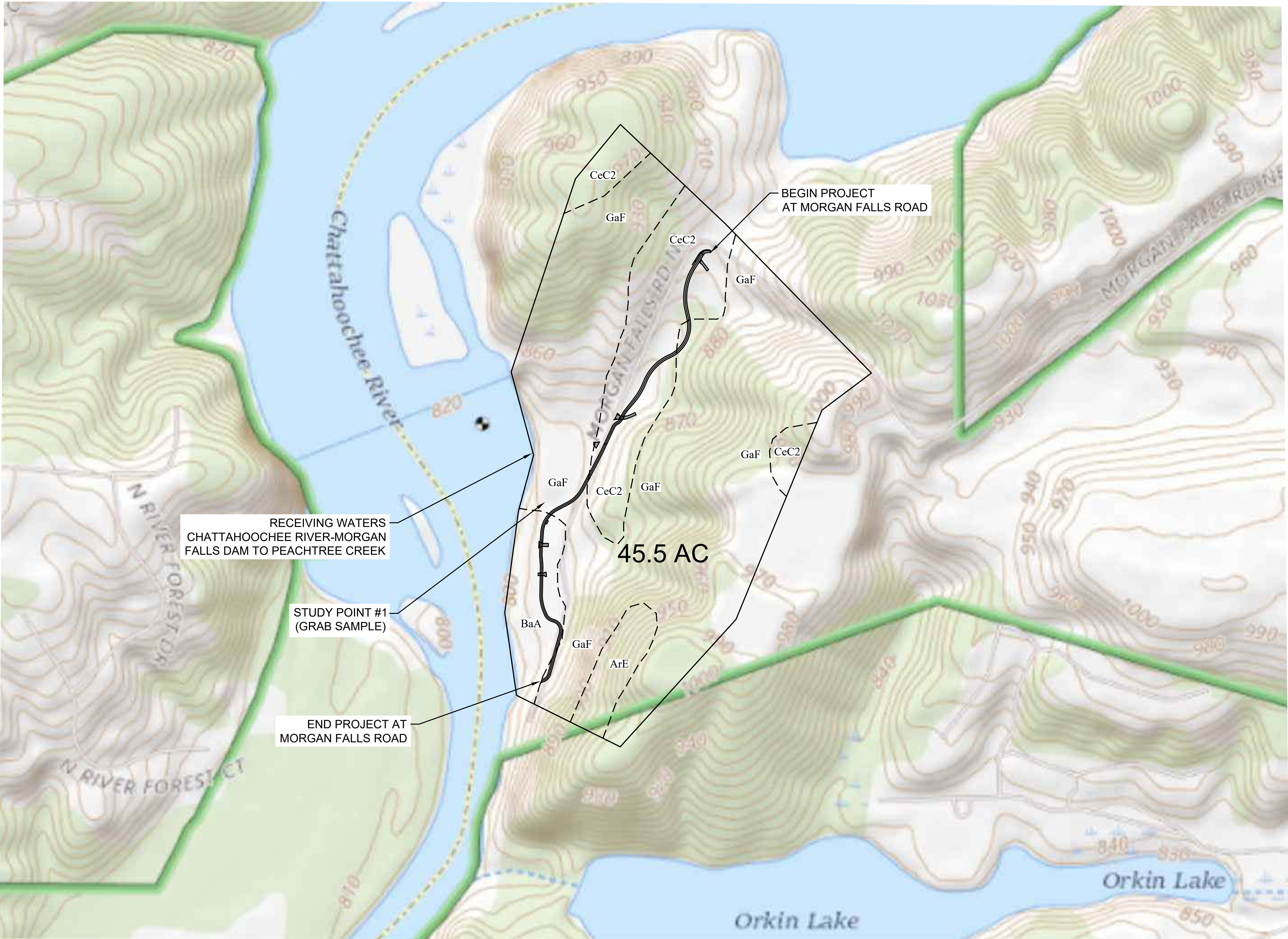
MORGAN FALLS
CONNECTOR PHASE 2A
GEORGIA POWER

SANDY SPRINGS, GA



GENERAL NOTES

SCALE	
DATE	DECEMBER 10, 2021
	SHEET # GN-01



Map Unit Symbol	Map Unit Name
ArE	Ashlar-Rion complex, 6 to 25 percent slopes, stony
BaA	Buncombe loamy sand, 0 to 3 percent slopes, occasionally flooded
CeC2	Cecil sandy loam, 6 to 10 percent slopes, moderately eroded
GaF	Grover-Mountain Park complex, 20 to 60 percent slopes, stony

Sandy Springs, GA
03/08/2022
Permitted
FOR Director
Community Development Department

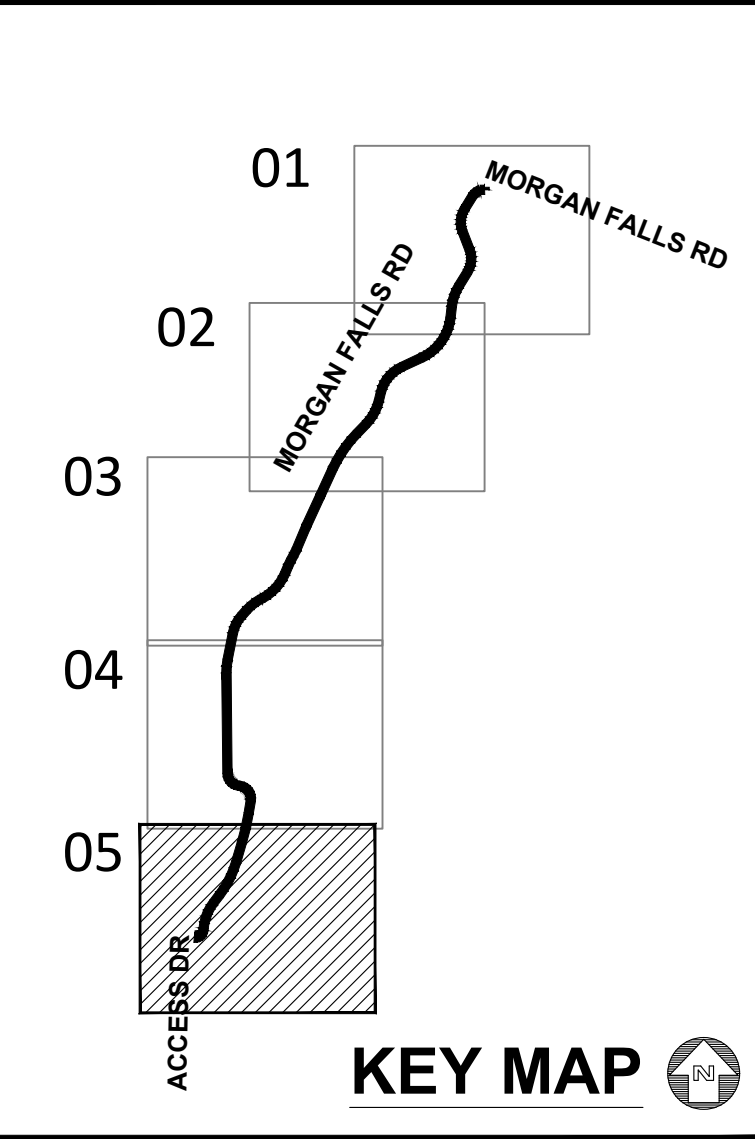


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PROJECT #	2020 - 210
PROJECT MANAGER	CMA

