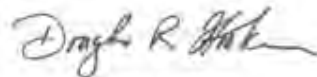


DATE: Sept. 15, 2020

ARC REVIEW CODE: V2009152

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Madalyn Smith, City of Sandy Springs, City of Sandy Springs
FROM: Douglas R. Hooker, Executive Director, ARC


Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-20-03SS 1665 Winterthur Close

Review Type: Metro River

MRPA Code: RC-20-03SS

Description: A Metropolitan River Protection Act (MRPA) review of a proposal at 1665 Winterthur Close in the City of Sandy Springs to demolish a rear portion of an existing single-family home to build an addition, pool, pool house, and pool deck. The total new impervious surface will be 4,076 SF, for a total net impervious surface of 14,590 SF.

Preliminary Finding: ARC staff has opened its review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee River Corridor Plan.

Submitting Local Government: City of Sandy Springs

Land Lot: 209 **District:** 17 **Section:**

Date Opened: Sept. 15, 2020

Deadline for Comments: Sept. 25, 2020

Earliest the Regional Review can be Completed: Sept. 28, 2020 (next business day after deadline for comments)

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
NATIONAL PARK SERVICE-CRNRA
FULTON COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
CHATTAHOOCHEE RIVERKEEPER

If you have any questions regarding this review, please contact Greg Giuffrida at ggiuffrida@atlantaregional.org or (470) 378-1531. If ARC staff does not receive comments from you on or before **Friday, Sept. 25, 2020**, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

[illegible]



SANDY SPRINGS

GEORGIA

August 25, 2020

Jim Santo, Principal Planner
International Tower
229 Peachtree Street NE, Suite 100
Atlanta, Georgia 30303

Subject: River Corridor Review; 1665 Winterthur Close

Mr. Santo,

Please review the submitted application and site plan for 1665 Winterthur Close for compliance with the Metropolitan River Protection Act.

Thank you.

Sincerely,

Madalyn Smith
Planner I
City of Sandy Springs

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: CITY OF SANDY SPRINGS
2. Owner(s) of Record of Property to be Reviewed:
Name(s): CAREN & MICHAEL MERLIN
Mailing Address: 1665 WINTERTHUR CLOSE
City: SANDY SPRINGS State: GEORGIA Zip: 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: CAREN: (404) 434-8959 Fax: _____
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): _____
Mailing Address: _____
City: _____ State: _____ Zip: _____
Contact Phone Numbers (w/Area Code):
Daytime Phone: _____ Fax: _____
Other Numbers: _____
4. Proposed Land or Water Use:
Name of Development: N/A
Description of Proposed Use: RESIDENTIAL

5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: LAND LOT 209, 17TH DISTRICT, FULTON CO
TAX PARCEL: 17-020600030151
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: WINTERTHUR SUB,
LOT 13, BLOCK C, 1665 WINTERTHUR CLOSE, 0.6 MILES TO NORTHSIDE DR & WINTERTHUR WAY
Size of Development (Use as Applicable):
Acres: Inside Corridor: 2.004 ACRES
Outside Corridor: 0 ACRES
Total: 2.004 ACRES
Lots: Inside Corridor: 1
Outside Corridor: 0
Total: 1
Units: Inside Corridor: 1
Outside Corridor: 0
Total: 1
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land <u>Disturb.</u> (Maximums Shown In Parentheses)	Percent Imperv. <u>Surf.</u> (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	20,329 SF	14,905 SF *	12,043 SF **	(70) <u>73*</u>	(45) <u>59 **</u>
D	4,226 SF	1,318 SF	938 SF	(50) <u>31</u>	(30) <u>23</u>
E	25,557 SF	7,217 SF *	1,904 SF **	(30) <u>28 *</u>	(15) <u>7 **</u>
F	37,267 SF	2,555 SF	658 SF	(10) <u>7</u>	(2) <u>2</u>
Total:	87,379 SF	25,882 SF	15,540 SF	N/A	N/A

* INCLUDES A TRANSFER OF 450 SQ. FT. OF LAND DISTURBANCE FROM 'E' TO 'C' AT 1 TO 1.5 (450X 1.5 = 675 SQ. FT.) as per Part 2.A.3.c.(1) of the Chattahoochee Corridor Plan

** INCLUDES A TRANSFER OF 1,930 SQ. FT. OF IMPERVIOUS SURFACE FROM 'E' TO 'C' AT 1 TO 1.5 (1,930 X 1.5 = 2,895 SQ. FT.) as per Part 2.A.3.c.(1) of the Chattahoochee Corridor Plan

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? _____

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

____ Written consent of all owners to this application. (Space provided on this form)

____ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

____ Description of proposed use(s). (Space provided on this form)

____ Existing vegetation plan.

____ Proposed grading plan.

____ Certified as-builts of all existing land disturbance and impervious surfaces.

____ Approved erosion control plan.

____ Detailed table of land-disturbing activities. (Both on this form and on the plans)

____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of -way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.

____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Richard J. Perlin
Carroll

Signature(s) of Owner(s) of Record

7.13.20

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

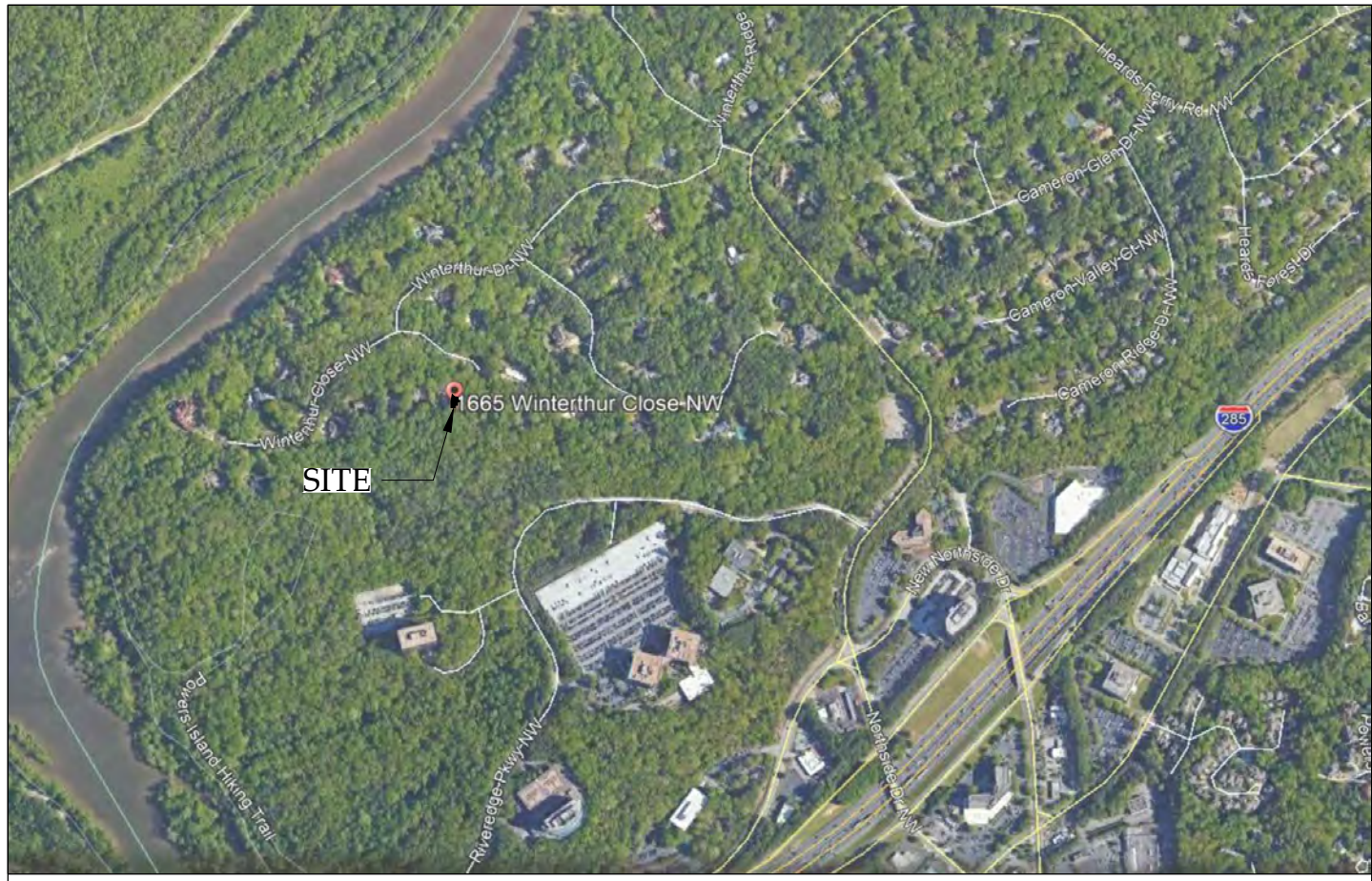
Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of _____ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Signature of Chief Elected Official or Official's Designee

Date



VICINITY MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE EARTH

REFERENCE ATTACHED SURVEY COMPLETED ON 2019-01-07 BY ALPHA LAND SERVICES. JOB NUMBER 18-12-515 FOR PROPERTY BOUNDARIES AND EXISTING CONDITIONS.

