



ATLANTA REGIONAL COMMISSION

REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: MAY 21, 2021

ARC REVIEW CODE: V2105211

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Lindsay Walker, City of Sandy Springs, City of Sandy Springs
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-21-02SS 245 Landfall Road

Review Type: Metro River

MRPA Code: RC-21-02SS

Description: A Metropolitan River Protection Act (MRPA) review of a proposed pool addition to an existing single family home at 245 Landfall Road in the City of Sandy Springs. The 18,000 SF project would disturb 15,997 SF of land and result in 6,767 SF of impervious surface, all in Category C. Please see the attached memo about the last MRPA "fast track" review conducted on this property in 1979 and ARC's staff determination finding that the project is equivalent to being consistent with MRPA.

Preliminary Finding: ARC staff has opened its review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the project is equivalently consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs

Land Lot: District: 0 Section:

Date Opened: May 21, 2021

Deadline for Comments: Monday, May 31, 2021

Earliest the Regional Review can be Completed: Tuesday, June 1, 2021 (first business day after comment deadline)

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
NATIONAL PARK SERVICE-CRNR
FULTON COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
CHATTAHOOCHEE RIVERKEEPER

Comments and questions must be emailed to Greg Giuffrida at ggiuffrida@atlantaregional.org. If ARC staff does not receive comments from you on or before Monday, May 31, 2021, we will assume that your agency has no additional comments and will close the review. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

[illegible]

May 20, 2021

Copy of City of Sandy Springs Email
Request to open River Corridor Review of 245 Landfall Road
Received Friday, May 14, 2021

Good afternoon,
Please see the attached information for a river corridor review. Please let me know if you have any questions.
Thanks,

Lindsay Walker
ISA SO-9966A
City Arborist
City of Sandy Springs

Phone: 770.206.1568 | Cell: 770.283.0877
1 Galambos Way, Sandy Springs, Georgia 30328
SandySpringsGA.gov | [Facebook.com/SandySpringsGA](https://www.facebook.com/SandySpringsGA) | [Twitter.com/SandySpringsGA](https://twitter.com/SandySpringsGA)

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. **Name of Local Government:** City of Sandy Springs
2. **Owner(s) of Record of Property to be Reviewed:**
Name(s): Paul & Elizabeth Di Maria
Mailing Address: 245 Landfall Road
City: Sandy Springs **State:** GA **Zip:** 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: 781-248-1495 (Elizabeth) **Fax:** _____
Other Numbers: 513-405-5150 (Paul)
3. **Applicant(s) or Applicant's Agent(s):**
Name(s): Al Ansley - Gaddy Surveying & Design, Inc. (applicant's agent)
Mailing Address: 1215 Pleasant Hill Road
City: Lawrenceville **State:** GA **Zip:** 30044
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-931-5920 **Fax:** 770-931-5903
Other Numbers: 770-527-1144 (cell)
4. **Proposed Land or Water Use:**
Name of Development: 245 Landfall Road
Description of Proposed Use: Residential parcel requesting review for a proposed pool addition.
5. **Property Description (Attach Legal Description and Vicinity Map):**
Land Lot(s), District, Section, County: Land Lot 130, 17th District, Fulton County, GA
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
Breakwater Unit Four S/D, Lot 32, Block B, 245 Landfall Rd, 440.14 feet from Breakwater Ridge Rd
Size of Development (Use as Applicable):
Acres: **Inside Corridor:** 0.41 acre
Outside Corridor: N/A
Total: 0.41 acre
Lots: **Inside Corridor:** _____
Outside Corridor: _____
Total: N/A
Units: **Inside Corridor:** _____
Outside Corridor: _____
Total: N/A
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: N/A

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? Yes

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): RC-79-55FC

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system X

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)	(75)
B	_____	_____	_____	(80)	(60)
C	<u>18,000 SF</u>	<u>15,997 SF</u>	<u>6,767.8 SF</u>	<u>(70) 89%</u>	<u>(45) 37.6%</u>
D	_____	_____	_____	(50)	(30)
E	_____	_____	_____	(30)	(15)
F	_____	_____	_____	(10)	(2)
Total:	<u>18,000 SF</u>	<u>15,997 SF</u>	<u>6,767.8SF</u>	N/A	N/A

NOTE: This property was reviewed as a fast track review in 1979 (RC-79-55FC. Fast track reviews limited impervious surfaces to 20%of the property area and did not limit land disturbance regardless of category. Fast track reviews ended in the early 1980s and new reviews of fast track properties must meet current Corridor Plan Standards. The current land disturbance exceeds the current maximum allowed in C and E but was done under a valid review. It has been determined that the existing land disturbance constitutes a hardship under Part 1.B of the Chattahoochee Corridor Plan. The project has also been determined to be equivalent to a consistent project, as provided for in Section 12-5-445(b)(1)(B) of the Metropolitan River Protection Act, using an average weighted runoff coefficient test. As the project has met the average weighted runoff coefficient test , it has been found that, while not consistent with the Plan in all respects, it is equivalent to a fully consistent project and can be built as proposed. The test and determination are attached.

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

X Existing vegetation plan.

X Proposed grading plan.

X Certified as-builts of all existing land disturbance and impervious surfaces.

X Approved erosion control plan.

X Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

_____ Documentation on adjustments, if any.

_____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

_____ Concept plan.

_____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Elizabeth D. Maria

Paul D. Maria



Signature(s) of Owner(s) of Record

4/28/21

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Al Ansley - Gaddy Surveying & Design, Inc. (Owner's agent for this application)

Al Ansley

Signature(s) of Applicant(s) or Agent(s)

4/27/21

Date

14. The governing authority of City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.



Lindsay Walker

5/14/2021

Signature of Chief Elected Official or Official's Designee

Date

Memorandum

Date: May 19, 2021

To: File

From: Jim Santo, ARC

Subject: Equivalent Consistency Calculations for 245 Landfall Road, City of Sandy Springs

This property was originally reviewed in 1979 (RC-79-55FC) for the construction of the existing house. Both the review and the vulnerability map for the property area show it as entirely in the C vulnerability category, which allows 70% land disturbance and 45% impervious surface. However, the property was submitted as a “fast track” review. Fast track reviews were started in 1976 after the initial three year exemption period provided in the 1973 Metropolitan River Protection Act expired as a way to address a large influx of individual single-family lots in subdivisions that had been platted before the Act took effect. To be eligible for fast track review, a parcel had to meet two criteria. First, all proposed development had to be more than 150 feet from the River and second, the total impervious surface could not exceed 20% of the property area, regardless of the categories shown on the vulnerability map. There was no limit on land disturbance. If the proposed development met those two criteria, it was allowed to proceed. The fast track review was eliminated in the early 1980s. Any new review of a fast track property must meet current plan standards.

An application for a pool addition has been submitted for 245 Landfall Road. While the current impervious area exceeds the original 20%, the proposed project, including both existing and proposed impervious, is well below the 45% maximum allowed in the C category. However, an assessment of the property shows that the land disturbance on the site is about 88%, which exceeds the 70% land disturbance maximum in the C category. Based on aerial photo evidence, it appears that most, if not all, of this disturbance was done when the house was built. Because the Plan does not allow revegetation to offset excess land disturbance, it cannot be restored and will count as land disturbance in excess of the C maximum in any future review.

However, the land disturbance on the property was allowed under the Plan standards at the time of the original review. Therefore, ARC staff believes that this situation constitutes a hardship for the property owners and that the property is eligible for the equivalent consistent finding provided for in both Metropolitan River Protection Act (MRPA) and the Chattahoochee Corridor Plan. Once a hardship has been determined on a property that is being considered for review, an average weighted runoff coefficient test is used to determine if the project proposed on the property can be considered equivalent to a consistent project, even though it cannot meet Plan requirements in all respects. The test involves comparing the average weighted runoff coefficient for a maximum consistent project (which assumes the property is undeveloped and the maximum amounts of land disturbance and impervious in each category are proposed) and the current proposed project.

If the proposed project's average weighted runoff coefficient is the same or less than the coefficient for the maximum consistent project, then the proposal is considered to be equivalent to a consistent project and the review can be handled administratively with an equivalent finding.