MORGAN FALLS CONNECTOR PHASE 2A
GEORGIA POWER
SANDY SPRINGS, GA

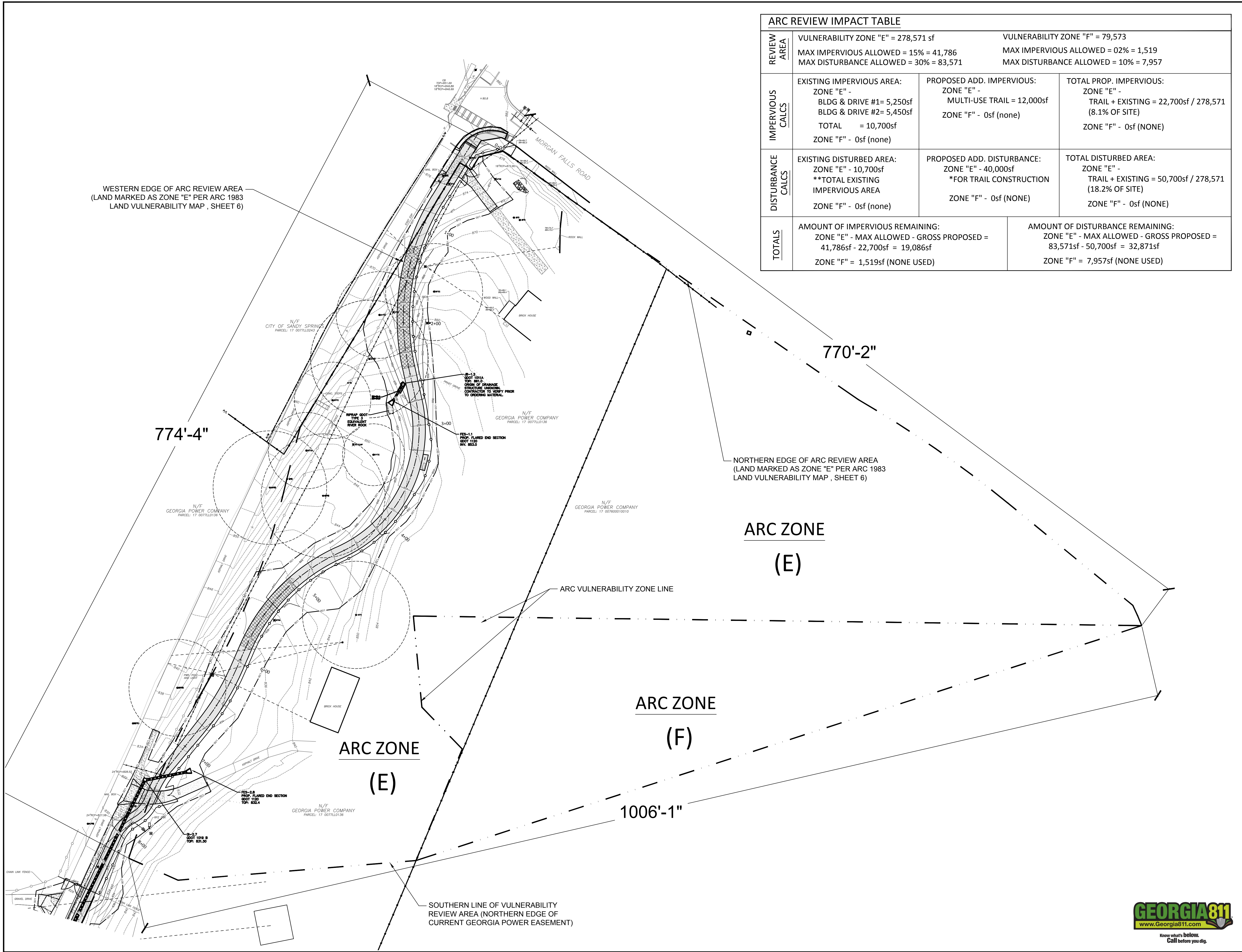
Professional Engineer Seal for Charles M. Abbott, No. 31674, State of Georgia, dated 12/10/21.

Scale bar: 1 inch = 20 feet

COMPREHENSIVE MONITORING PLAN	
SCALE	1"=20'-0"
DATE	DECEMBER 10, 2021
SHEET #	EC-06

100 Morgan Falls Rd.

RP21-00002 + RWV21-00194



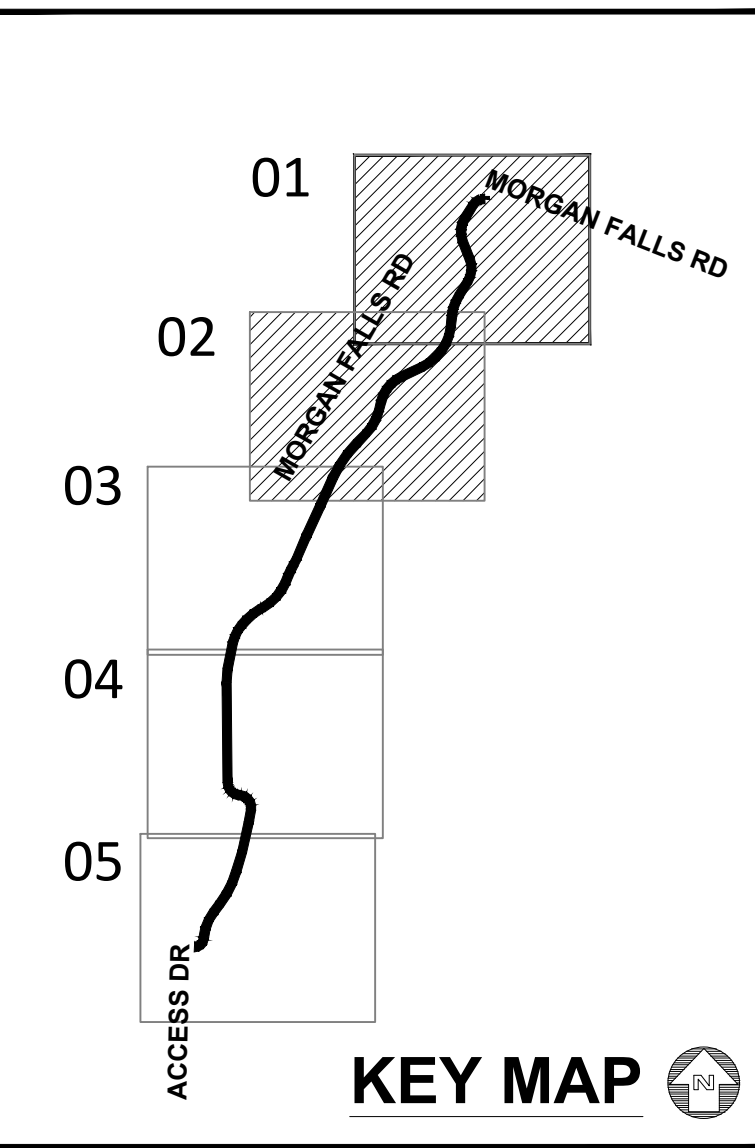
ARC REVIEW IMPACT TABLE			
REVIEW AREA	VULNERABILITY ZONE "E" = 278,571 sf MAX IMPERVIOUS ALLOWED = 15% = 41,786 MAX DISTURBANCE ALLOWED = 30% = 83,571		VULNERABILITY ZONE "F" = 79,573 MAX IMPERVIOUS ALLOWED = 02% = 1,519 MAX DISTURBANCE ALLOWED = 10% = 7,957
IMPERVIOUS CALCS	EXISTING IMPERVIOUS AREA: ZONE "E" - BLDG & DRIVE #1= 5,250sf BLDG & DRIVE #2= 5,450sf TOTAL = 10,700sf ZONE "F" - 0sf (none)	PROPOSED ADD. IMPERVIOUS: ZONE "E" - MULTI-USE TRAIL = 12,000sf ZONE "F" - 0sf (none)	TOTAL PROP. IMPERVIOUS: ZONE "E" - TRAIL + EXISTING = 22,700sf / 278,571 (8.1% OF SITE) ZONE "F" - 0sf (NONE)
DISTURBANCE CALCS	EXISTING DISTURBED AREA: ZONE "E" - 10,700sf **TOTAL EXISTING IMPERVIOUS AREA ZONE "F" - 0sf (none)	PROPOSED ADD. DISTURBANCE: ZONE "E" - 40,000sf *FOR TRAIL CONSTRUCTION ZONE "F" - 0sf (NONE)	TOTAL DISTURBED AREA: ZONE "E" - TRAIL + EXISTING = 50,700sf / 278,571 (18.2% OF SITE) ZONE "F" - 0sf (NONE)
TOTALS	AMOUNT OF IMPERVIOUS REMAINING: ZONE "E" - MAX ALLOWED - GROSS PROPOSED = 41,786sf - 22,700sf = 19,086sf ZONE "F" = 1,519sf (NONE USED)		AMOUNT OF DISTURBANCE REMAINING: ZONE "E" - MAX ALLOWED - GROSS PROPOSED = 83,571sf - 50,700sf = 32,871sf ZONE "F" = 7,957sf (NONE USED)

KAIZENCOLLABORATIVE
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12/10/2021	ISSUE FOR PERMIT
06/06/2022	A.R.C REVIEW COMMENTS