FLOOD HAZARD STATEMENT

THIS SITE IS NOT LOCATED WITHIN IN A ZONE (A, AE, SHADED ZONE X) AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER **13121C 0137F** (DATED 09/18/03) FOR UNINCORPORATED FULTON COUNTY, GEORGIA.



FEMA FLOOD MAP
SCALE: N.T.S.



24 HOUR LOCAL CONTACT: (404) 888-9886 (BUILDER)

CITY OF SANDY SPRINGS SINGLE FAMILY SITE ADDITION

CONSTRUCTION DOCUMENTS FOR

1665 WINTERTHUR CLOSE

WINTERTHUR S/D, LOT 13, BLOCK C

TAX PARCEL: 17 - 020600030151

LAND LOT 209, 17TH DISTRICT,

FULTON COUNTY, GEORGIA 30328

RELEASED FOR CONSTRUCTION AND PERMIT

ZONING INFORMATION & SITE CALCULATIONS

ZONING:	RE -2
TOTAL SITE ACREAGE:	2.004 AC (87,294 SF)
TOTAL SITE AREA TO BE DISTURBED:	0.215 ACRES (9,408 SF)
MAXIMUM LOT COVERAGE ALLOWED:	0.5 AC (21,823.5 SF) = 25%
EXISTING IMPERVIOUS AREA:	0.32ACRES (14,110 SF) = 16.16 %
PROPOSED IMPERVIOUS AREA:	0.33 ACRES (14,590 SF) = 16.7 %
SETBACKS:	60' FRONT YARD 50' REAR YARD 25' SIDE YARD

SITE IMPERVIOUS AREAS (BREAKDOWN)

EXISTING IMPERVIOUS:	
HOUSE AND EXST. GARAGE	4,580 SQ. FT.
FRONT AND SIDE WALKWAYS, PAVING, AND STEPS	1,350 SQ. FT.
FRONT AND SIDE WALLS	201 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
DRIVEWAY	4,764 SQ. FT.
TOTAL EXISTING IMPERVIOUS =	14,110 SQ. FT.
EXISTING IMPERVIOUS REMOVED:	
HOUSE (SUN ROOM)	381 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
TOTAL IMPERVIOUS REMOVED =	3,596 SQ. FT.
IMPERVIOUS ADDED TO SITE:	
HOUSE (NEW GARAGE)	488 SQ. FT.
WALKWAYS & PATIO	448 SQ. FT.
WALLS	147 SQ. FT.
POOL	800 SQ. FT.
POOL DECK	643 SQ. FT.
POOL HOUSE	1,184 SQ. FT.
OUTDOOR SHOWER	25 SQ. FT.
EXPANSION OF CONC. DRIVEWAY	341 SQ. FT.
SITE TOTAL IMPERVIOUS ADDED =	+ 4,076 SQ. FT.
TOTAL NET IMPERVIOUS =	14,590 SQ. FT.
TOTAL LOD AREA =	9,408 SQ. FT.

PRE-CON MEETING

CONTRACT THE CITY OF SANDY SPRINGS DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (THE CUT OFF TIME FOR NEXT DAY INSPECTION IS 2PM).

CONSTRUCTION NARRATIVE

THE PROPOSED PLANS CALL FOR THE DEMOLITION OF A PORTION OF THE EXISTING HOUSE IN THE REAR LANDSCAPE FOLLOWED BY AN ADDITION TO THE HOUSE, NEW POOL HOUSE, AND POOL WITH THE CONSTRUCTION OF NEW RETAINING WALLS CONFORMING TO RE-2 ZONING. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

CONTACT INFORMATION

OWNER:	ARCHITECT:
Caren and Michael Merlin	Castro Design Studio
1665 Winterthur Close	Contact: Rodolfo Castro
Atlanta, Georgia 30328	(404) 514-7247
(404) 434-8959	
BUILDER:	LANDSCAPE ARCHITECT:
Revival Construction, Inc.	Alex Smith Garden Design, Ltd.
Contact: Wright Marshall	Contact: Catherine Hawkins
(404) 888-9886	(770) 455-8878

TABLE OF CONTENTS

SHEET NAME	SHEET #
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DEMOLITION PLAN	D-1
SITE PLAN AND GRADING PLAN	C-1.1
RETAINING WALL ELEVATIONS	C-1.2
TREE PROTECTION PLAN	C-2
STORM WATER PLAN	C-3
EROSION CONTROL PLAN	C-4
ARC CALCULATIONS PLAN	C-5.1
ARC OVERLAY & SITE PLAN	C-5.2

Received:
08/18/2020
City of Sandy Springs
Community Development Department

ALEX SMITH
GARDEN DESIGN
LIMITED

DESIGN STUDIO
5642 PEACHTREE ROAD
CHAMBLEE, GEORGIA 30341
(770) 455-8878 OFFICE
(770) 455-0168 FAX

www.AlexSmithGardenDesign.com

MERLIN
RESIDENCE
1665 WINTERTHUR CLOSE
ATLANTA, GEORGIA 30328

The Contractor shall verify and be responsible for all dimensions and conditions on the job site and shall inform the landscape architect immediately of any discrepancy or variation from the drawings.

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2020-08-03	CITY COMMENTS - REVISIONS
2020-06-12	PERMIT SUBMITTAL
DATE	DESCRIPTION



COVER
SHEET

PROJECT NO.: 19315
DRAWN BY: C24
CHECKED BY: SL, AS
PRINT DATE: 2020-08-03

CV

RC20-0003 1665 WINTERTHUR CLOSE

EXISTING IMPERVIOUS:	
HOUSE AND EXST. GARAGE	4,580 SQ. FT.
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TOTAL LOD AREA =	9,408 SQ. FT.

FOUR TREES IMPACTED DURING CONSTRUCTION. TREES TO BE REMOVED DURING DEMOLITION PHASE.

200 Cubic Yards of estimated debris will be hauled from this site during demolition and site construction. No haul route required.

BE ADVISED THIS IS NOT AN EXHAUSTIVE LIMITS OF DEMOLITION ITEMS. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND THE COMPLETE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. ANY QUESTIONS, CONCERNS, OR IDEAS CONCERNING THE INTENT OR EXECUTION OF THE DESIGN DOCUMENTS MUST BE BROUGHT TO THE OWNER AND LANDSCAPE ARCHITECT BEFORE PERFORMING ANY CONSTRUCTION ACTIVITY.

- A. REMOVE EXISTING STONE POOL DECK.
- B. REMOVE EXISTING POOL AND POOL EQUIPMENT. FILL IN FOR CONSTRUCTION ACCESS.
- C. REMOVE EXISTING STONE PATH AROUND POOL DECK.
- D. REMOVE EXISTING PATIO BETWEEN HOUSE AND POOL DECK.
- E. REMOVE EXISTING BRICK SIDEWALK.
- F. REMOVE PORTION OF EXISTING RESIDENCE IN PREPARATION FOR PROPOSED GARAGE.
- G. PARTIAL REMOVAL OF EXISTING BLACK METAL POOL FENCING.
- H. REMOVAL OF EXISTING CONCRETE PAD AND PATH.