First, the runoff coefficient for the maximum consistent project is calculated. Using the maximum allowable amounts for each category on a property, the total allowable amounts of land disturbance and impervious for the whole property are calculated (here, it is just one category). Using the total lot area, it is divided into the natural area (the undisturbed area – which is the total area less the disturbed area), the landscaped area (disturbance less impervious) and the impervious area. These amounts are divided by the total property area to determine what percentage of the site is natural, landscaped or impervious. The percentages are then multiplied by the appropriate runoff coefficient: 0.30 for natural, 0.35 for landscaped and 0.95 for impervious. The three resulting numbers are added together and the result is the average weighted runoff coefficient for a maximum consistent project on the subject property. The process is then repeated for the proposed project.

245 Landfall Road Maximum Consistent Project:

All land on this property is in the C vulnerability category:

Category	Total Area	Land Disturbance	Impervious Surface
C	18,000 SF	12,600 SF (70%)	8,100 sf (45%)

Using these numbers, the natural, landscaped and impervious areas are calculated as follows:

Natural: Subtract the total maximum disturbed area from the total lot area

Landscaped: Subtract the total maximum impervious from the total maximum disturbed area

Impervious: The total impervious area is used as is.

The resulting numbers are:

Natural: $18,000 - 12,600 = 5,400 \text{ SF}$

Landscaped: $12,600 - 8,100 = 4,500 \text{ SF}$

Impervious: **8,100 SF**

The percentages are calculated based on these numbers and are then multiplied by the appropriate runoff coefficient (0.30 for natural, 0.35 for landscaped and 0.95 for impervious). The results are added together, and the result is the average weighted runoff coefficient for the maximum consistent project:

Natural:	$5,400 / 18,000 = 0.30 \times 0.30 = 0.0900$
Landscaped:	$4,500 / 18,000 = 0.25 \times 0.35 = 0.0875$
Impervious	$8,100 / 18,000 = 0.45 \times 0.95 = 0.4275$
Consistent average weighted runoff coefficient:	0.605

245 Landfall Road Proposed Project:

The process is repeated for the proposed project:

Category	Total Area	Project Land Disturbance	Project Impervious Surface
C	18,000 SF	15,997 SF (89%)	6,768 sf (37.6%)

Based on these numbers, the proposed project natural, landscaped and impervious areas are calculated:

Undisturbed (or Natural)	18,000 – 15,997 = 2,003 SF
Disturbed (includes impervious):	15,997 – 7,053 = 9,229 SF
Impervious	6,768 SF

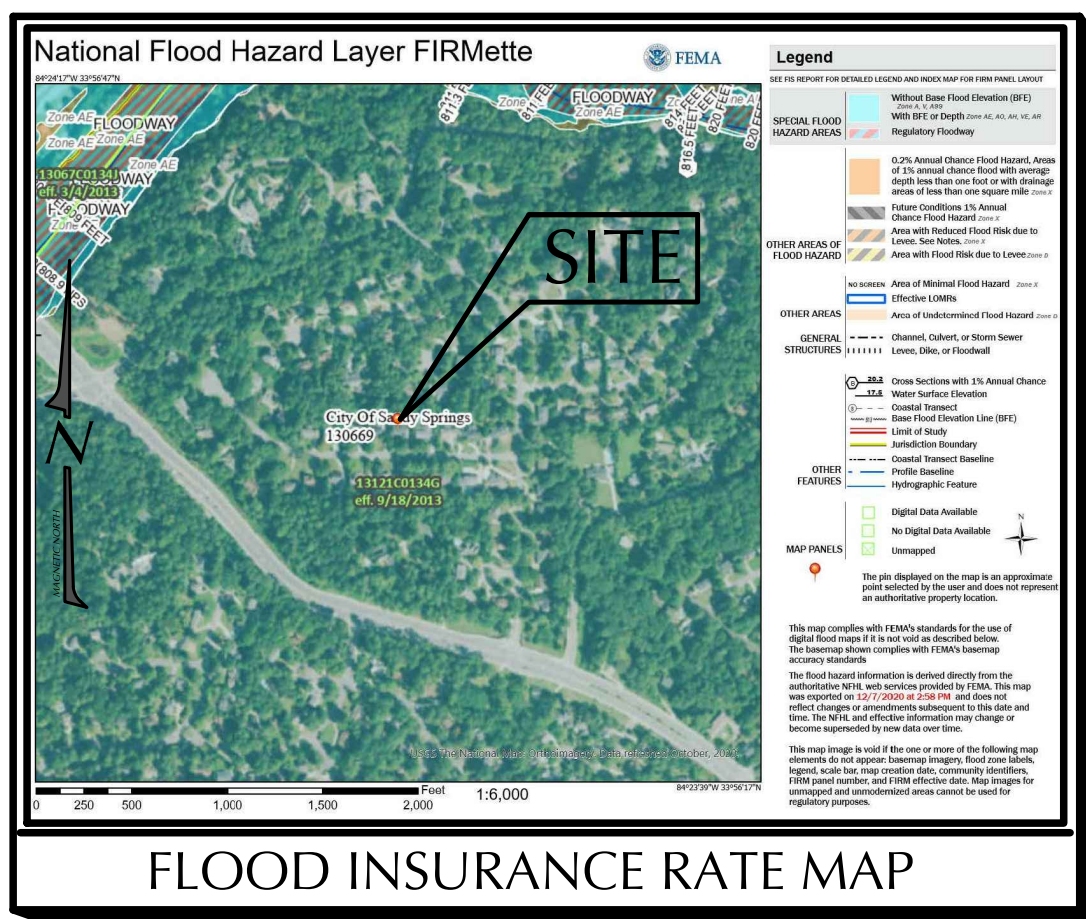
Using the resulting numbers, the current runoff coefficient is calculated:

Natural:	2,003 / 18,000 = 0.111 x 0.30 = 0.033
Landscaped:	9,229 / 18,000 = 0.513 x 0.35 = 0.180
<u>Impervious</u>	<u>6,768 / 18,000 = 0.376 x 0.95 = 0.357</u>
Proposed average weighted runoff coefficient:	0.570

Determination:

The average weighted runoff coefficient score for the proposed project, 0.57, is lower than the maximum consistent project coefficient score of 0.605, meaning the proposed project meets the average weighted runoff coefficient test and can be found equivalent to a consistent project in a review.

NOTE: This memo is a revision of one developed on April 8, 2021 prior to the submission of the review. The impervious proposed in the review was less than originally estimated, necessitating a recalculation of the numbers to accurately calculate the runoff coefficient for the proposed project.



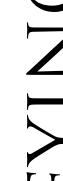
LEGEND	
IPS	IRON PIN SET
RBF	REBAR POLY ND
CTF	CRIMP TOP FOUND
OTF	OPEN TOP FOUND
JB	JUNCTION BOX
R/W	RIGHT-OF-WAY
B.L.	BUILDING LINE
2	PROPERTY LINE
CB	CATCH BASIN
HW	HEADWALL
SMH	SEWER MANHOLE
-X-	FENCE
L.L.L.	LAND LOT LINE
O.L.L.	ORIGINAL LOT LINE
S.E.	SEWER EASMT.
U.E.	UTILITY EASMT.
C.L.	CHAIN LINK
PP	POWDER HOLE
DP	DROP INLET
LP	LIGHT POLE
	EDGE OF PAVEMENT
⊕	CENTERLINE



SITE INFORMATION:


	245 LANDFALL ROAD
ZONING:	TOTAL AREA: 0.47 ACRES
	102-18 REQUIREMENTS
LOT WIDTH:	100' FEET MIN.
MINIMUM LOT AREA:	18,000 S.F.
MINIMUM YARD ADJACENT TO PUBLIC STREET:	
FRONT YARD:	50 FEET
INTERIOR SIDE YARD SETBACKS:	10 FEET
REAR YARD:	35 FEET
MAXIMUM LOT COVERAGE	35 PERCENT
	40 PERCENT (WITH MITIGATION)
MINIMUM PARKING:	2
MAXIMUM BUILDING HEIGHT:	3 STORIES / 40 FEET
UTILITIES:	
GAS - ATLANTA GAS LIGHT CO.	
TELEPHONE - AT&T	
POWER - GEORGIA POWER	
THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A.	
SPECIAL FLOOD HAZARD AREA AS PER FULTON COUNTY FLOOD	
INSURANCE RATE MAP 213121C0134G, EFFECTIVE DATE: 09-18-2013	

REVISIONS			
NO.	DATE	BY	DESCRIPTION
1.	1-22-21	CJW	REVISION PER CITY REQ.
2.	4-18-21	CJW	REVISION PER CLIENT REQ.
3.	5-13-21	CJW	REVISION PER CLIENT REQ.