PROJECT #	2020 - 210
PROJECT MANAGER	CMA

**MORGAN FALLS
CONNECTOR PHASE 2A
GEORGIA POWER**

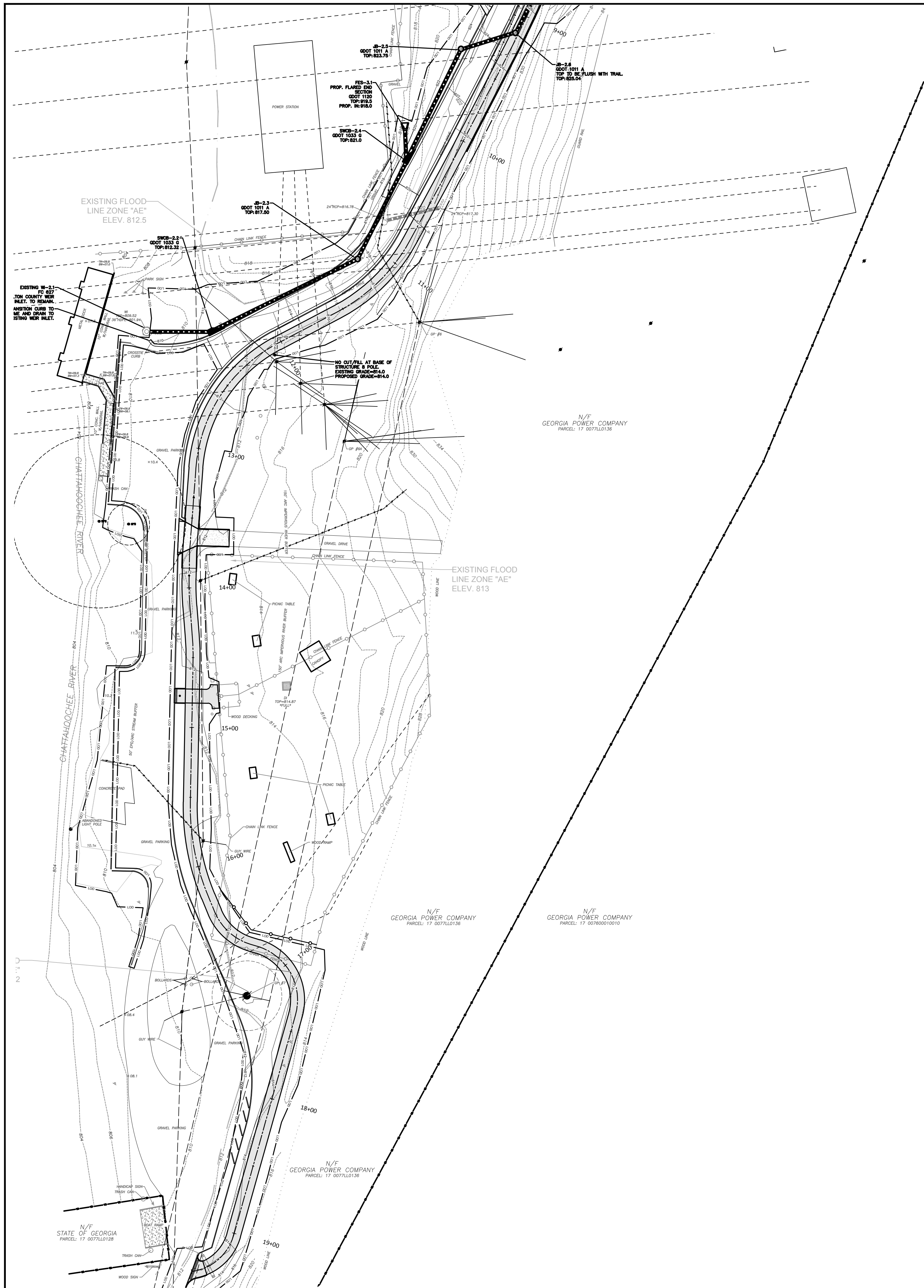
SANDY SPRINGS, GA

IMPERVIOUS AREA CALCS.

SCALE	1"=40'-0"
DATE	JUNE 06, 2022

	SHEET #	RC-01
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ARC IMPERVIOUS SURFACE CALCULATIONS

EXISTING IMPERVIOUS AREA = 55,840 sf
PROPOSED ADD. IMPERVIOUS = 9689
EXIST. IMPERVIOUS REMOVED = - 9778

TOTAL PROP. IMPERVIOUS = 55,751sf
NET PROP. IMPERVIOUS AREA = - 89 sf

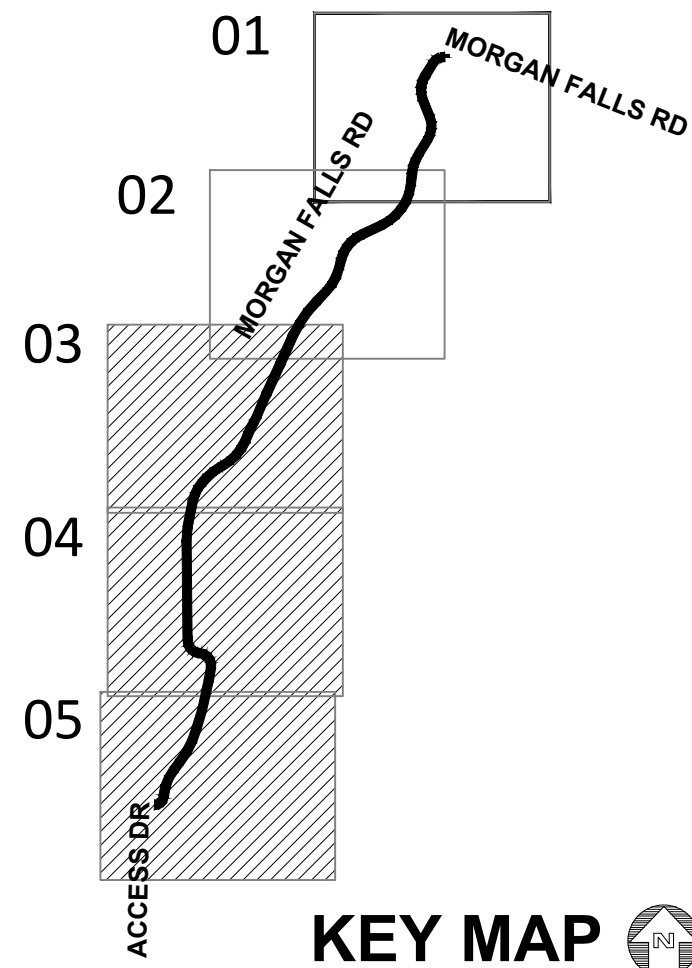
NO NET IMPERVIOUS PROPOSED
ARC REVIEW NOT REQUIRED

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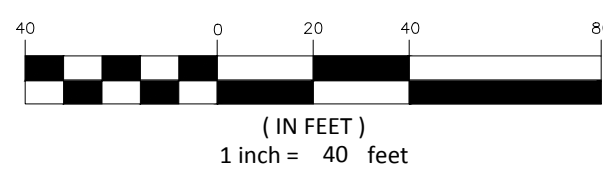
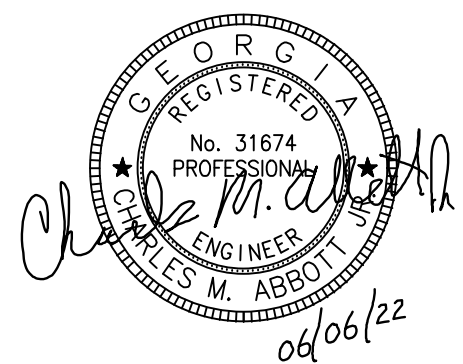


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06/06/2022	A.R.C REVIEW COMMENTS