1.	THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.	7.	FOR ALL ITEMS NOTED TO BE REMOVED-REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.
2.	CONTRACTOR SHALL IMMEDIATELY CONTACT OWNERS REPRESENTATIVE AND ENGINEER IF ANY DISCREPANCIES OR CONFLICTS ARE ENCOUNTERED.	8.	BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS AND INSTRUCTION OF THE PROJECT GEOTECHNICAL ENGINEER.
3.	ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY STATED BY OWNER.	9.	DEMOLITION AND SITE PLANS HAVE BEEN PREPARED TO IDENTIFY MAJOR DEMOLITION ITEMS. CONTRACTOR TO PERFORM SITE VISIT PRIOR TO PRICING TO IDENTIFY ALL DEMOLITION ITEMS AS WELL AS IDENTIFYING ITEMS TO SALVAGE FOR OWNER.
4.	ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND CITY STANDARDS.	10.	CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND ITEMS TO REMAIN.
5.	CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC.	11.	CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION ACTIVITIES AND ANY DAMAGE TO EXISTING STRUCTURE DURING CONSTRUCTION.
6.	CONTRACTOR SHALL MAINTAIN THESE TRAFFIC CONTROL AND SAFETY METHODS THROUGHOUT CONSTRUCTION OF THIS PROJECT.	12.	CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ON ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.
7.	BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.	13.	CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND/OR REMOVAL OF ALL ITEMS IN THE ARE OF NEW CONSTRUCTION.
		14.	CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
		15.	THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

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2020-08-03	CITY COMMENTS - REVISIONS 
2020-06-12	PERMIT SUBMITTAL
DATE	DESCRIPTION
ISSUE RECORD	



SCALE: 1"= 20'-0"

A horizontal graphic scale bar with tick marks at 0, 10', 20', 30', and 40'. The text "SCALE: 1"= 20'-0"" is centered above the bar.

DEMOLITION SHEET

PROJECT NO.: 19315
DRAWN BY: CH
CHECKED BY: SL, AS
PRINT DATE: 2020-06-05

D-1



**IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW**

1 DEMOLITION PLAN
SCALE: 1" = 20'-0"



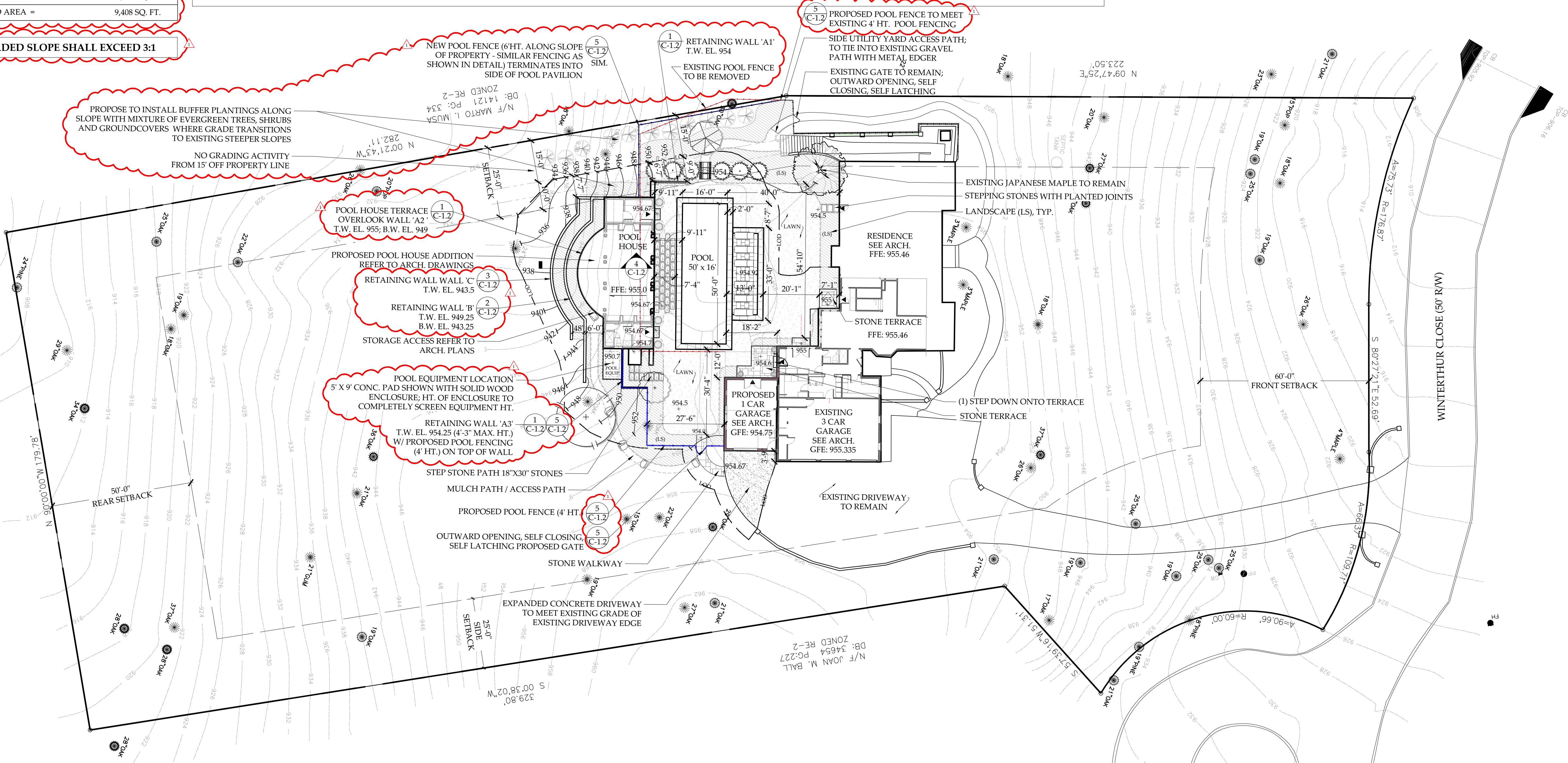
SITE IMPERVIOUS AREAS
(BREAKDOWN)

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TOTAL NET IMPERVIOUS =	14,590 SQ. FT.
TOTAL LOD AREA =	9,408 SQ. FT.

NO GRADED SLOPE SHALL EXCEED 3:1

SITE NOTES:

1. THE SITE CONTAINS: 2.004 ACRES (87,294 SF). TOTAL DISTURBED ACREAGE: 0.215 ACRES (9,408 SF)
2. ADDRESS IS 1665 WINTERTHUR CLOSE; TAX PARCEL NO. 17 - 020600030151.
3. BOUNDARY, TOPOGRAPHY, AND TREE SPECIMEN SIZE AND LOCATIONS IS BASED ON FIELD RUN DATA RUN BY ALPHA LAND SERVICES DATED 01/07/2019.
4. THIS SITE IS NOT LOCATED WITHIN A ZONE (A, AE, SHADED ZONE X) AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C 0137E (DATED 09/18/03).
5. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SURE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINES.
6. ALL FUTURE CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
7. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY.
8. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
9. EXISTING UTILITIES TO BE PROTECTED AND TO BE USED FOR NEW CONSTRUCTION. NO ADDITIONAL TRENCHING REQUIRED. IF UTILITIES REQUIRE REPLACEMENT AND/OR EXPANSION BUILDER SHALL, PRIOR TO CONSTRUCTION, REQUEST REVIEW AND WRITTEN CONSENT FROM CITY OF SANDY SPRINGS ARBORIST AND ALL OTHER INTERESTED DEPARTMENTS.
10. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE BUILDER OF ANY DISCREPANCIES OR ERRORS THAT MAY BE DISCOVERED IN THESE PLANS.
11. CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
12. ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY OF SANDY SPRINGS, FULTON COUNTY, AND STATE OF GEORGIA STANDARDS.
13. NEW FENCING WILL TIE INTO EXISTING FENCING AT BACK WHERE FENCE DESIGN SHALL NOT PRODUCE A "LADDER" EFFECT THAT COULD AID IN UNAUTHORIZED CLIMBING.
14. THE ENCLOSURE ENTRANCE (GATE) SHALL BE LOCKED WHEN THE POOL IS NOT IN USE.
15. GATES NOT INTENDED FOR PEDESTRIAN USE SHALL BE LOCKED WHEN POOL IS NOT IN USE.
16. FOR ALL CASES WHERE BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERIMETER, ALL DOORS AND OPERABLE WINDOWS WITH A SILL HEIGHT LOWER THAN 48" ON THE BUILDING(S) WHICH HAVE DIRECT ACCESS TO THE POOL AREA MUST BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN OR WINDOW IS OPEN.
17. THE PROPOSED POOL IS NOT CONNECTED TO THE MAIN WATER LINE AND IS TO BE FILLED BY HOSE AND/OR AUTOFILL SYSTEM. IF FILLED BY A HOSE, A BACKFLOW PREVENTER IS TO BE PROVIDED ON THE HOSE BIBB. THE AUTOFILL SYSTEM SHALL BE CONNECTED TO THE EXISTING IRRIGATION SYSTEM WHERE EXISTING BACKFLOW PREVENTER IS CURRENTLY INSTALLED.
18. ALL GRADING AND DISTURBANCE MUST BE 15'-0" FROM THE SIDE PROPERTY LINE. NO GRADING IS ALLOWED WITHIN 20'-0" OF THE REAR LOT LINE.