**GADDY SURVEYING
& DESIGN, INC.**

1215 Pleasant Hill Road
Lawrenceville, Georgia 30044
Phone: (770) 962-1500
FAX: (770) 931-5003




245 LANDFALL ROAD
 LOT 32 ~ BLOCK "B"
 BREAKWATER SUBDIVISION ~ UNIT FOUR
 (PLAT BOOK 113, PAGE 110)
 LAND LOT 130 ~ 17TH DISTRICT
 CITY OF SANDY SPRINGS ~ FULTON COUNTY, GEORGIA

DATE 12/8/20	DRAWN VFG	CHECKED VFG
SCALE: 1" = 20'		
SHEET TITLE		
EXISTING CONDITIONS		

PROJECT NUMBER
NPI-20-012

1

DRAWING NUMBER


Geotechnical Engineering & Environmental Engineering

December 24, 2020

Neptrum Pools
4505 Bamford Drive
Sugar Hill, Georgia 30518

Attention: Ms. Jessica Callahan

Subject: Letter of Infiltration Test Results
245 LANDWALL ROAD
Sandy Springs, Georgia 30328
Project Number 2020047

Dear Mr. Callahan:

Cumberland Engineering Consultants (CEC) has completed the authorized infiltration testing for 245 LANDWALL ROAD located in Sandy Springs, Georgia. This letter briefly discusses our understanding of the project, describes the engineering consulting services performed by CEC, and presents our test results.

SITE AND PROJECT INFORMATION

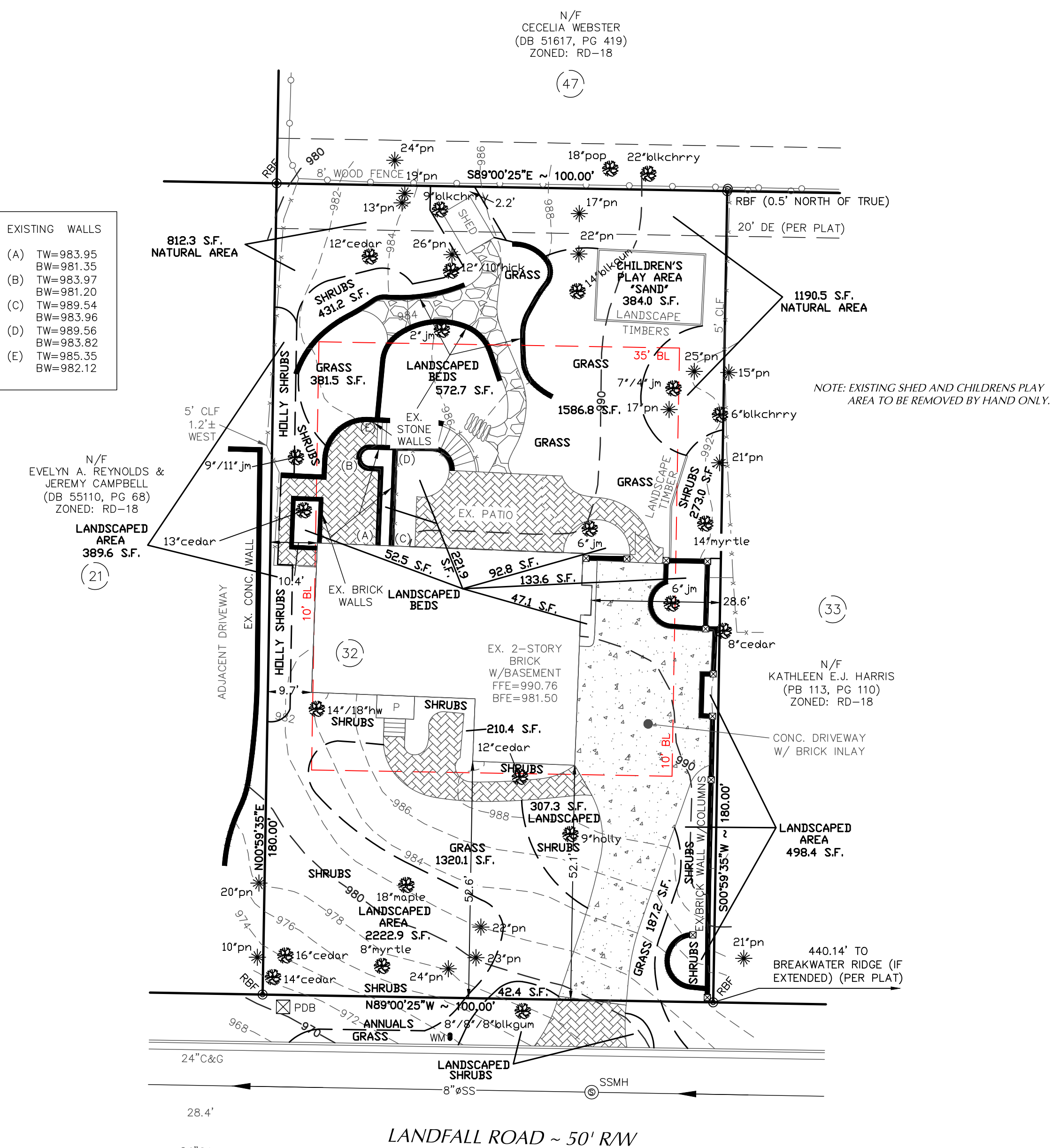
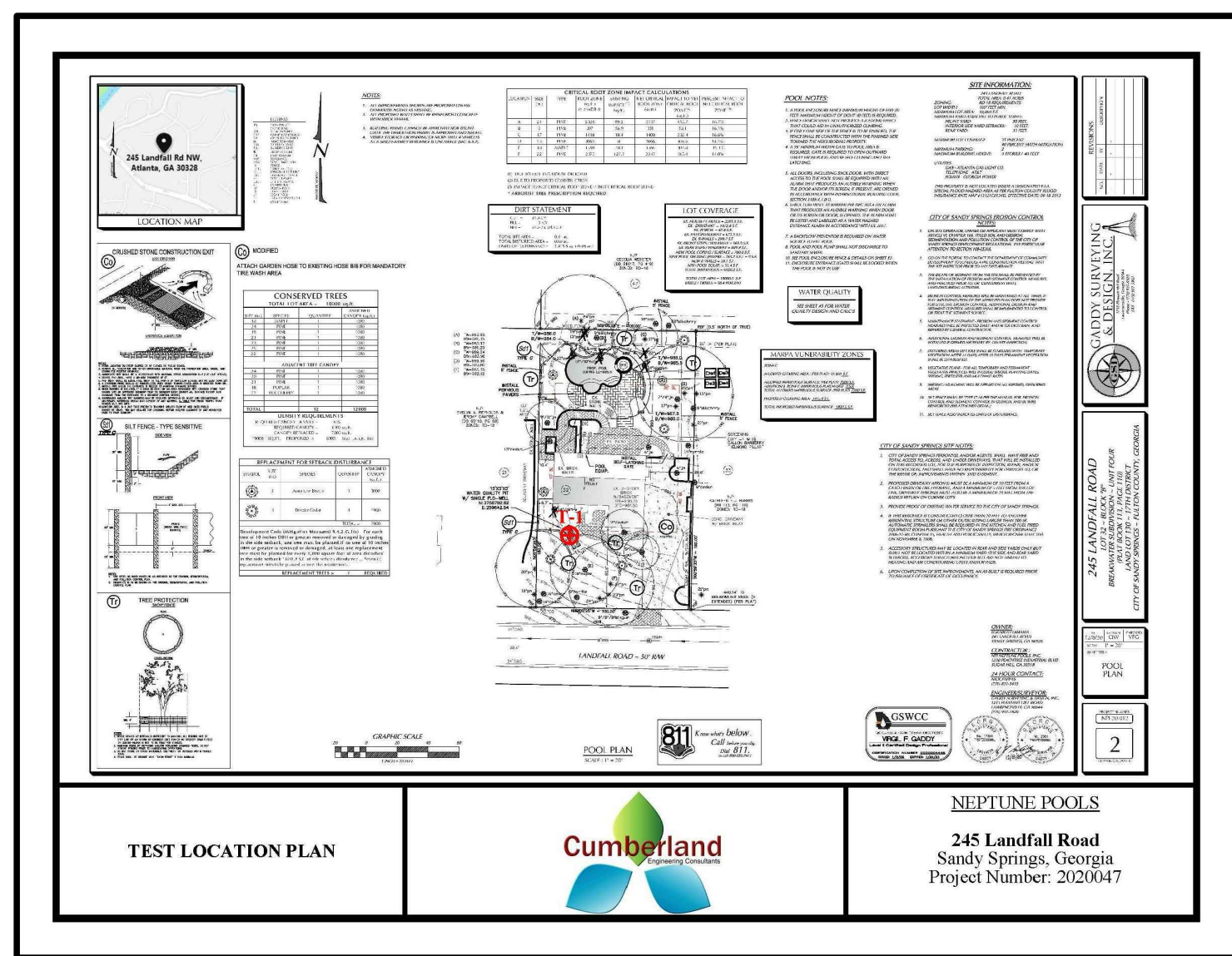
We understand that a new swimming pool and associated concrete deck will be constructed at the existing residential home located at 245 LANDWALL ROAD in Sandy Springs, Georgia. As part of this new pool construction, a Water Quality System (WQS) is planned in the front of the property to retain the initial rainfall runoff. The WQS will consist of a rectangular trench of wrapped 157 pipes with one (1) T-1 Well. The WQS will have dimensions of 15 feet long by 5 feet wide by 5 feet deep underlain by an 8-inch sand base. The approximate bottom elevation of the trench will be at 978.4 feet-elev.