PROJECT # 2020 - 210
PROJECT MANAGER CMA

**MORGAN FALLS
CONNECTOR PHASE 2A
GEORGIA POWER**

SANDY SPRINGS, GA

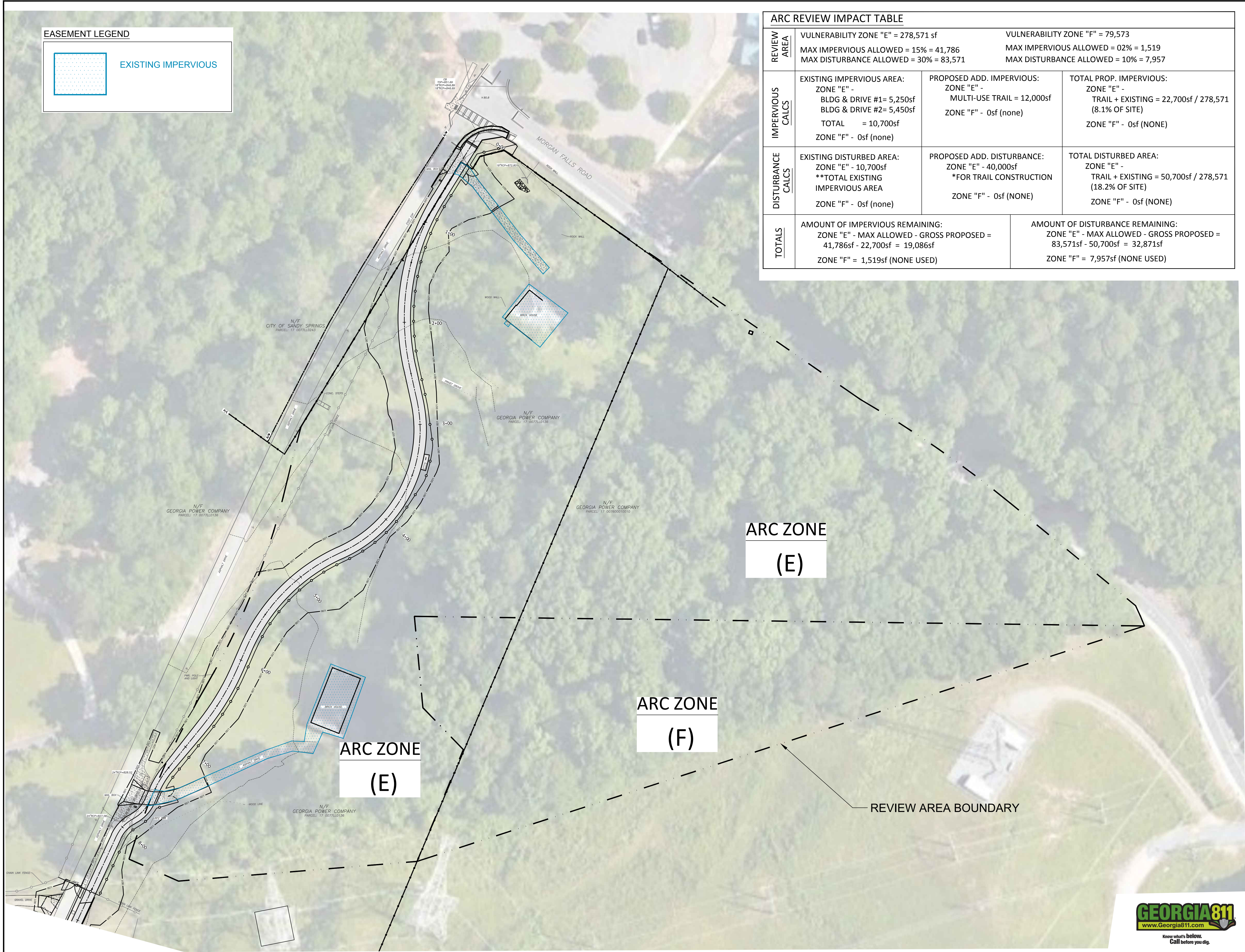


IMPERVIOUS AREA CALCS.

SCALE 1"=40'-0"
DATE JUNE 06, 2022

SHEET # **RC-02**





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E: JONATHAN@PATHFOUNDATION.ORG
O: 404-875-7284 x 5 C: 404-433-1900

KEY MAP

01
02
03
04
05

MORGAN FALLS RD
ACCESS DR

DATE	DESCRIPTION
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06/06/2022	A.R.C REVIEW COMMENTS

PROJECT # 2020 - 210
PROJECT MANAGER CMA

**MORGAN FALLS CONNECTOR PHASE 2A
GEORGIA POWER**

SANDY SPRINGS, GA

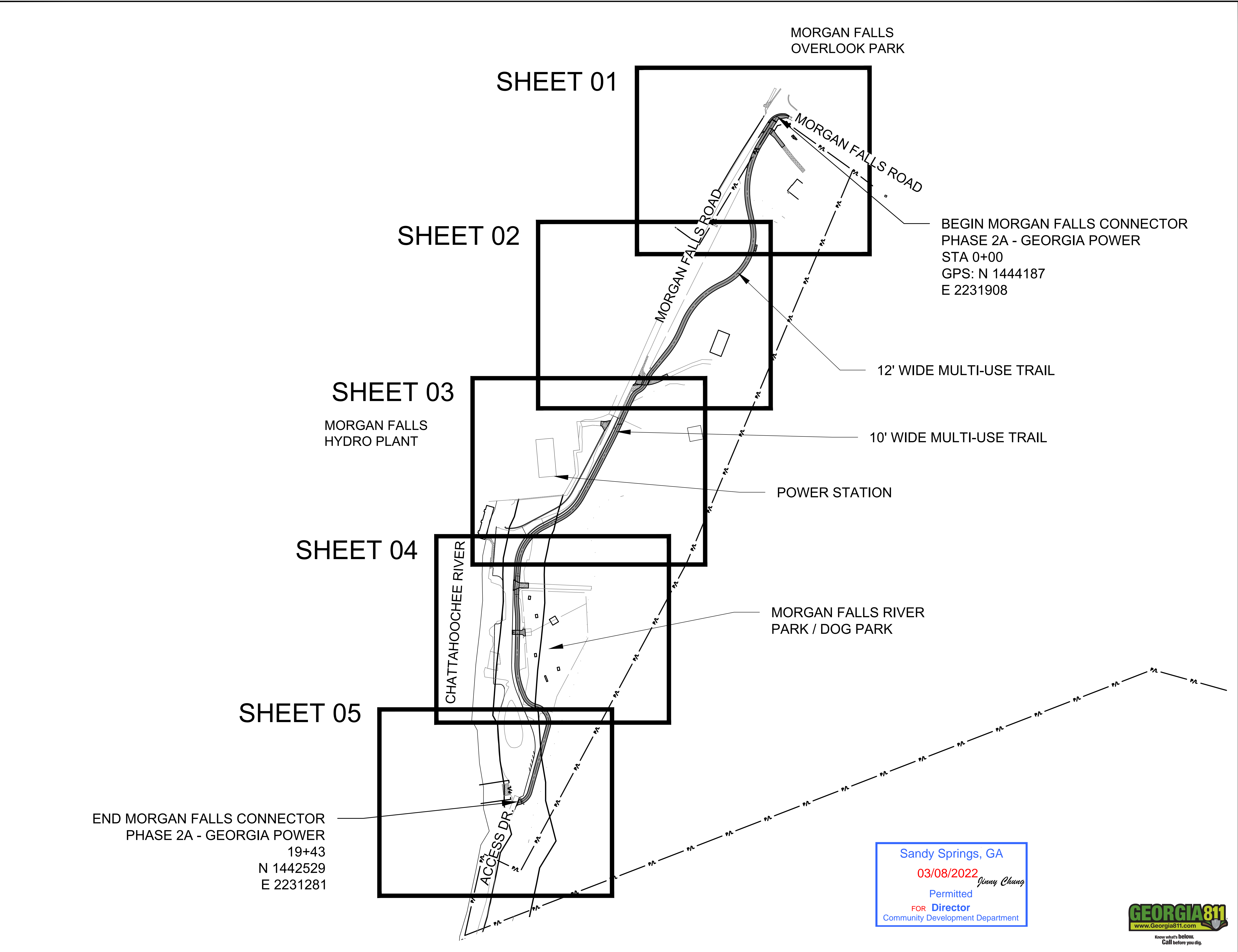
REGISTERED PROFESSIONAL ENGINEER
No. 31674
CHARLES M. ABBOTT JR.
06/06/22

40 0 20 40 80
(IN FEET)
1 inch = 40 feet

IMPERVIOUS AREA GRAPHIC

SCALE 1"=40'-0"
DATE JUNE 06, 2022

SHEET # **RC-03**



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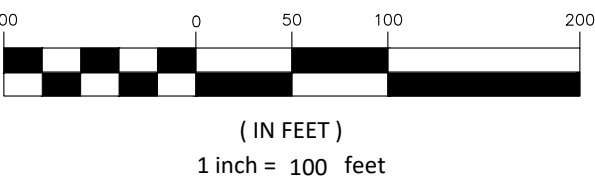
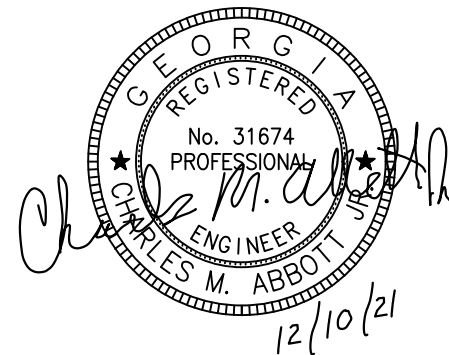
24 HOUR CONTACT - JONATHAN MCCAIG
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PROJECT # 2020 - 210
PROJECT MANAGER CMA