1 SITE IMPROVEMENTS PLAN AND GRADING PLAN
SCALE: 1" = 20'-0"

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SCALE: 1" = 20'-0"
0 10' 20' 30' 40'

SITE PLAN
AND
GRADING
PLAN

PROJECT NO: 1935
DRAWN BY: CJA
CHECKED BY: SL, AS
PRINT DATE: 2020-08-03

C-1.1

TREE	CRZ	IMPACT	% IMPACT	STATUS- NOTES
(131) 15" OAK	1105	0	0%	REMAIN
(132) 19" OAK	1772	0	0%	REMAIN
(133) 19" OAK	1772	0	0%	REMAIN
(134) 22" OAK	2376	0	0%	REMAIN
(135) 21" OAK	2165	1160	55%	DESTROYED - DEMO
(136) 30" OAK	4418	1370	31%	DESTROYED - DEMO - LANDMARK
(137) 15" OAK	1105	0	0%	REMAIN
(138) 19" PINE	1772	0	0%	REMAIN
(139) 19" OAK	1772	0	0%	REMAIN
(140) 36" OAK	6362	0	0%	REMAIN - LANDMARK
(141) 21" OAK	2165	0	0%	REMAIN
(142) 21" SWEETGUM	2165	0	0%	REMAIN
(143) 19" OAK	1772	0	0%	REMAIN - SETBACK
(144) 28" OAK	3848	0	0%	REMAIN - SETBACK - LANDMARK
(145) 37" OAK	6720	0	0%	REMAIN - SETBACK - LANDMARK
(146) 28" OAK	3848	0	0%	REMAIN - SETBACK - LANDMARK
(147) 34" OAK	5675	0	0%	REMAIN - SETBACK - LANDMARK
(148) 29" OAK	4128	0	0%	REMAIN - SETBACK - LANDMARK
(149) 18" OAK	1590	0	0%	REMAIN
(150) 19" OAK	1772	0	0%	REMAIN
(151) 24" PINE	2827	0	0%	REMAIN - SETBACK
(152) 25" OAK	3068	0	0%	REMAIN - SETBACK
(153) 22" OAK	2376	0	0%	REMAIN - SETBACK
(154) 28" OAK	3848	0	0%	REMAIN - LANDMARK
(155) 19" OAK	1772	0	0%	REMAIN - SETBACK
(156) 20" POPLAR	1963	0	0%	REMAIN - SETBACK
(157) 26" OAK	3318	0	0%	REMAIN - SETBACK
(158) 24" OAK	2827	1121	40%	DESTROYED - DEMO
(159) 11" OAK	1590	137	9%	REMAIN - BOUNDARY
(160) 19" OAK	1772	618	35%	DESTROYED - DEMO - SETBACK
(161) 30" OAK	4418	634	14%	REMAIN - BOUNDARY - LANDMARK

TOTAL SITE AREA: 2.004 AC (87,294 SF)

TREE DENSITY REQUIRED (RCC): 35%
 $RCC = 2\,004\text{ AC} \times 35\% = 30\,553\text{ SF}$

EXISTING CANOPY (EC):
NOTE: (54) TREES OVER 18" DBH ARE EXISTING
54 TREES X 1,000 = 54,000 SF OF EXISTING CANOPY

EXISTING CANOPY DESTROYED (LR):
NOTE: TOTAL OF (4) TREES DESTROYED/DEMOLISHED BY
OVER 25% CRZ IMPACTION

DEMO # (135) 21" OAK
DEMO # (136) 30" OAK - LANDMARK TREE
DEMO # (158) 24" OAK
DEMO # (160) 19" OAK

NOTE: LANDMARK TREES MUST BE REPLACED AT 150% OF LOST CANOPY

(3 X 1,000 = 3,000 SF) + (1 X 1,000 x 150% = 1,500 SF) = 4,500 SF
EXISTING CANOPY DESTROYED (LR)

(RCC - EC + LR) = CR
 30,553 (RCC) - 54,000 (EC) + 4,500 (LR) =
 - 18,967 SF CANOPY REPLACEMENT (CR)
 EC IS GREATER THAN RCC & LR.
 REQUIRED CANOPY COVERAGE FOR THE SITE IS SATISFIED.

REPLACEMENT TREES:
(1) 2" CAL. GOLDEN ROBINIA (MEDIUM CANOPY)
(1) 5" CAL. SHUMARD OAK
(1) 2.5" CAL. CHINESE FRINGE TREE
(6) 9' TO 10' HT. TEA OLIVE

$$(1 \times 1,000 \text{ SF}) + (1 \times 500 \text{ SF}) + (1 \times 250 \text{ SF}) = 1,750 \text{ SF OF REPLACEMENT CANOPY}$$

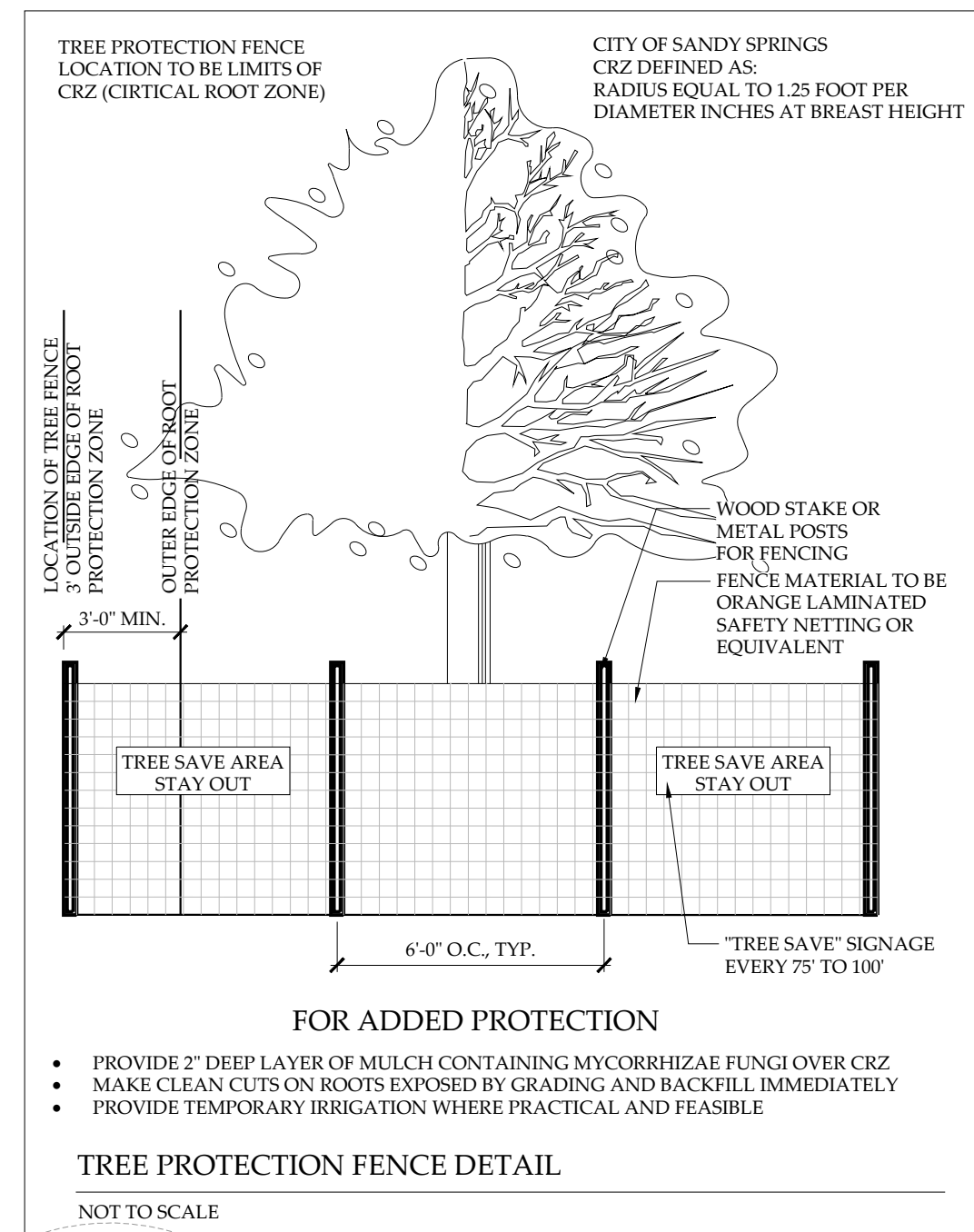
ALL TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING. FENCING TO CONSIST OF CHAIN LINK, OR ORANGE LAMINATED PLASTIC, WHERE TREE TRUNKS ARE IN JEOPARDY OF BEING DAMAGED BY EQUIPMENT, 2X4 INCH BOARDS MAY BE REQUESTED TO BE STRAPPED AROUND THE TRUNKS OF THE TREES.