FIELD SERVICES

The site was visited on Tuesday, December 22, 2020 to perform one (1) infiltration test located within the footprint of the WQS. The infiltration test was performed in general accordance with the Porchett Method outlined in the *City of Atlanta Stormwater Guidelines* Appendix C dated April 2014. The test was designed as T-1 and its location is indicated on the attached Test Location Plan.

The infiltration borehole was advanced by manually rotating a sharpened steel auger back to a depth of 6.6 feet below the existing site grade (current site elevation approximately 985.00 feet-msl). The boring initially encountered about 2 feet of existing fill soils prior to penetrating residual

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MRPA LAND USE AREAS

IMPERVIOUS

POULSE / GARAGE = 2285.5 S.F.
DRIVEWAY = 1870.9 S.F.
F. PORCH/STEPS = 61.3 S.F.
F. WALK = 345.2 S.F.
F. WALLS = 177.2 S.F.
R. WALLS = 281.6 S.F.
R. PATIO/STEPS = 1164.6 S.F.
R. STONE WALK = 381.2 S.F.
R. SHED = 74.9 S.F.

TOTAL IMPERVIOUS = 6642.4 S.F.

LANDSCAPED BEDS

FRONT = 2222.0 S.F.
FRONT = 307.3 S.F.
FRONT = 210.4 S.F.
FRONT = 42.4 S.F.
FRONT = 498.4 S.F.
FRONT = 47.1 S.F.
FRONT = 133.6 S.F.
REAR = 92.8 S.F.
REAR = 389.6 S.F.
REAR = 52.5 S.F.
REAR = 221.9 S.F.
REAR = 417.2 S.F.
REAR = 572.7 S.F.
REAR = 273.0 S.F.

TOTAL LANDSCAPE BEDS = 5495.8 S.F.

GRASSED AREAS

FRONT = 1320.1 S.F.
FRONT = 187.2 S.F.
REAR = 381.5 S.F.
REAR = 1506.6 S.F.

TOTAL GRASSED AREA = 3475.0 S.F.

CHILDREN'S PLAYGROUND

TOTAL PLAY SAND AREA = 384.0 S.F.

"NATURAL AREAS"

REAR = 1190.5 S.F.
REAR = 812.3 S.F.

TOTAL "NATURAL AREAS" = 2002.8 S.F.

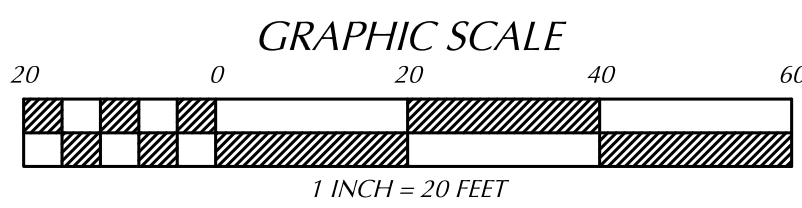
TOTAL LOT AREA = 18000.0 S.F.
EXISTING CLEARED = 15997.2 S.F. = 88.873%
"NATURAL AREA" = 11.127%

OWNER:
ELIZABETH DIMARIA
245 LANDFAID ROAD
SANDY SPRINGS, GA 30328

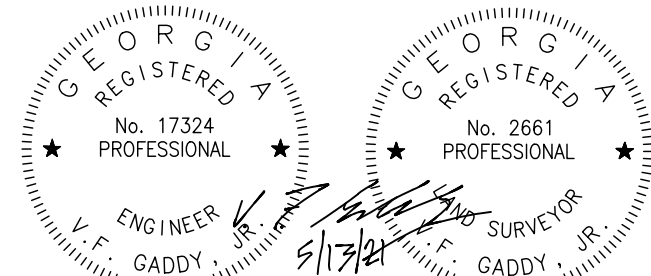
CONTRACTOR:
NPI NEPTUNE POOLS, INC.
1230 PEACHTREE INDUSTRIAL BLVD
SUGAR HILL, GA 30518