**MORGAN FALLS
CONNECTOR PHASE 2A
GEORGIA POWER**

SANDY SPRINGS, GA



COMPOSITE MAP

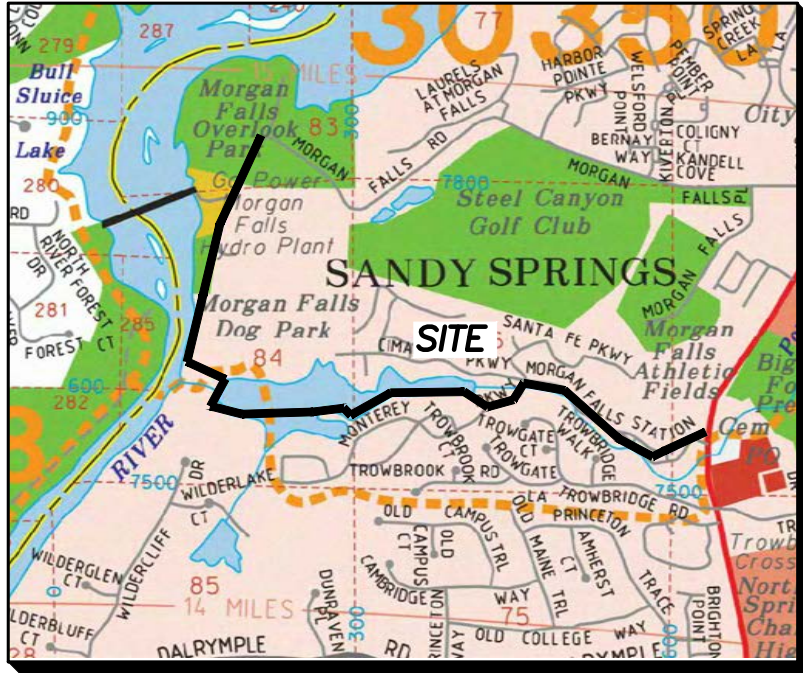
SCALE	1"=100'-0"
DATE	DECEMBER 10, 2021
SHEET #	CM-01

100 Morgan Falls Rd.

RP21-00002 + RW21-00194

Sandy Springs, GA
03/08/2022
Permitted
FOR Director
Community Development Department





LOCATION MAP - N.T.S.

LEGEND

- AIF ANGLE IRON FOUND
AMF ALUM. MONUMENT FOUND
BC BACK OF CURB
BSL BUILDING SETBACK LINE
CB CATCH BASIN
CBL CABLE BOX
CL CENTERLINE
CMF CONC. MONUMENT FOUND
CONC. CLEANOUT
CONC. CONCRETE
CTF CRIMPED TOP FOUND
DB DEED BOOK
DE DRAINAGE EASEMENT
DI DROP INLET
EP EDGE OF PAVEMENT
ESMT EASEMENT
FIRE HYDRANT
GAS METER
GMD GEORGIA MILITIA DISTRICT
HEADWALL
IPS 1/2" REBAR SET
JUNCTION BOX
LL LAND LOT
LLL LAND LOT LINE
LIGHT POLE
MANHOLE
MNS MAG NAIL SET
N/F NOW OR FORMERLY
OHP OVERHEAD POWER
OTF OPEN TOP FOUND
PB PLAT BOOK
PS POWER BOX
P/L PROPERTY LINE
POB POINT OF BEGINNING
POWER POLE
PLAT SLIDE
RBF REBAR FOUND
R/W RIGHT OF WAY
S/D SUBDIVISION
SERVICE POLE
UTILITY MANHOLE
WATER METER
WATER VALVE
YARD INLET

TREE LEGEND

- ASH ASH
BE BOXELDER
BH BEECH
BI BIRCH
BP BRADFORD PEAR
C CEDAR
CH CHERRY
CM CREPE MYRTLE
CW COTTONWOOD
DW DOGWOOD
GI GINKGO
HB HACKBERRY
HK HICKORY
MA MAPLE
MAG MAGNOLIA
MI MIMOSA
O OAK
PC PECAN
PE PEAR
PI PINE
PO POPLAR
UK UNK HARDWOOD
SG SWEETGUM
SM SYCAMORE
SW SOURWOOD
WA WALNUT
LS LANDSCAPE TREE

LINETYPE LEGEND

- O— FENCE
—G— GAS LINE
—HP— OVERHEAD POWER
—S— SEWER LINE
—UT— UNDERGROUND COMMUNICATION
—UP— UNDERGROUND POWER LINE
—W— WATER LINE
—900— CONTOUR LINE
—P/L— EXISTING PROPERTY LINE
—R/W— EXISTING RIGHT-OF-WAY

Sandy Springs, GA

03/08/2022

Permitted

FOR Director
Community Development Department

NOTES:

THE SURVEYORS CERTIFICATION EXTENDS TO THE TOPOGRAPHIC SURVEY AND DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS NOT TO BE RECORDED OR USED TO CONVEY PROPERTY.

EQUIPMENT USED:

LEICA TCPR 1205 FOR ANGULAR & LINEAR MEASUREMENTS.
LEICA GS 14 DUAL FREQUENCY RTK ROVER FOR HORIZONTAL & VERTICAL REFERENCE POINTS USING THE LEICA SMARTNET RTK NETWORK.

GPS - RELATIVE POSITIONAL ACCURACY, +/-0.1H & 0.15V.

HORIZONTAL DATUM IS BASED ON NAD 1983 (GA. WEST ZONE).
VERTICAL DATUM IS BASED ON NAVD 1988.

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N/F
CITY OF SANDY SPRINGS
PARCEL: 17 0077LL0243

N/F
GEORGIA POWER COMPANY
PARCEL: 17 0077LL0136

N/F
GEORGIA POWER COMPANY
PARCEL: 17 0077LL0136

N/F
GEORGIA POWER COMPANY
PARCEL: 17 007600010010

GEORGIA GRID NORTH
NAD1983 - WEST ZONE



TOPOGRAPHIC SURVEY FOR:
THE PATH FOUNDATION
"MORGAN FALLS PARK CONNECTOR"
LAND LOTS 31, 76 & 84, 17th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

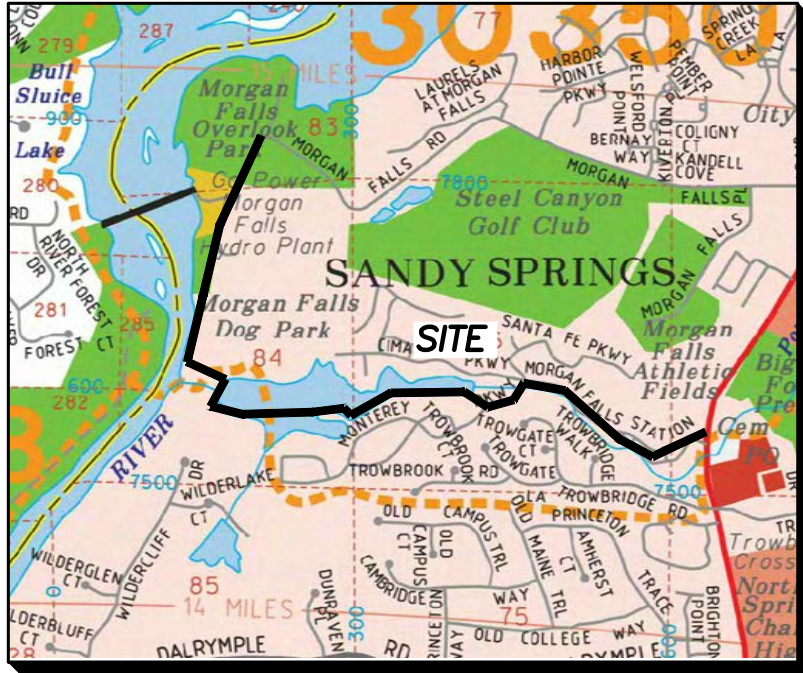
JOB NUMBER: JN2020-103
DATE: 5/13/2021
FIELD DATE: 11/11/2020
SCALE: 1"=20FT
DRAWN BY:
CHECKED BY:
REVISIONS:

SHEET
20 OF 22

100 Morgan Falls Rd.

RP21-00002 + RW21-00194

FLOYD
& ASSOCIATES, INC.
2060 BUFORD HWY., SUITE 105
BUFORD, GEORGIA 30518
PHONE (770) 531-0900 FAX (770) 531-0995
LAND SURVEYING FIRM #155



LOCATION MAP - N.T.S.