CALL THE SANDY SPRINGS ARBORIST FOR A
PRE-CONSTRUCTION CONFERENCE AND SITE INSPECTION.
NO ACTIVITIES OF ANY KIND ARE TO OCCUR WITHIN TREE
PROTECTION AREAS.

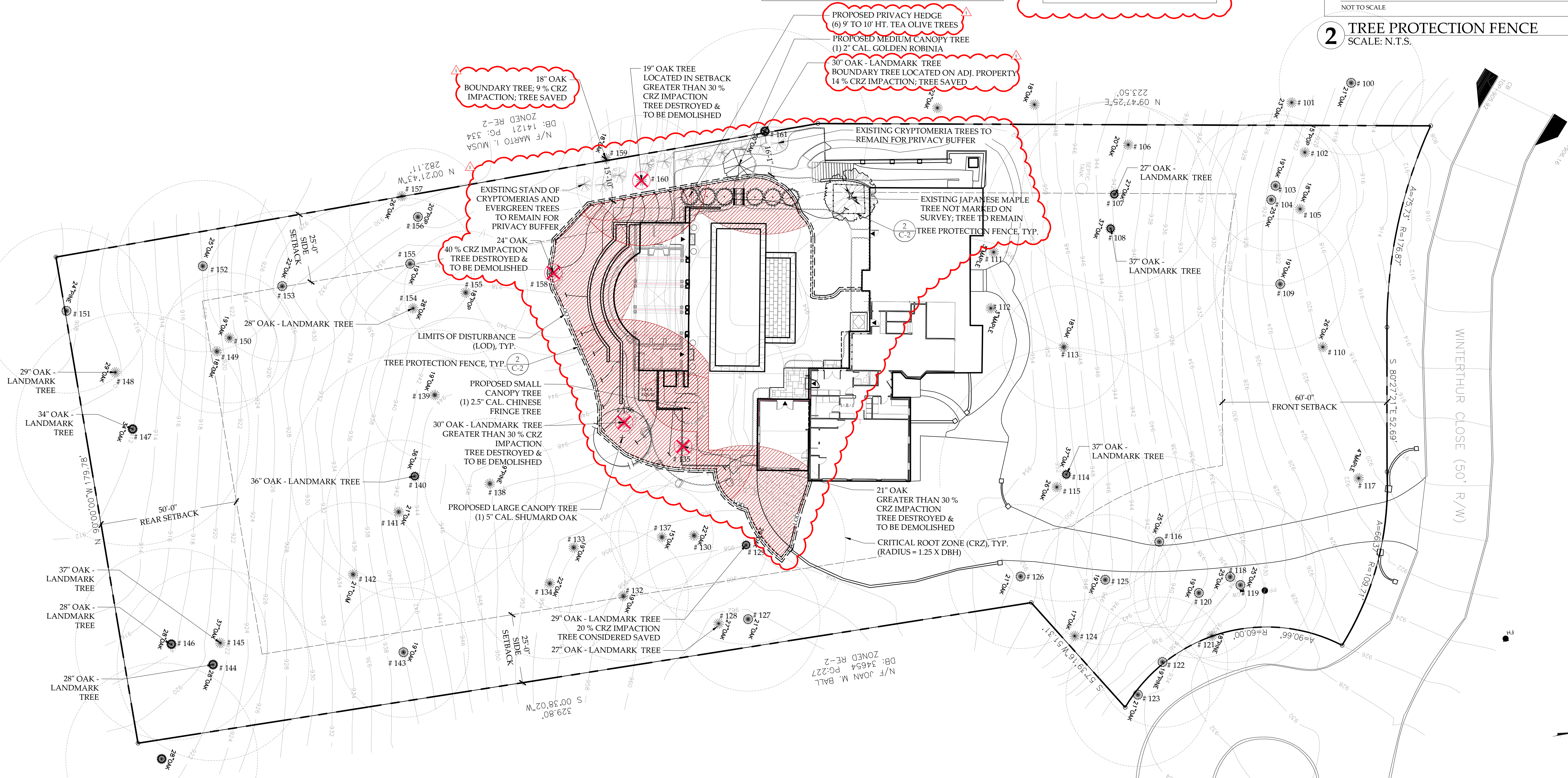
THE INFORMATION SHOWN ON THE TREE PRESERVATION AND/OR REPLACEMENT PLAN MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF THE PROJECT. CONTACT THE SANDY SPRINGS ARBORIST FOR AN INSPECTION.

PRE-CON MEETING

CONTRACT THE CITY OF SANDY
SPRINGS DEPARTMENT OF
COMMUNITY DEVELOPMENT
THROUGH THE PORTAL TO
SCHEDULE A
PRE-CONSTRUCTION MEETING
WITH THE SITE INSPECTOR
PRIOR TO ANY LAND
DISTURBANCE.
(THE CUT OFF TIME FOR NEXT
DAY INSPECTION IS 2PM).



2 TREE PROTECTION FENCE



1 TREE CONSERVATION PLAN

SITE IMPERVIOUS AREAS
(BREAKDOWN)

EXISTING IMPERVIOUS:	
HOUSE AND EXST. GARAGE	4,580 SQ. FT.
FRONT AND SIDE WALKWAYS, PAVING, AND STEPS	1,350 SQ. FT.
FRONT AND SIDE WALLS	201 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
DRIVEWAY	4,764 SQ. FT.
TOTAL EXISTING IMPERVIOUS =	14,110 SQ. FT.
EXISTING IMPERVIOUS REMOVED:	
HOUSE (SUN ROOM)	381 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
TOTAL IMPERVIOUS REMOVED =	3,596 SQ. FT.
IMPERVIOUS ADDED TO SITE:	
HOUSE (NEW GARAGE)	488 SQ. FT.
WALKWAYS & PATIO	448 SQ. FT.
WALLS	147 SQ. FT.
POOL	800 SQ. FT.
POOL DECK	643 SQ. FT.
POOL HOUSE	1,184 SQ. FT.
OUTDOOR SHOWER	25 SQ. FT.
EXPANSION OF CONC. DRIVEWAY	341 SQ. FT.
SITE TOTAL IMPERVIOUS ADDED =	+ 4,076 SQ. FT.
TOTAL NET IMPERVIOUS =	14,590 SQ. FT.
TOTAL LOD AREA =	9,408 SQ. FT.