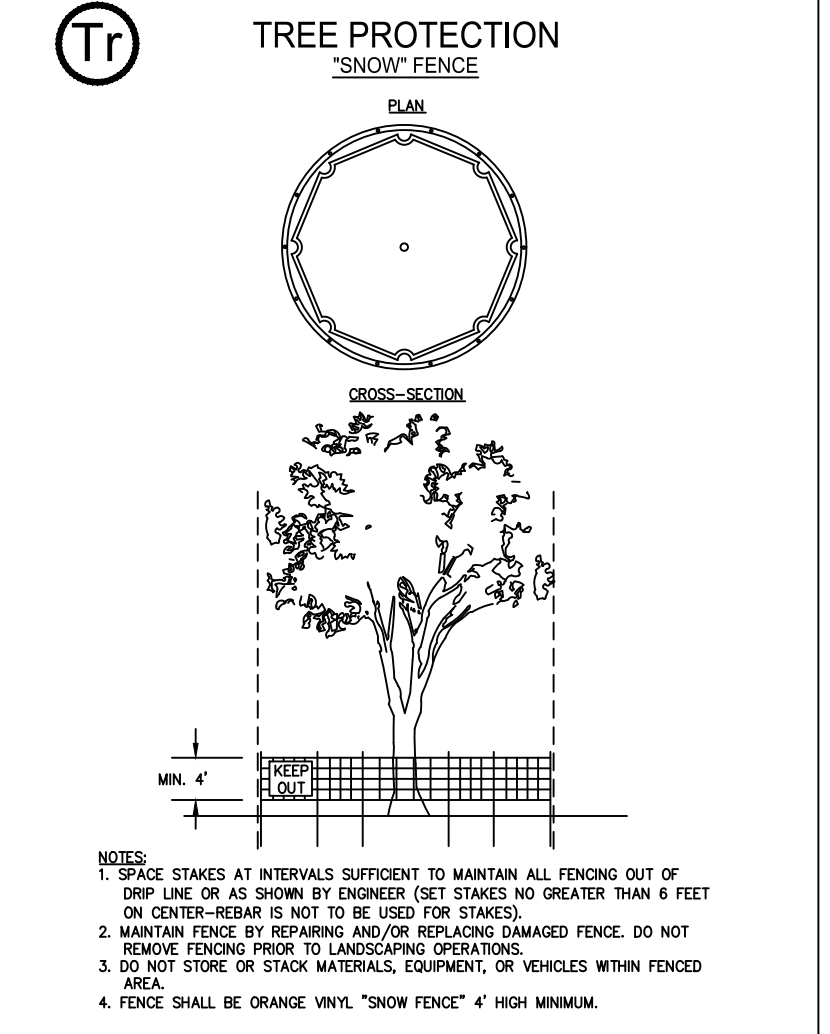
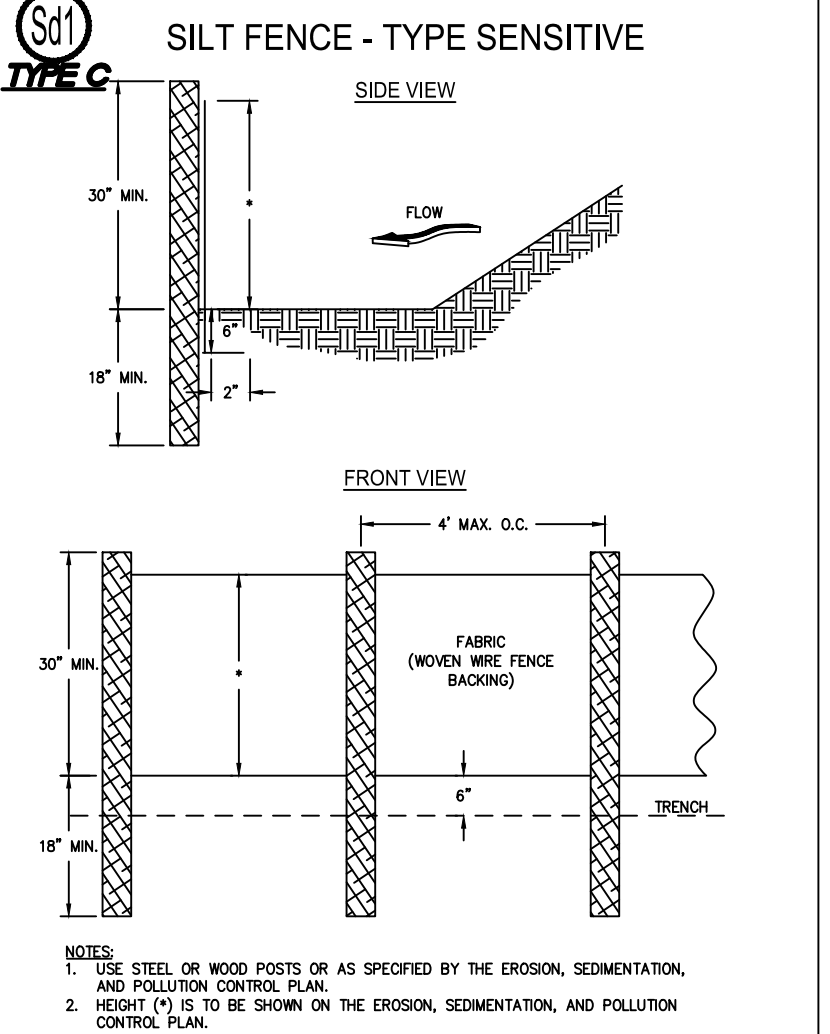
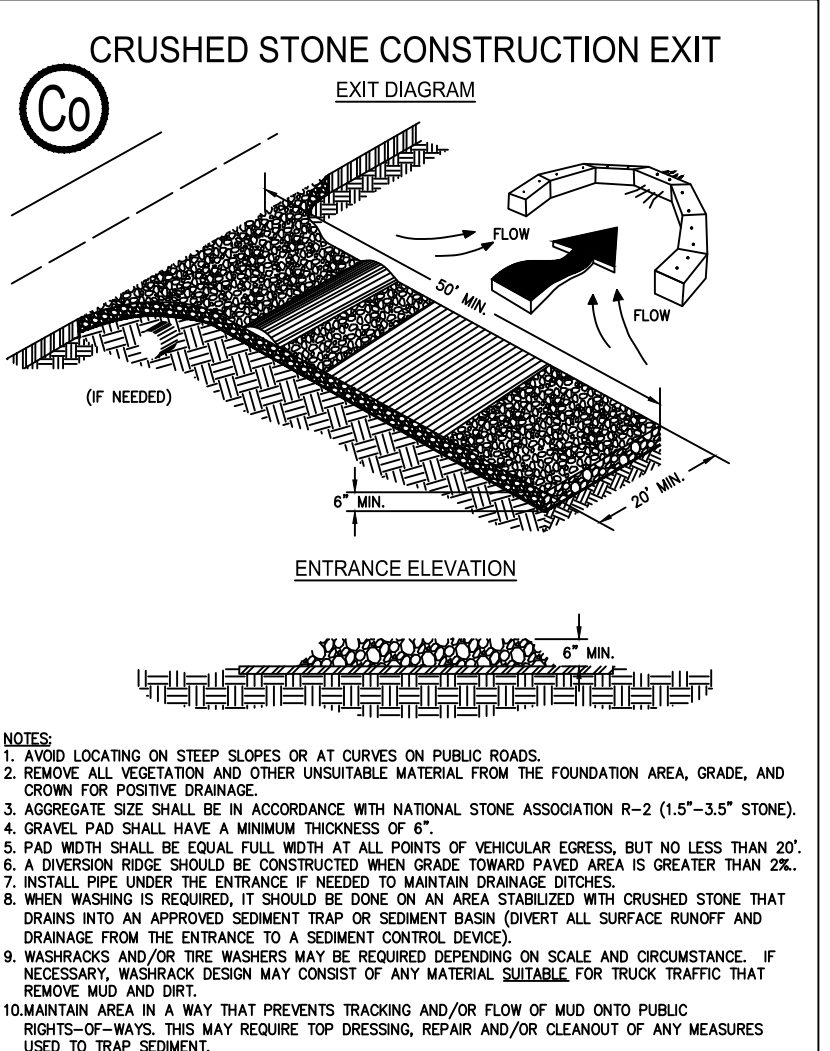
24 HOUR CONTACT:
NICK PAPPAS
(770) 831-5415

ENGINEER/SURVEYOR:
GADDY SURVEYING & DESIGN, INC.
1215 PLEASANT HILL ROAD
LAWRENCEVILLE, GA 30044
(770) 931-5920



EXISTING CONDITIONS
SCALE : 1" = 20'





- NOTES:**
- ALL IMPROVEMENTS SHOWN ARE PROPOSED UNLESS OTHERWISE NOTED AS EXISTING.
 - ALL PROPOSED WALLS SHALL BE REINFORCED CONCRETE WITH STONE VENEER.
 - BUILDING PERMIT CANNOT BE APPROVED NOR ISSUED UNTIL THE DEMOLITION PERMIT IS APPROVED AND ISSUED.
 - VISIBLE STORAGE OR PARKING OF MORE THAN 4 VEHICLES AT A SINGLE-FAMILY RESIDENCE IS UNLAWFUL (SEC. 6.5.2).
 - EFFECTIVE JANUARY 1, 2020, SANDY SPRINGS IS ENFORCING THE INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020).

NOTE: PRECONSTRUCTION MEETING FOR ALL SWIMMING POOLS—WITH BUILDING INSTRUCTOR—WHICH SHOULD BE REQUESTED THROUGH THE ONLINE PORTAL. THIS IN ADDITION TO THE SITE PRE-CONSTRUCTION MEETING. CONTRACTORS WHO SKIP THEIR BUILDING PRE-CONSTRUCTION MEETING (OR OTHER REQUIRED INSPECTIONS) WILL BE FINED FOR DOING SO.

NOTE: AN AS-BUILT DRAWING, CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENT TOP AND BOTTOM OF WALL, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.


CONSERVED TREES				
TOTAL LOT AREA = 18000 sq.ft.				
SIZE (in.)	SPECIES	QUANTITY	ASSIGNED CANOPY (sq.ft.)	
18	MAPLE	1	1000	
24	PINE	1	1000	
21	PINE	1	1000	
23	PINE	1	1000	
25	PINE	1	1000	
22	PINE	2	2000	
19	PINE	1	1000	
TOTAL		8	8000	
DENSITY REQUIREMENTS				
		REQUIRED CANOPY DENSITY =	35%	
		REQUIRED CANOPY =	6300 sq.ft.	
		EXISTING CANOPY =	11000 sq.ft.	
		CANOPY REPLACED =	0 sq.ft.	
8000 SQ.FT. PROPOSED >		6300 SQ.FT. REQUIRED		

REPLACEMENT FOR SETBACK DISTURBANCE				
SYMBOL	SIZE (in.)	SPECIES	QUANTITY	ASSIGNED CANOPY (sq.ft.)
	3	American Beech	2	2000
	3	Deodar Cedar	2	2000
TOTAL = 4000				
Development Code (Mitigation Measures) 9.4.2.G.1(a) - For each tree of 10 inches DBH or greater removed or damaged by grading in the side setback, one tree must be planted. If no tree of 10 inches DBH or greater is removed or damaged, at least one replacement tree must be planted for every 1,000 square feet of area disturbed in the side and rear setbacks *957.0 S.F. of side and rear setback disturbance ... Four (4) replacement trees to be planted to replace trees removed in setback areas.				
REPLACEMENT TREES >			4	REQUIRED

STREET FRONTAGE REQUIREMENT (Section 8.2.3)				
SYMBOL	SIZE (in.)	SPECIES	QUANTITY	ASSIGNED CANOPY (sq.ft.)
	3	American Beech	2	2500
TOTAL = 2500				
Development Code 8.2.3 - One (1) front yard shade tree for every 40 feet of street frontage.				
* Total street frontage (100.0 feet) Two (2) replacement trees to be planted to meet this requirement.				
REPLACEMENT TREES >			2	REQUIRED


NOTE: TREES REMOVED OUTSIDE OF THE LIMITS OF DISTURBANCE MAY NOT BE DONE WITH LAND DISTURBING MACHINERY. ONLY HAND TOOLS ARE PERMITTED OUTSIDE THE LIMITS OF DISTURBANCE.