LEGEND

- AIF ANGLE IRON FOUND
- AMF ALUM. MONUMENT FOUND
- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- CB CATCH BASIN
- CABLE BOX
- CL CENTERLINE
- CMF CONC. MONUMENT FOUND
- CLEANOUT
- CONC. CONCRETE
- CTF CRIMPED TOP FOUND
- DB DEED BOOK
- DE DRAINAGE EASEMENT
- DROP INLET
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- ⚡ FIRE HYDRANT
- ⊙ GAS METER
- GMD GEORGIA MILITIA DISTRICT
- ⤴ HEADWALL
- IPS 1/2" REBAR SET
- ⊙ JUNCTION BOX
- LL LAND LOT
- LLL LAND LOT LINE
- ⋆ LIGHT POLE
- ⊙ MANHOLE
- MNS MAG NAIL SET
- N/F NOW OR FORMERLY
- ONP OVERHEAD POWER
- OTF OPEN TOP FOUND
- PB PLAT BOOK
- ⊙ POWER BOX
- P/L PROPERTY LINE
- POB POINT OF BEGINNING
- ⬛ POWER POLE
- PS PLAT SLIDE
- RBf REBAR FOUND
- R/W RIGHT OF WAY
- S/D SUBDIVISION
- ⊙ SERVICE POLE
- ⊙ UTILITY MANHOLE
- ⊙ WATER METER
- ⋈ WATER VALVE
- ⊙ YARD INLET

TREE LEGEND

- ASH ASH
- BE BOXELDER
- BH BEECH
- BI BIRCH
- BP BRADFORD PEAR
- C CEDAR
- CH CHERRY
- CM CREPE MYRTLE
- CW COTTONWOOD
- DW DOGWOOD
- GI GINKGO
- HB HACKBERRY
- HK HICKORY
- MA MAPLE
- MAG MAGNOLIA
- MI MIMOSA
- O OAK
- PC PECAN
- PE PEAR
- PI PINE
- PO POPLAR
- UK UNK HARDWOOD
- SG SWEETGUM
- SM SYCAMORE
- SW SOURWOOD
- WA WALNUT
- LS LANDSCAPE TREE

LINETYPE LEGEND

- FENCE
- G— GAS LINE
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EQUIPMENT USED:

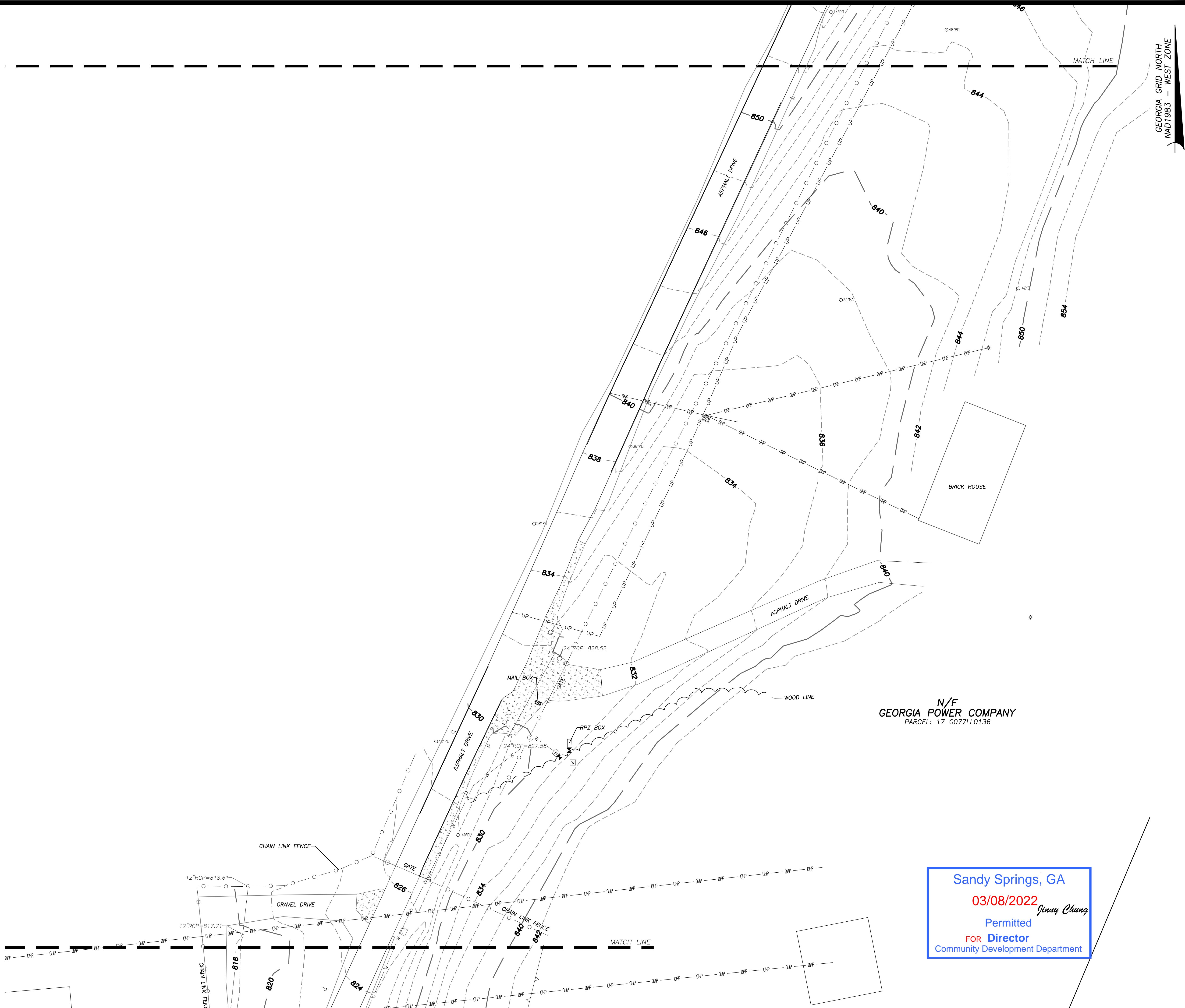
LEICA TCPR 1205 FOR ANGULAR & LINEAR MEASUREMENTS.
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Sandy Springs, GA

03/08/2022

Permitted

FOR Director
Community Development Department

THE PATH FOUNDATION
"MORGAN FALLS PARK CONNECTOR"
LAND LOTS 31, 76 & 84, 17th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

TOPOGRAPHIC SURVEY FOR:

JOB NUMBER:JN2020-103

DATE: 4/12/2021

FIELD DATE: 11/11/2020

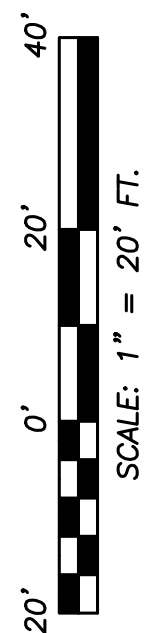
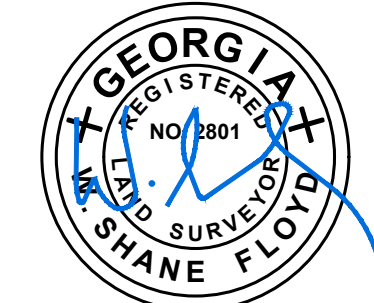
SCALE: 1"=20FT

DRAWN BY:

CHECKED BY:

REVISIONS:

SHEET
19 OF 22



FLOYD
& ASSOCIATES, INC.
2060 BUFORD HWY., SUITE 105
BUFORD, GEORGIA 30518
PHONE (770) 531-0900 FAX (770) 531-0905
LAND SURVEYING FIRM #155

100 Morgan Falls Rd.

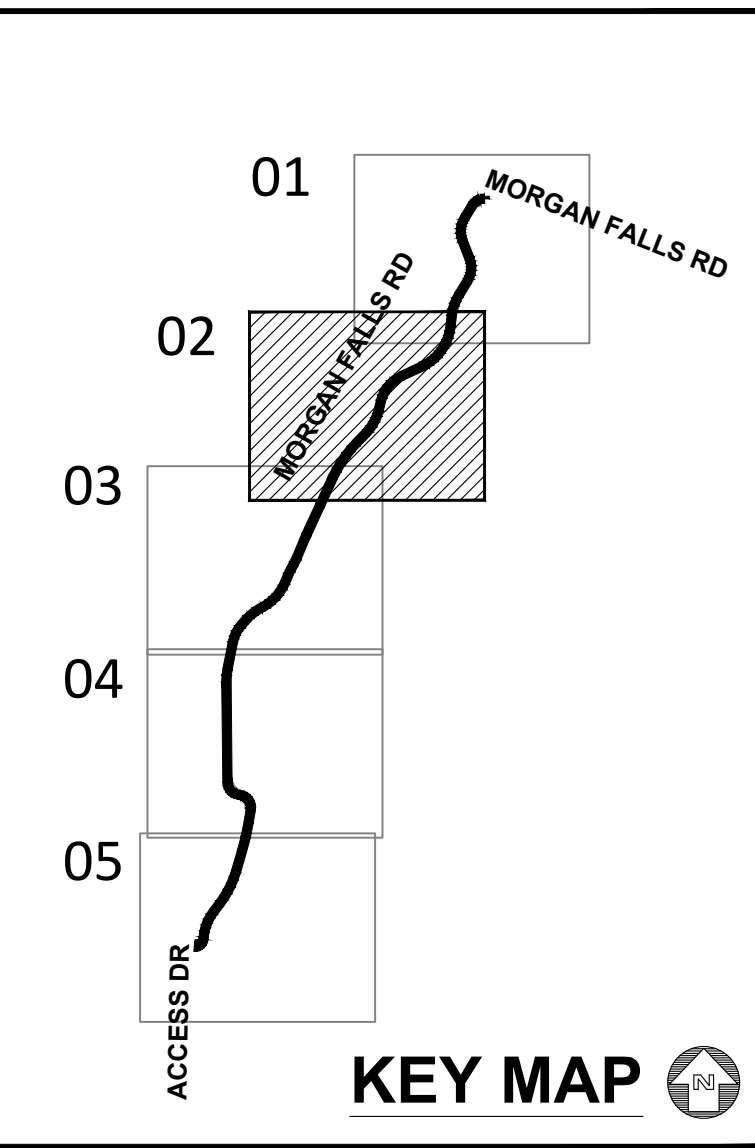
RP21-00002 + RW21-00194

SHEET NOTES:
1. CONTRACTOR TO ENSURE NO CONSTRUCTION IMPACT TO EXISTING RECOMPENSE TREES (NOT SHOWN ON SURVEY). CONTRACTOR TO NOTIFY CITY ARBORIST & PROJECT LANDSCAPE ARCHITECT OF ANY EXISTING TREES WITHIN TRAIL CONSTRUCTION LIMITS FOR RELOCATION PRIOR TO CONSTRUCTION
2. DETECTABLE WARNING SURFACE: COLOR - YELLOW. CONTRACTOR TO VERIFY WITH CITY OF SANDY SPRINGS PRIOR TO CONSTRUCTION
3. CONTRACTOR TO STAKE TRAIL CENTER LINE FOR REVIEW AND APPROVAL BY PROJECT MANAGER PRIOR TO CONSTRUCTION
4. ALL UTILITY BOXES, VAULTS, VALVES, METERS, AND ACCESS STRUCTURES TO BE SET FLUSH WITH FINAL GRADE UNLESS OTHERWISE NOTED ON PLANS.
5. PROP. REPLACEMENT FENCE & GATES FROM APPROX. STA 0+00 TO STA 8+60 AS SHOWN ON PLANS TO BE SET & SECURE PRIOR TO REMOVAL OF EXIST. FENCE & GATES TO ENSURE GEORGIA POWER PROPERTY REMAINS FULLY SECURE & PREVENT PUBLIC INGRESS DURING & AFTER CONSTRUCTION. CONTRACTOR TO COORDINATE FENCE PHASING PLAN WITH CITY, PROJECT MANAGER, AND GP AT PRE-CONSTRUCTION MTG.

KAIZENCOLLABORATIVE
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521
CHARLES M. ABBOTT JR, P.E.
DESIGN ENGINEER LEVEL II CERTIFICATION
GSWCC # 000004168 EXPIRES: 04/13/2022
CHUCK.ABBOTT@KAIZENCOLLABORATIVE.COM
O: 404-239-2521



24 HOUR CONTACT - JONATHAN McCAIG
E: JONATHAN@PATHFOUNDATION.ORG
O: 404-875-7284 x 5 C: 404-433-1900

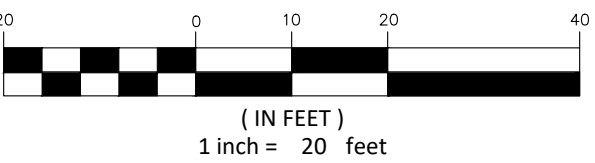
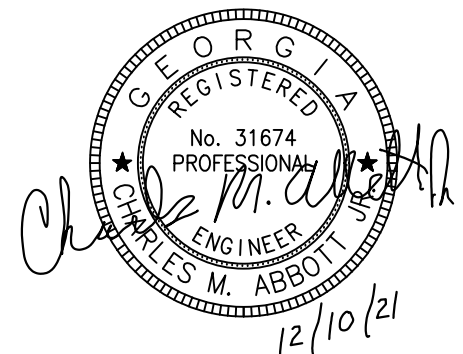


DATE	DESCRIPTION
05/14/2021	ISSUE FOR REVIEW
07/07/2021	ARC REVIEW SET
08/20/2021	ISSUE FOR REVIEW
09/27/2021	GP SECURITY COMMENTS
11/04/2021	REV. EPD COMMENTS
12/10/2021	ISSUE FOR PERMIT