NO GRADED SLOPE SHALL EXCEED 3:1

RUNOFF REDUCTION CALCULATIONS:

STONE STORAGE INFILTRATION
TRENCH CALCULATIONS

RUNOFF REDUCTION CALCULATIONS:

TREATED IMPERVIOUS AREA =	4,076 SF
REQUIRED REDUCTION	408 CUBIC FT
VOLUME =	(IMP. AREA X (1.2"/12"))

ALL VOLUME TO BE PROVIDED IN STONE
STORAGE INFILTRATION TRENCH

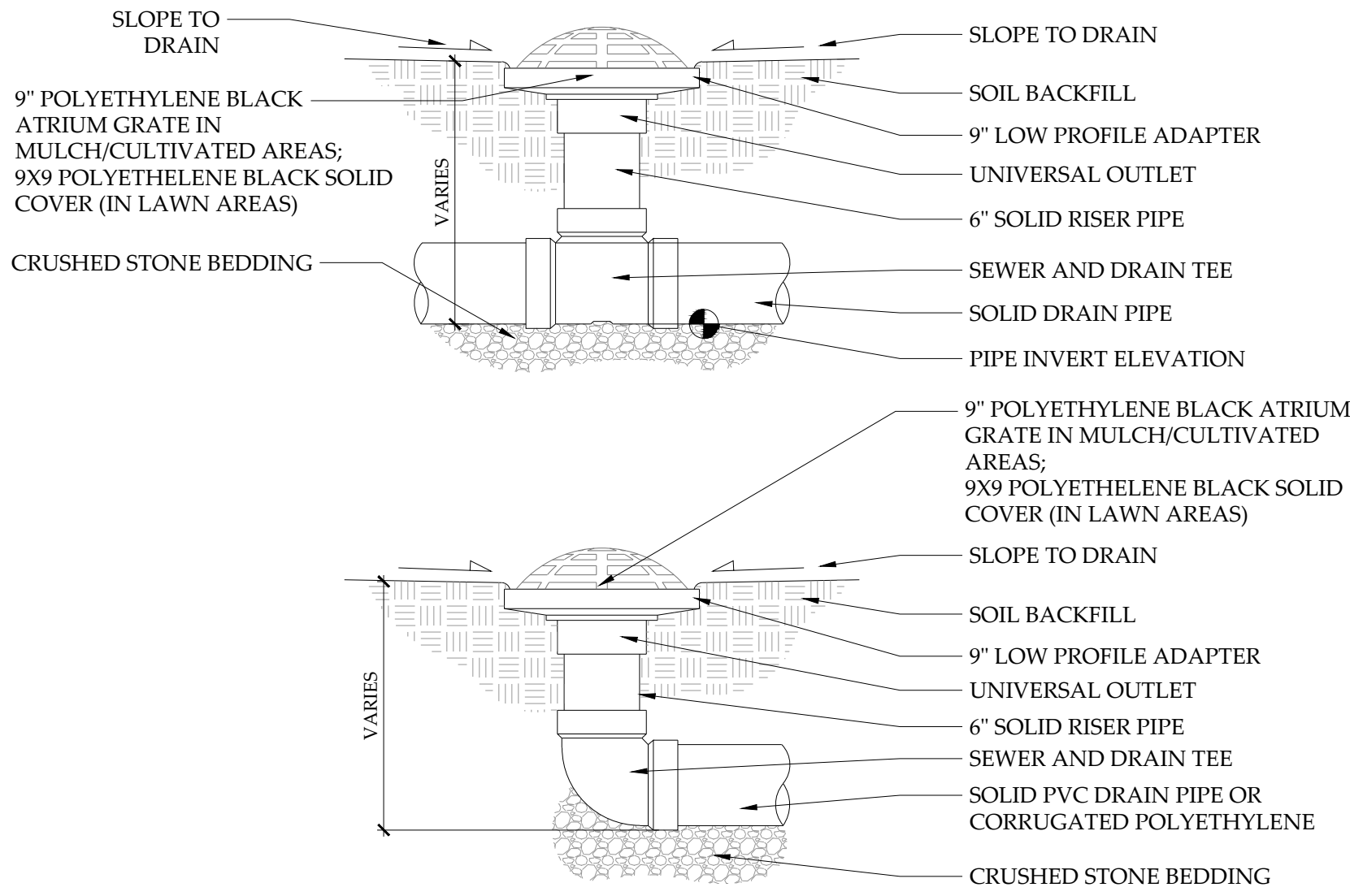
INFILTRATION TRENCH WITH 40% VOID RATIO	1,020 CUBIC FT
REQUIRED WQ VOLUME / 0.40 =	

INFILTRATION TRENCH CALCULATIONS:

LENGTH A1 = 9'-2"; A2 = 21'-0"
WIDTH B1 = 7'-8"; B2 = 11'-8"
HEIGHT 3.5 FT

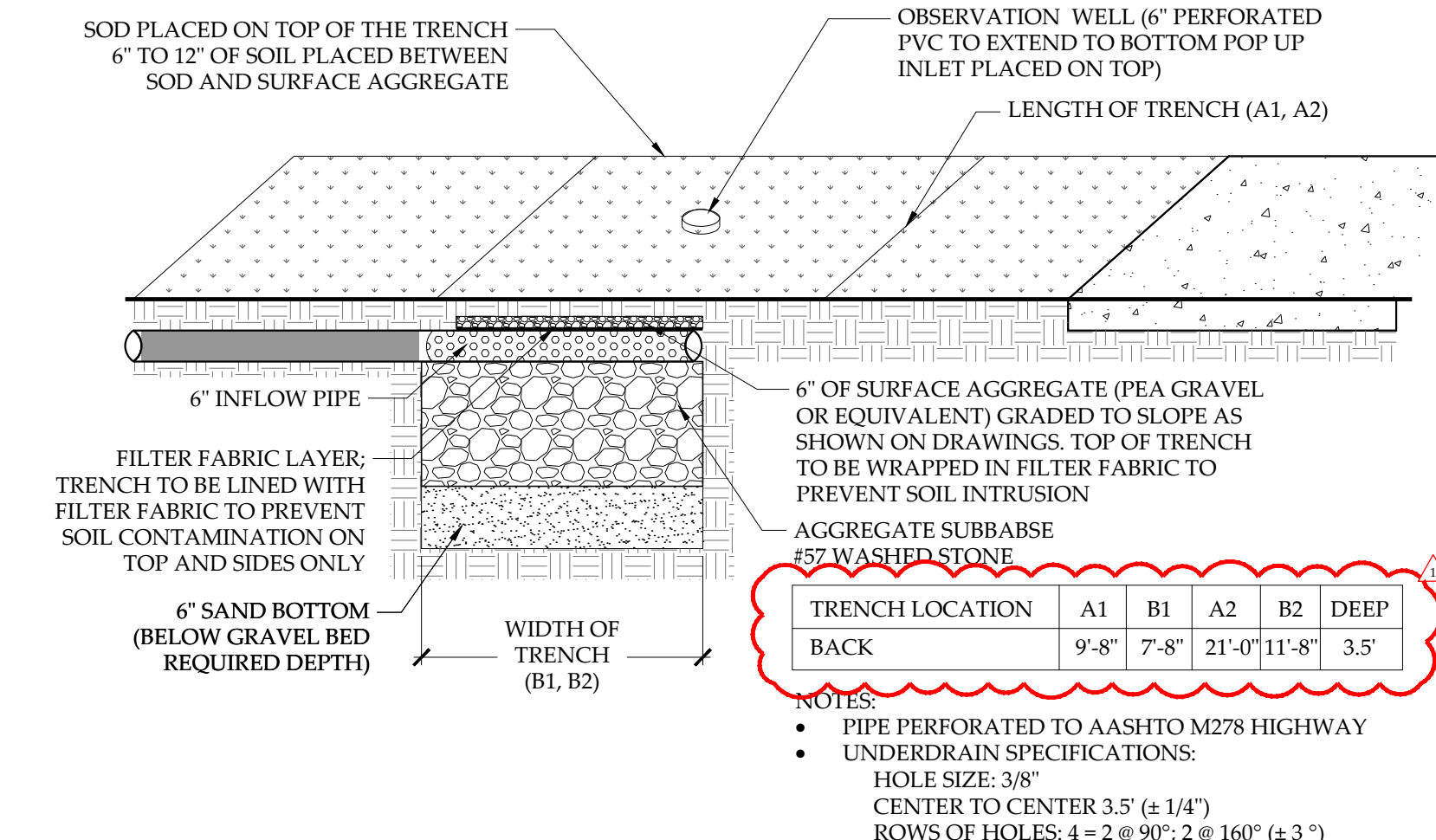
REQUIRED VOLUME=	1,020 CUBIC FT
PROVIDED VOLUME =	1,103 CUBIC FT

PROVIDED VOLUME IS GREATER THAN
REQUIRED VOLUME



2 AREA DRAIN SECTION
SCALE: NTS

RELEASED FOR CONSTRUCTION AND PERMIT



3 UNDERGROUND STONE STORAGE TRENCH
SCALE: NTS

RUNOFF REDUCTION DESCRIPTION

TOTAL NET IMPERVIOUS AREA FOR THE SITE IS 14,561 SQUARE FEET. RUNOFF REDUCTION IS PROVIDED ONLY FOR THE NEW IMPERVIOUS AREA OF 4,076 SQUARE FEET FOR PROPOSED ADDITION, POOL HOUSE, POOL, WALLS, AND STAIRS.

THERE WILL BE A STONE STORAGE TRENCH LOCATED AT THE REAR OF THE HOUSE CLOSEST TO THE NEW GARAGE ADDITION. THE TRENCH IS DESIGNED TO BE 21'-0" BY 11'-8" AND 9'-2" BY 7'-8" ALL AT 3.5 FEET DEEP AND WILL DETAIN A TOTAL OF 1,103 CUBIC FEET. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO) WHERE THE REQUIRED VOLUME OF THE STONE STORAGE TRENCH IS 1,020 CUBIC FEET (PROPOSED EXCEEDS REQUIRED). THE POSITION OF THE TRENCH IS SUCH A WAY THAT IT IS AT APPROXIMATELY 10 FEET AWAY FROM STRUCTURES, AND PROPERTY LINE.

OVERFLOW FROM THE EXISTING STORM WATER FACILITY WILL BE TOWARDS THE SOUTH-EAST SIDE / REAR PART OF THE PROPERTY. RUNOFF REDUCTION VOLUMES PROVIDED BY THE BMP'S SHOWN EXCEEDS THE STORAGE REQUIREMENTS. THE STONE STORAGE TRENCH WILL PROMOTE GROUND WATER RECHARGE WHILE RESPECTING THE REQUIRED CRITICAL ROOT ZONE OF THE SAVED TREES IN PROXIMITY OF THE TRENCH. DUE TO THE LIMITED SPACE AND THE PROPOSED SPANS OF LAWN AT THE BACK SURROUNDING THE POOL, A LARGER SURFACE AREA TRENCH WAS DESIGNED TO KEEP THE STORAGE FACILITY MORE SHALLOW TO PROMOTE MORE DIRECT INFILTRATION.

PROVIDE INFILTRATION RATE TEST DATA TO ENSURE THAT THE SOIL UNDERNEATH ALL WATER QUALITY DEVICES USING INFILTRATION HAS A MINIMUM 0.5 INCHES PER HOUR INFILTRATION RATE. THE MODIFIED TAFT METHOD IS NOT ACCEPTABLE TO DETERMINE INFILTRATION RATES. A PERCOLATION TEST MAY BE USED TO OBTAIN INFILTRATION RATES PROVIDED IT IS PERFORMED USING THE "PORCHET METHOD." INFILTRATION TYPE BMP'S SHOULD BE A MINIMUM 10 FEET AWAY FROM PROPERTY LINES AND/OR FOUNDATIONS AND A MINIMUM 20 FEET AWAY FROM SEPTIC SYSTEMS, SUBJECT TO FULTON COUNTY HEALTH DEPARTMENT APPROVAL.

RUNOFF REDUCTION NOTES:

VEGETATION:
THE LANDSCAPED AREA ABOVE THE SURFACE OF THE TRENCH CAN BE LANDSCAPED WITH SOD OR MAY BE COVERED WITH AN ENGINEERED SOIL MIX, AND PLANTED WITH MANAGED TURF OR OTHER HERBACEOUS VEGETATION. THE STONE STORAGE IS FOR STORAGE ONLY AND CAN BE GRADED ABOVE PER THE GRADING PLAN WITH A MINIMUM 6" COVER.

MAINTENANCE:

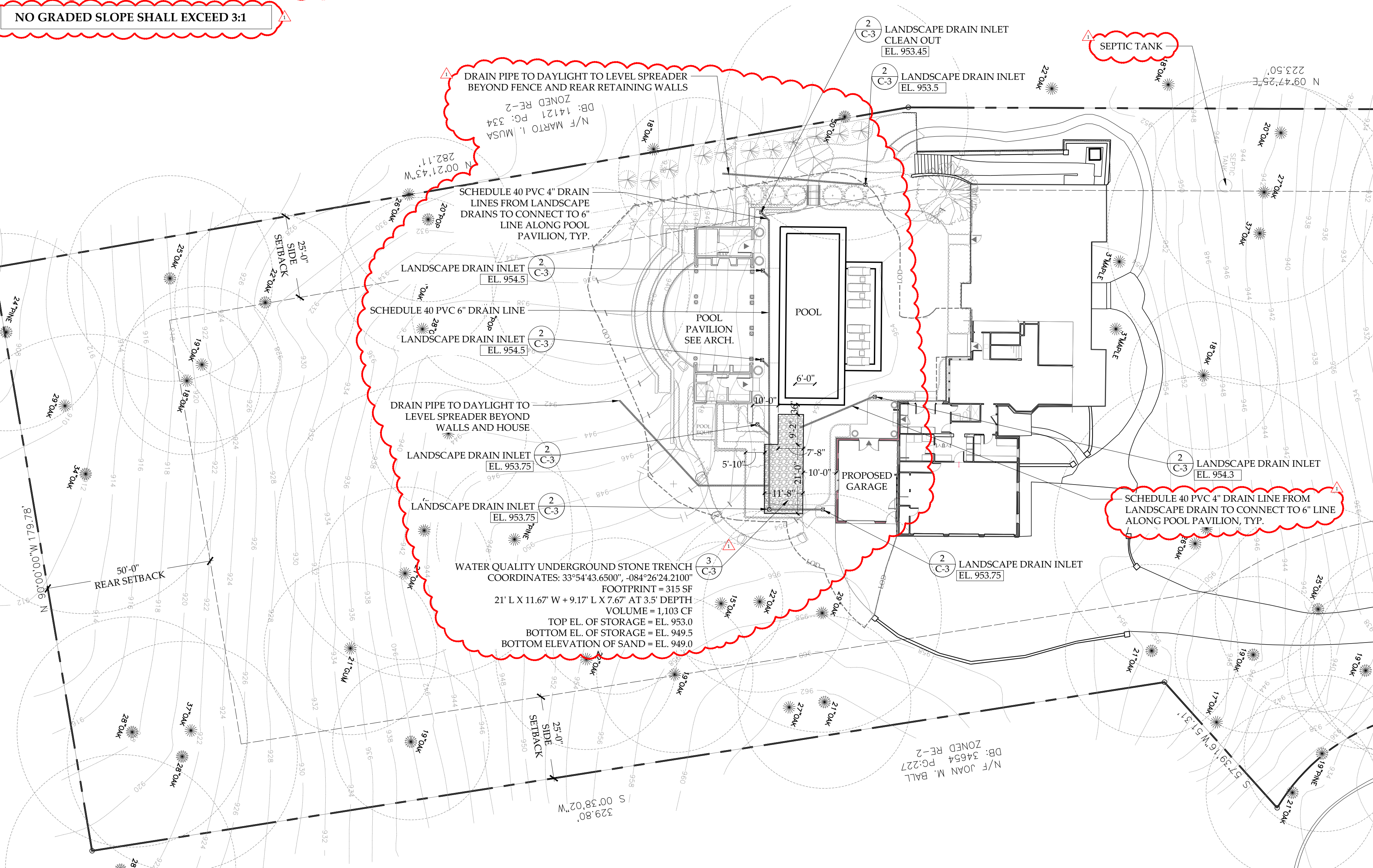
- MONTHLY
- ENSURE THAT CONTRIBUTING AREA, FACILITY AND INLETS ARE CLEAR OF DEBRIS.
 - ENSURE THAT THE CONTRIBUTING AREA IS STABILIZED.
 - REMOVE SEDIMENT AND OIL/GREASE FROM THE PRETREATMENT DEVICES, AS WELL AS OVERFLOW STRUCTURES.
 - MOW GRASS FILTER STRIPS SHOULD BE MOWED AS NECESSARY. REMOVE GRASS CLIPPINGS.