TREES TO BE REMOVED	
SIZE (in.)	SPECIES
12	CEDAR
10/12	HICKORY
26	PINE
14/18	HARDWOOD
2	JAP. MAPLE



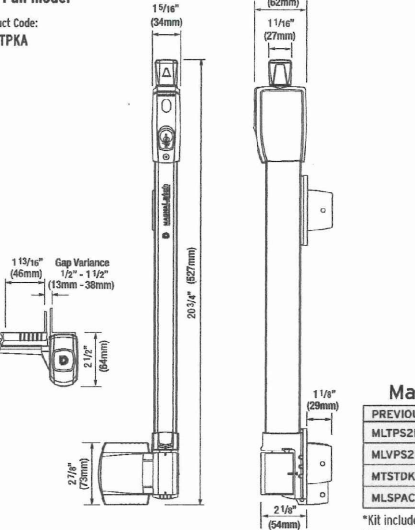
NEW MagnaLatch® Top Pull

With its release knob out of reach of children, the MagnaLatch Top Pull sets the standard for safety gates around swimming pools, childcare centers or wherever safety is critical. No wonder it's the world's most trusted safety gate lock.



NEW MagnaLatch® Vertical Pull

Perfect for pet security gates and general gates around the home, MagnaLatch Vertical Pull offers the same innovative design as MagnaLatch Top Pull, only in a smaller, more compact model.



MagnaLatch Series 3 - For metal, wood, and vinyl gates

Model	Material	Finish	Color
MSP2500A	Aluminum	Black	Black
MSP2500B	Aluminum	White	White
MSP2500C	Aluminum	Black	Black
MSP2500D	Aluminum	White	White

What's next?

MAGNALATCH® ALERT

with integrated alarm.

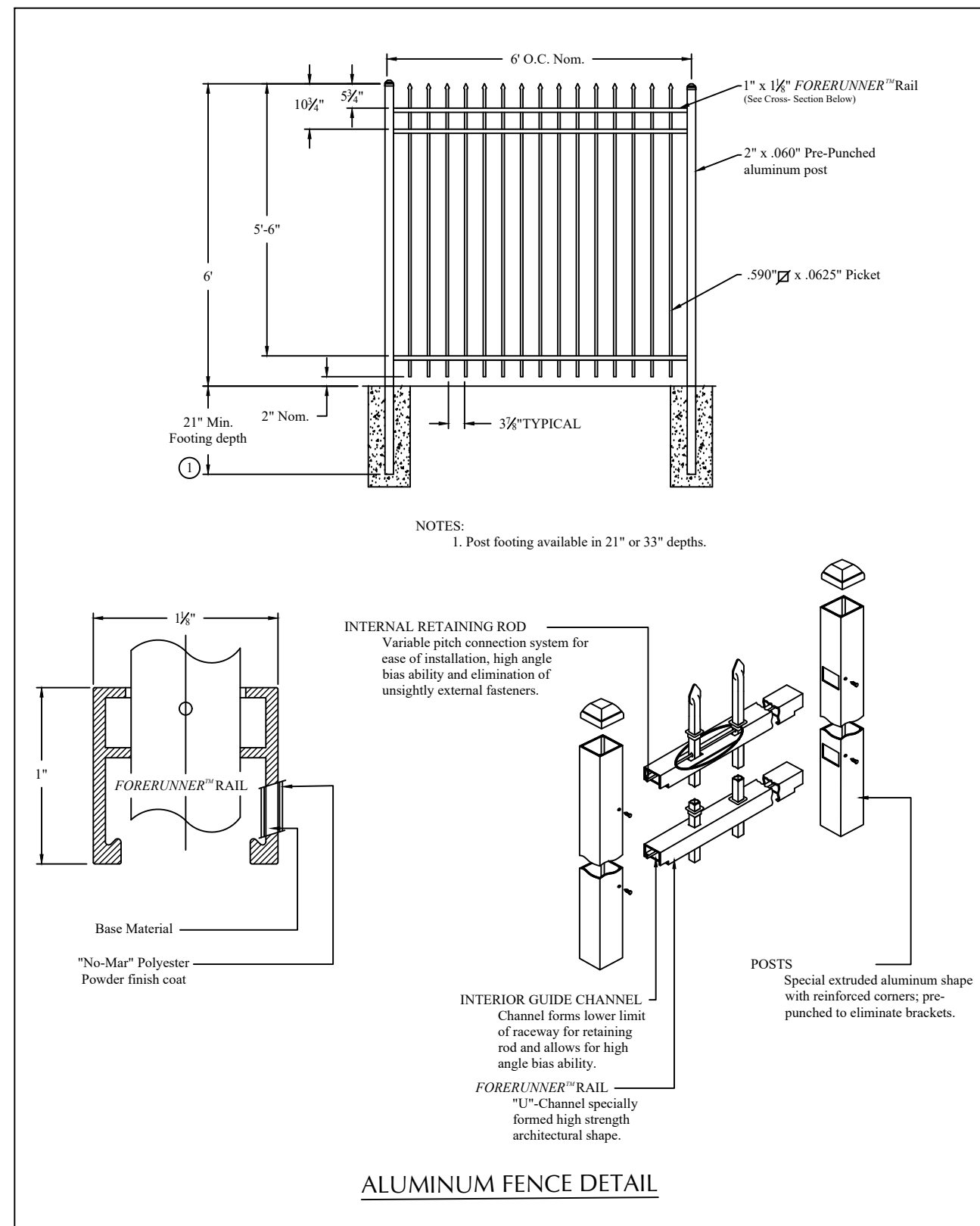
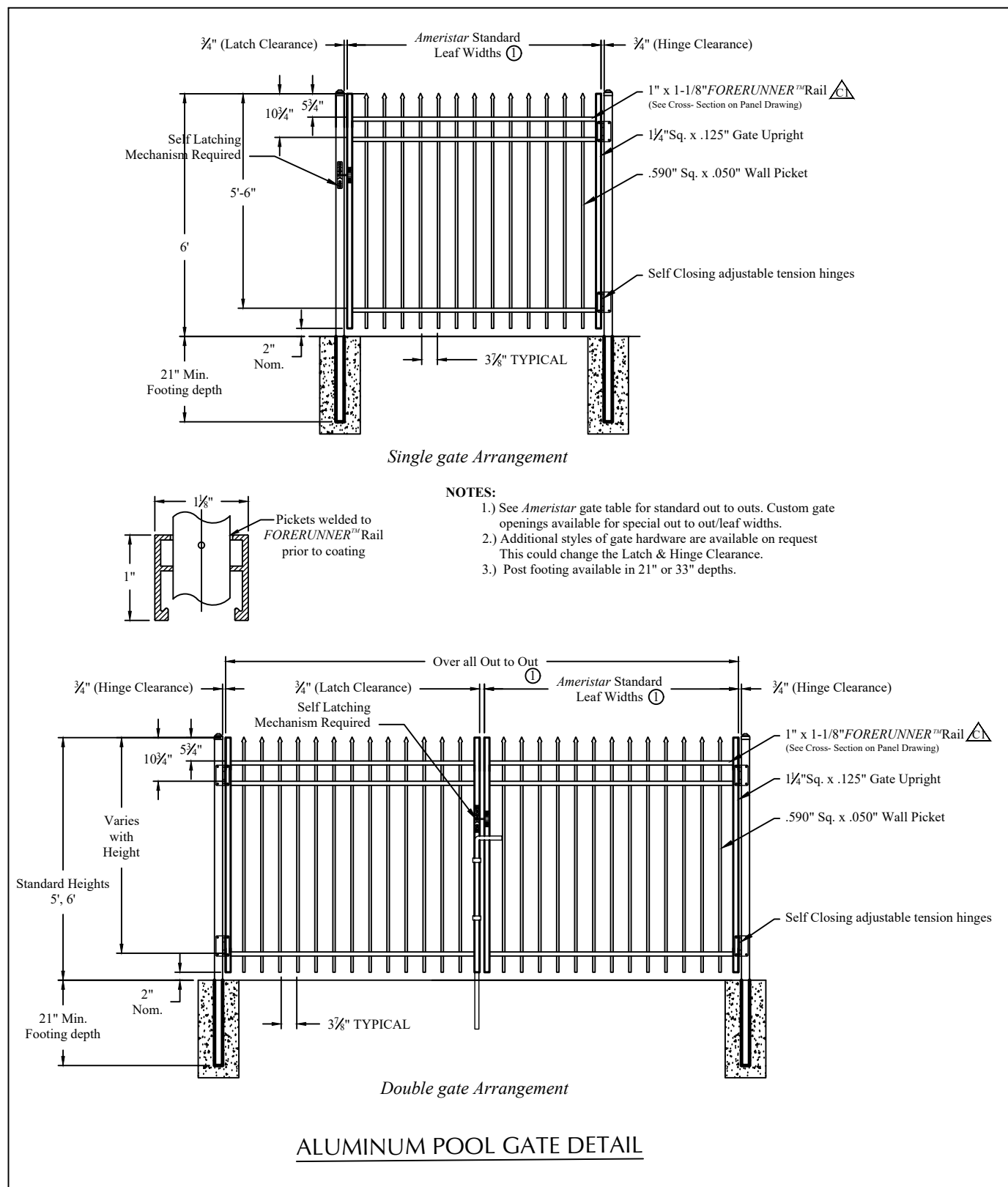
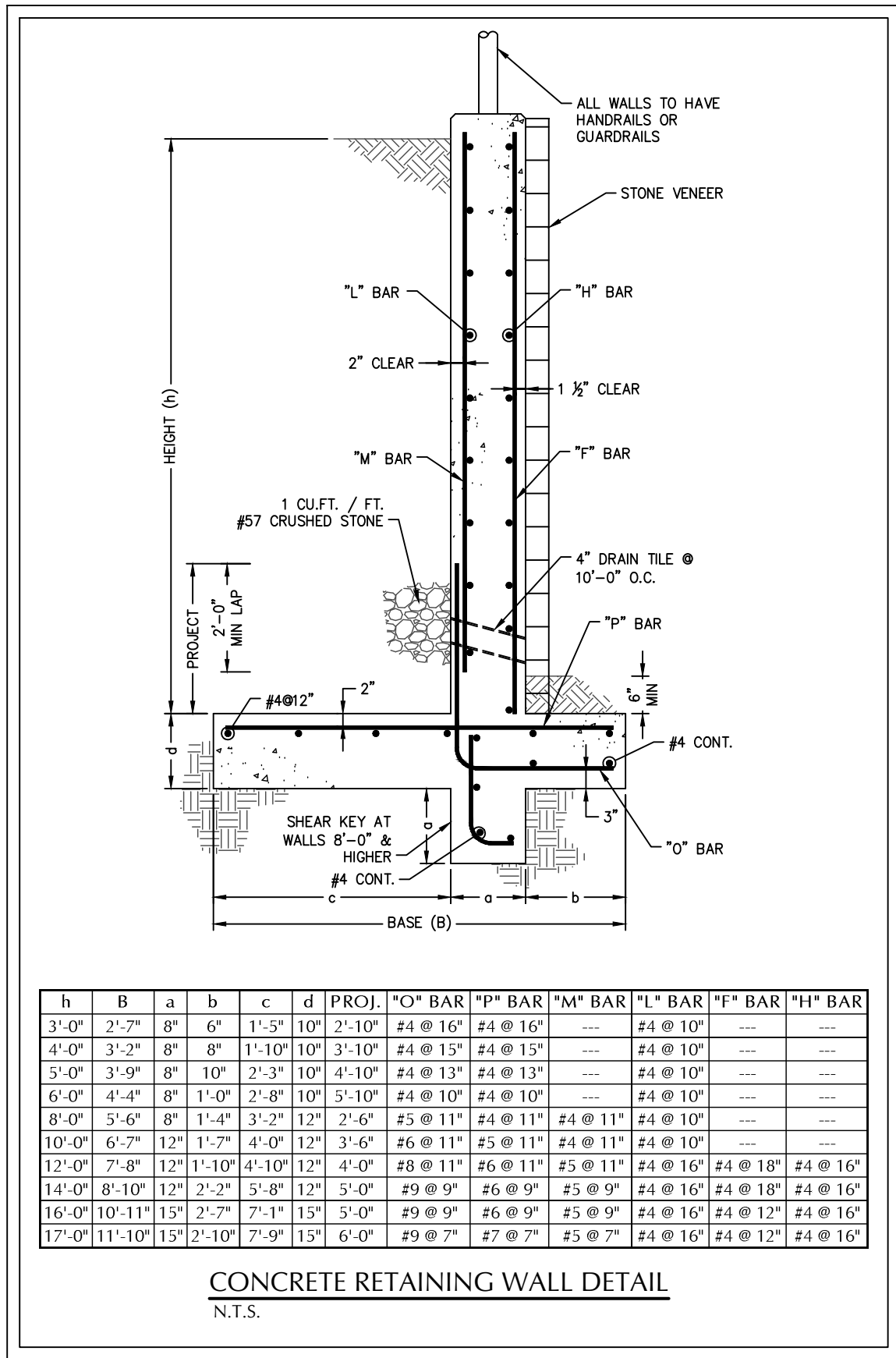
Combine MagnaLatch® and TruClose® Series 3 hinges for ultimate safety & security.