PROJECT # 2020 - 210
PROJECT MANAGER CMA

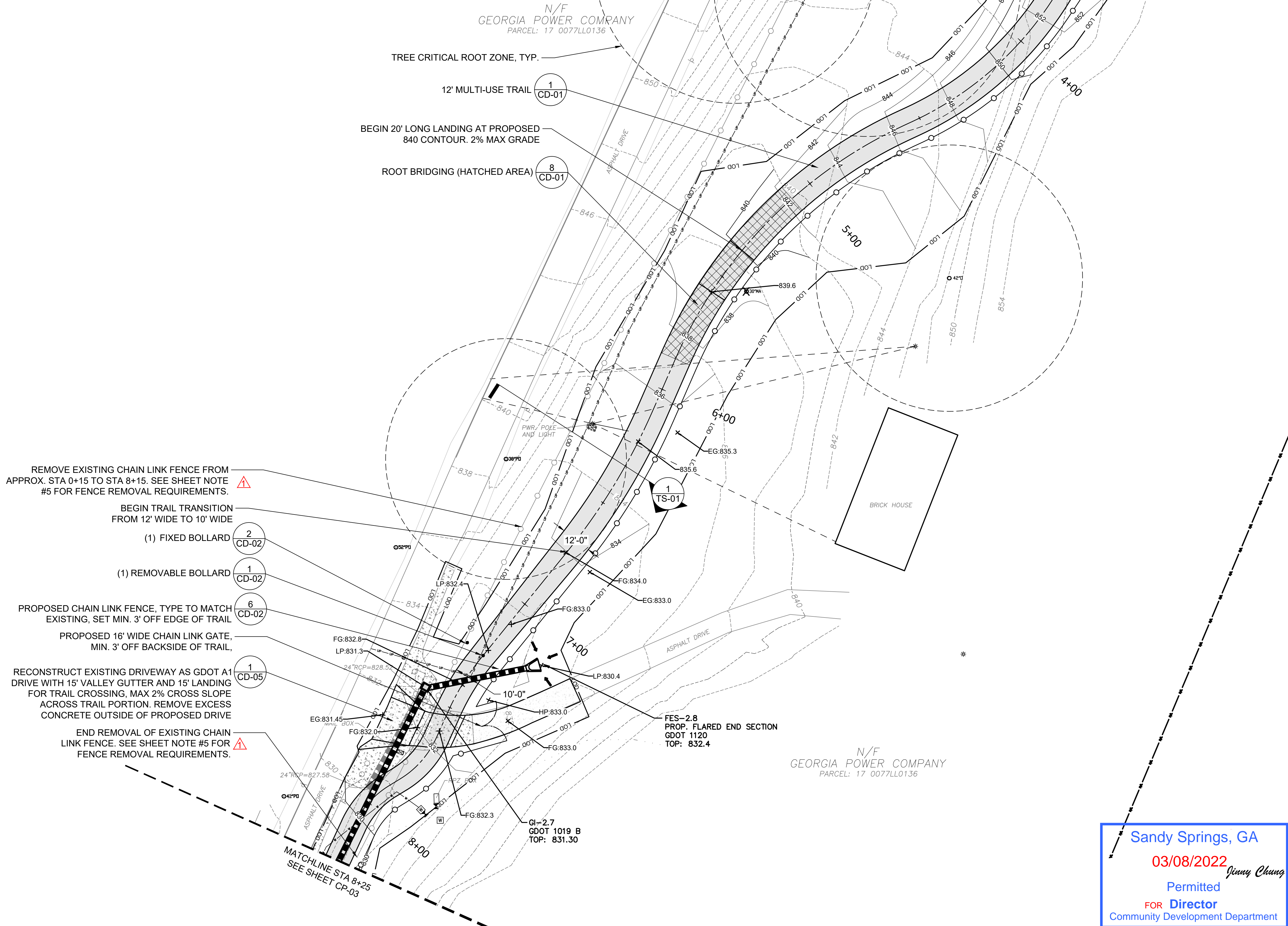
**MORGAN FALLS
CONNECTOR PHASE 2A
GEORGIA POWER**

SANDY SPRINGS, GA



CONSTRUCTION PLAN

SCALE	1"=20'-0"
DATE	DECEMBER 10, 2021
SHEET #	CP-02




Sandy Springs, GA
03/08/2022
Permitted
FOR Director
Community Development Department





100 Morgan Falls Rd.

RP21-00002 + RWV21-00194

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10' MULTI-USE TRAIL 

(1) REMOVABLE BOLLARD 

OF EXIST. ASPHALT DRIVE. 
ASPHALT DRIVE AS SHOWN

GDOT A1 DRIVE. MATCH END OF DRIVE TO
GRADE W/ EXIST. GRAVEL

24" CONC. ROLL CURB, TAPER TO ROAD GRADE
OVER 12LF AT ALL ENDS AND AT DRIVEWAYS, TYP

BEGIN GRANITE RETAINING WALL #1, W/ GRANITE
CAP & POST & CABLE RAILING, REFER TO
STRUCTURAL PLANS FOR DETAILS

HP:819.50
BERM

CONTRACTOR TO SLOPE NEW
ROADWAY PAVEMENT AND
TRAIL AT -2% TO WEST(TYP)

EXISTING FLOOD
LINE ZONE "AE"
ELEV. 812.5

EXISTING WI-2.1
FC 627
EXISTING FULTON COUNTY WEIR
INLET. TO REMAIN.
TRANSITION CURB TO
FLUME AND DRAIN TO
EXISTING WEIR INLET.

END MILLING AND PAVING OF 15' WIDE
ASPHALT DRIVE, BEGIN GRAVEL DRIVE

6" CONCRETE HEADER CURB WITH
1'-0" WIDE BREAKS EVERY 8'-0" TYP

REMOVE EXISTING GRAVEL BEYOND TRAIL
AND AERATE GROUND. TYP

FILL GRAVEL PARKING AS NEEDED TO
CREATE MIN. 6" OF GRAVEL DEPTH AND
COMPACT TO MIN. 90% STD. PROCTOR

APPROX. 10'-0" BREAK BETWEEN
HEADER CUBR FOR ACCESS TO
EXISTING CONCRETE RAMP

NO CUT/FILL AT BASE OF
STRUCTURE 8 POLE.
EXISTING GRADE=814.0
PROPOSED GRADE=814.0

N/F
GEORGIA POWER COMPANY
PARCEL: 17 0077LL0136

03/08/2022

Permitted

FOR Director

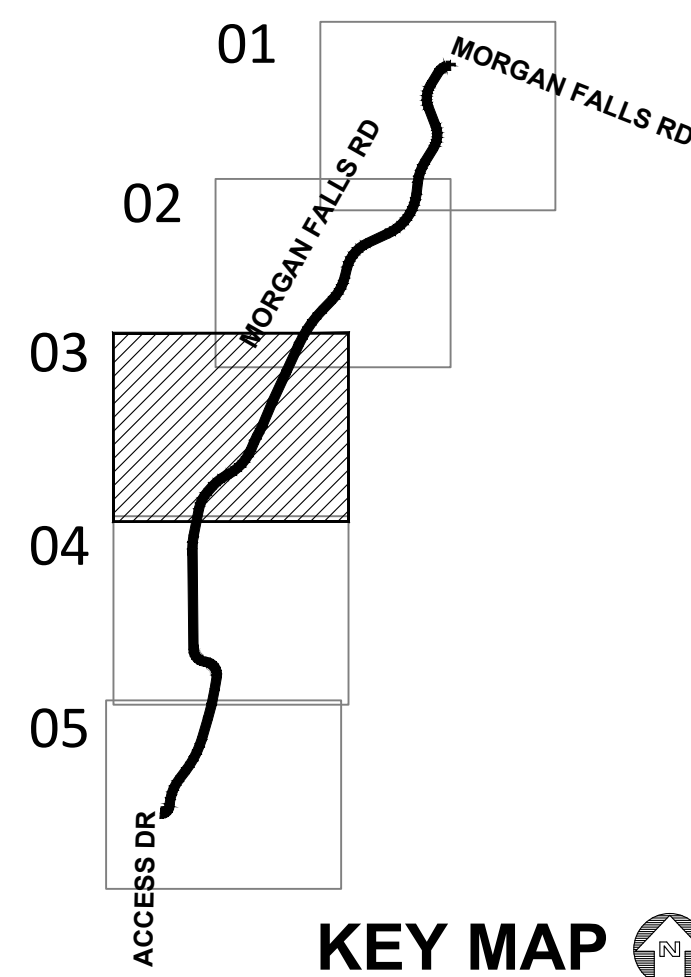
Community Development Department


2390 MAIN STREET	TUCKER, GEORGIA 30084	404.239.252
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DESIGN ENGINEER LEVEL II CERTIFICATION
GSWCC # 000004168 EXPIRES: 04/13/2022
CHUCK.ABBOTT@KAIZENCOLLABORATIVE.COM
O: 404-239-2521



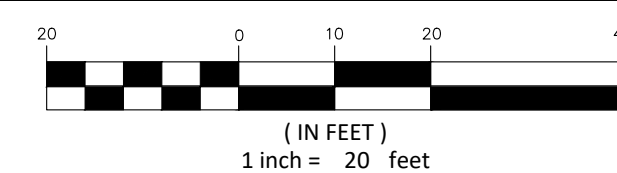
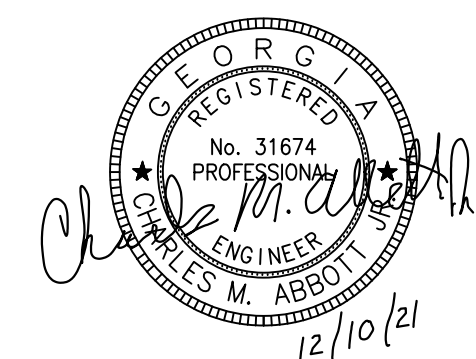
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	12/10/2021	ISSUE FOR PERMIT

PROJECT #	2020 - 210
PROJECT MANAGER	CMA

**MORGAN FALLS
CONNECTOR PHASE 2
GEORGIA POWER
SANDY SPRINGS, GA**



CONSTRUCTION PLAN

SCALE	1"=20'-0"	
DATE	DECEMBER 10, 2021	
	SHEET #	CP-03

100 Morgan Falls Rd.

RP21-00002 + RW21-00194