Because MagnaLatch's innovative magnetic latching offers absolutely no resistance to closing, when partnered with our TruClose® Series 3 hinges, you'll have the ultimate in reliable, safe & secure performance.

• 360° patented tension adjustment
• Adjust tension from either end
• No visible fasteners on latch or hinge
• Innovative tension system includes with all Series 3 hinges

D&D Technologies

1715 Peachtree Industrial Blvd., Suite 300
Lawrenceville, GA 30044
Tel: (770) 961-1200 Fax: (770) 961-1204
Email: info@danddtech.com





GSWCC
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

VIRGIL F. GADDY
Level II Certified Design Professional

CERTIFICATION NUMBER 0000004448
ISSUED: 1/18/02 EXPIRES: 1/24/24

OWNER:
ELIZABETH DIMARIA
245 LANDFALL ROAD
SANDY SPRINGS, GA 30328

CONTRACTOR:
NPI NEPTUNE POOLS, INC.
1230 PEACHTREE INDUSTRIAL BLVD
SUGAR HILL, GA 30518

24 HOUR CONTACT:
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1215 PLEASANT HILL ROAD
LAWRENCEVILLE, GA 30044
(770) 931-5900

245 LANDFALL ROAD
LOT 32 ~ BLOCK "B"
BREAKWATER SUBDIVISION ~ UNIT FOUR
(PLAT BOOK 113, PAGE 110)
LAND LOT 130 ~ 17TH DISTRICT
CITY OF SANDY SPRINGS ~ FULTON COUNTY, GEORGIA

DATE 12/8/20
DRAWN CWJ
CHECKED VFG
SCALE: 1" = 20'
SHEET TITLE

DETAILS

PROJECT NUMBER
NPI-20-012

4
DRAWING NUMBER

GRASSING SCHEDULE
(HYDROSEEDING RATES)

D81 MULCHING RATES

MATERIALS: CHOOSE ONE OF THE FOLLOWING:

1. DRY STRAW OR HAY - APPLY AT A DEPTH OF 2 TO 4 INCHES
2. WOOD WASTE - APPLY AT A DEPTH OF 2 TO 3 INCHES
3. CUTBACK ASPHALT - APPLY AT 1200 GALLONS PER ACRE
4. POLYETHYLENE FILM - SECURE OVER BANKS

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING SEASON MAY BE ACCOMPLISHED WITH: STRAW OR HAY: 2.5 TONS/ACRE
WOOD WASTE, BARK, SAWDUST: 3.7 TONS/ACRE (APPROX. 6-8 TONS/ACRE)

NOTE: SEE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR ADDITIONAL SEED TYPES.

SPECIES	RATE/1000 S.F.	DATES	TIME	FERTILIZER (LBS./ACRE)		
				N	P ₂ O ₅	K ₂ O
WINTER RYE	1.5 - 2 LBS.	10/15 - 11/15	1 TON/ACRE	60-90	120-180	120-180
"WHEEPING" LOVEGRASS	2-3 LBS.	3/1 - 8/1	1 TON/ACRE	60-90	120-180	120-180
WHEAT	2-3 LBS.	9/1 - 12/15	1 TON/ACRE	60-90	120-180	120-180
RYEGRASS, ANNUAL	2-3 LBS.	8/1 - 1/30	1 TON/ACRE	60-90	120-180	120-180

*HYDROSEED ON ALL 2:1 (H:V) SLOPES.

D82 TEMPORARY VEGETATION

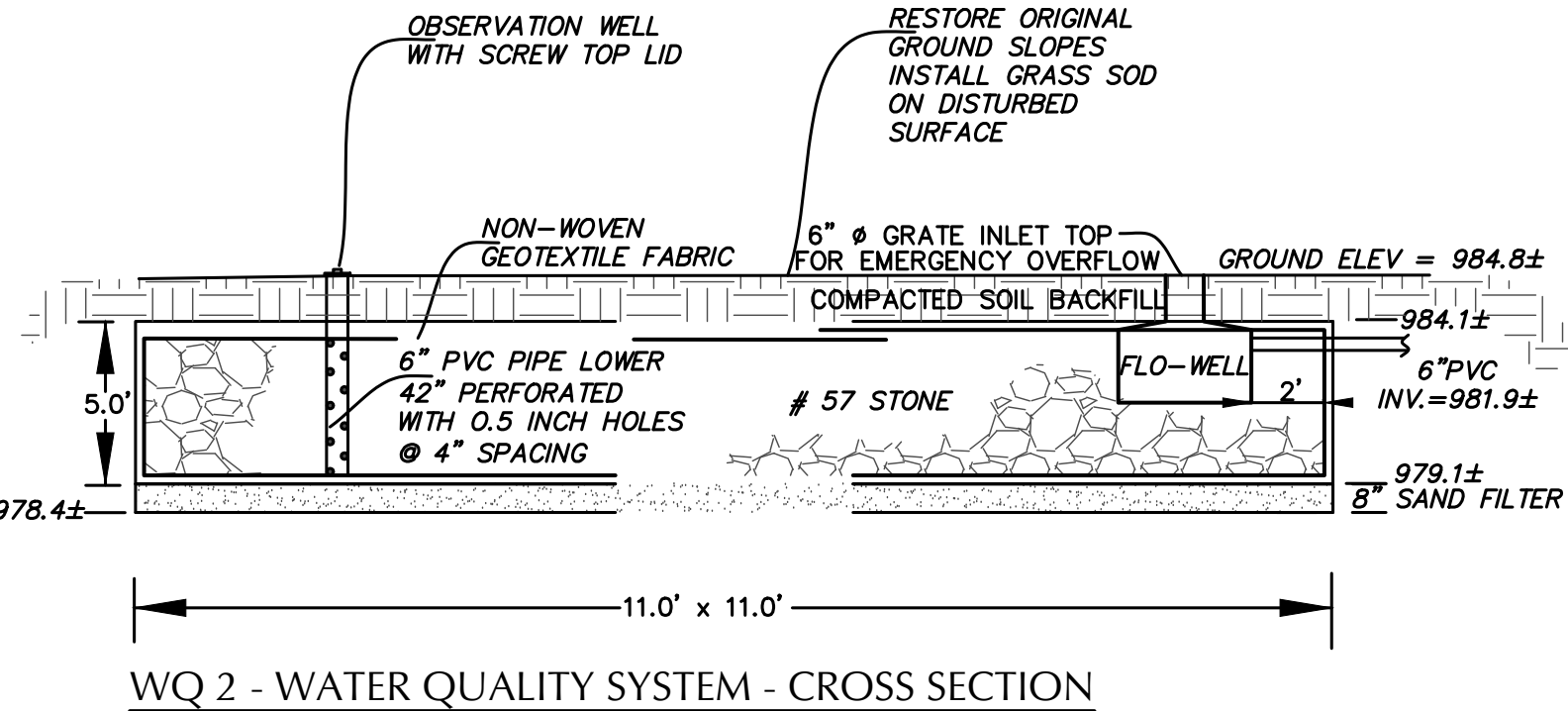
SPECIES	RATE/1000 S.F.	DATES	TIME	FERTILIZER (LBS./ACRE)		
				N	P ₂ O ₅	K ₂ O
HYDRATED BERBERIS	100 - 150	10/15 - 11/15	1 TON/ACRE	60-90	120-180	120-180
UNHILLED BERBERIS	2 LBS.	2/15 - 6/15	1 TON/ACRE	60-90	120-180	120-180
PESQUE	3 - 10 LBS.	9/1 - 11/1	1 TON/ACRE	60-90	120-180	120-180
SEMI-PAENSAOLA	10 - 15 LBS.	1/15 - 1/21	1 TON/ACRE	60-90	120-180	120-180

D83 PERMANENT VEGETATION

SPECIES	RATE/1000 S.F.	DATES	TIME	FERTILIZER (LBS./ACRE)		
				N	P ₂ O ₅	K ₂ O
HYDRATED BERBERIS	100 - 150	10/15 - 11/15	1 TON/ACRE	60-90	120-180	120-180
UNHILLED BERBERIS	2 LBS.	2/15 - 6/15	1 TON/ACRE	60-90	120-180	120-180
PESQUE	3 - 10 LBS.	9/1 - 11/1	1 TON/ACRE	60-90	120-180	120-180
SEMI-PAENSAOLA	10 - 15 LBS.	1/15 - 1/21	1 TON/ACRE	60-90	120-180	120-180

D84 SOD PLANTING REQUIREMENTS

SPECIES	RATE/1000 S.F.	DATES	TIME	FERTILIZER (LBS./ACRE)		
				N	P ₂ O ₅	K ₂ O
HYDRATED BERBERIS	100 - 150	10/15 - 11/15	1 TON/ACRE	60-90	120-180	120-180
UNHILLED BERBERIS	2 LBS.	2/15 - 6/15	1 TON/ACRE	60-90	120-180	120-180
PESQUE	3 - 10 LBS.	9/1 - 11/1	1 TON/ACRE	60-90	120-180	120-180
SEMI-PAENSAOLA	10 - 15 LBS.	1/15 - 1/21	1 TON/ACRE	60-90	120-180	120-180



FRONT - WATER QUALITY VOLUME

Water Quality Volume Required		
Area (sq.ft.)	Rainfall to be Treated (in.)	Volum e (cu.ft.)
Lot Impervious (Front of House) =	1372	1.2
Mitigation over 35% Lot Impervious =	449.9	2.4
TOTAL VOLUME REQUIRED =		227

Water Quality Volume Provided		
Area (sq.ft.)	Feet (sq.ft.)	Volum e (cu.ft.)
Surface Area of Dry Well =	121	
Depth of Gravel in Pit =	5	
Volume of Gravel w/ 40% Voids =		242
TOTAL VOLUME PROVIDED =		242

SITE INFORMATION:

245 LANDFALL ROAD
TOTAL AREA: 0.41 ACRES
RD-18 REQUIREMENTS
100' FEET MIN.

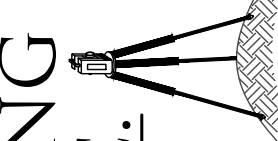
ZONING:
LOT WIDTH:
MINIMUM LOT AREA: 18,000 S.F.
MINIMUM YARD ADJACENT TO PUBLIC STREET:
FRONT YARD: 50 FEET
INTERIOR SIDE YARD SETBACKS: 10 FEET
REAR YARD: 35 FEET.

MAXIMUM LOT COVERAGE 35 PERCENT
40 PERCENT (WITH MITIGATION)

MINIMUM PARKING: 2
MAXIMUM BUILDING HEIGHT: 3 STORIES / 40 FEET

UTILITIES:
GAS - ATLANTA GAS LIGHT CO.
TELEPHONE - AT&T
POWER - GEORGIA POWER

THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.L.A.
SPECIAL FLOOD HAZARD AREA AS PER FULTON COUNTY FLOOD
INSURANCE RATE MAP #13121C0134G, EFFECTIVE DATE: 09-18-2013



GADDY SURVEYING & DESIGN, INC.

1215 Pleasant Hill Road
Lawrenceville, Georgia 30044
Phone: (770) 931-5900
Fax: (770) 931-5900