SEMI-ANNUAL INSPECTION

- CHECK OBSERVATION WELLS FOLLOWING 3 DAYS OF DRY WEATHER. FAILURE TO PERCOLATE WITHIN THIS TIME PERIOD INDICATES CLOGGING.
- INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE.
- REMOVE TREES THAT START TO GROW IN THE VICINITY OF THE TRENCH. REPLACE PEA GRAVEL/TOPSOIL/GRASSING TOP SURFACE FILTER FABRIC (WHEN CLOGGED).

AS NEEDED

- PERFORM TOTAL REHABILITATION OF THE TRENCH TO MAINTAIN DESIGN STORAGE CAPACITY.
- EXCAVATE TRENCH WALLS TO EXPOSE CLEAN SOIL UPON FAILURE.



1 STORMWATER & DRAINAGE PLAN
SCALE: 1" = 20'-0"

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SCALE: 1" = 20'-0"
0 10' 20' 30' 40'

STORMWATER
&
DRAINAGE
PLAN

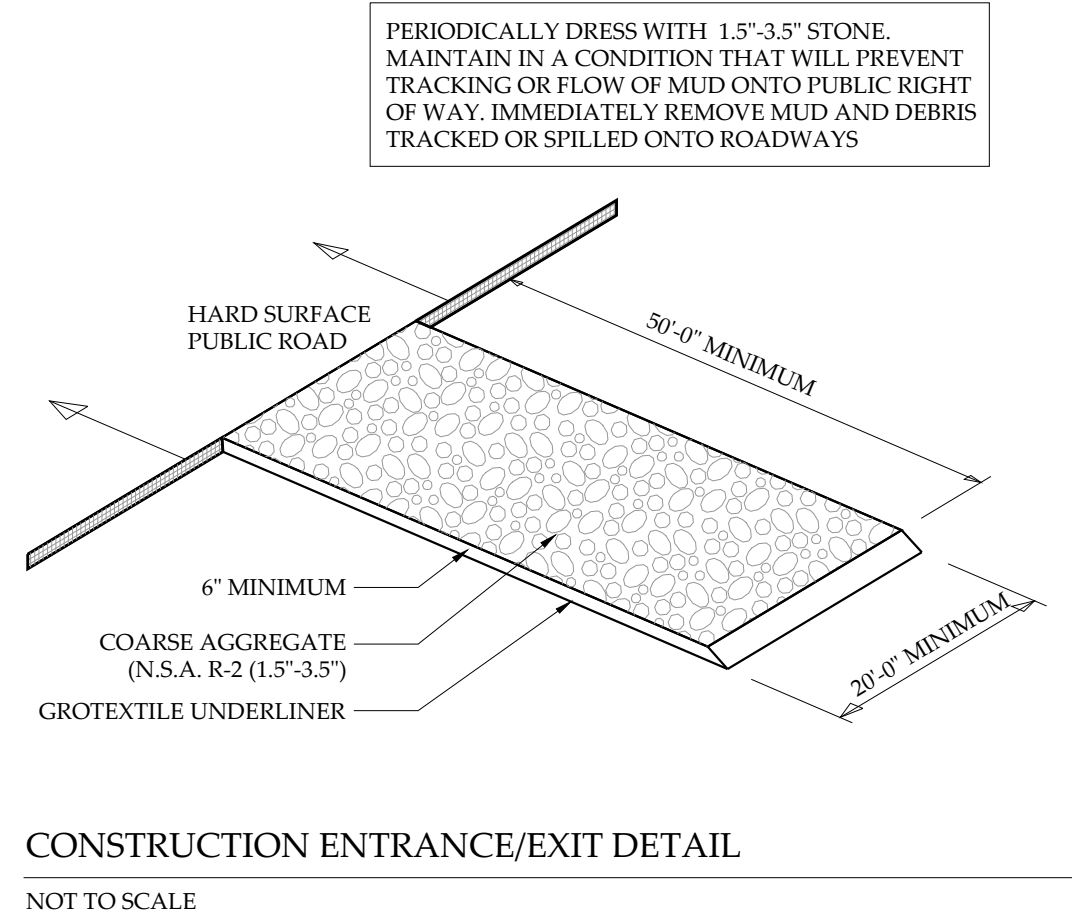
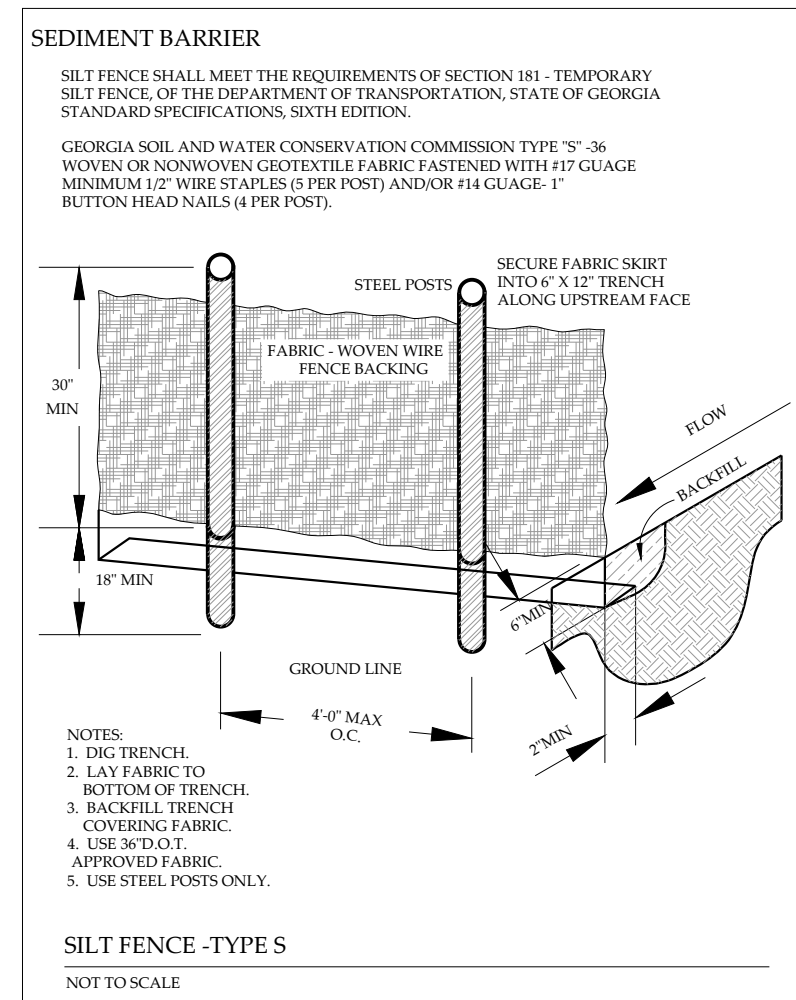
PROJECT NO.: 1935
DRAWN BY: CH
CHECKED BY: SL, AS
PRINT DATE: 2020-08-03

C-3

1. THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE WITH CURRENT DETAIL IS CONSTRUCTED.
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR THE EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
4. THE CONSTRUCTION STAGING AREA WILL BE THE PROPOSED POOL AREA DESIGNATED ON PLAN.
5. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
6. ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
7. ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS SAME MANUAL.
8. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SILT FENCING AND REMOVE THE FENCING FROM THE SITE ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.

9. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RE-TOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
10. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
11. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
12. THE PLAN PREPARER AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PREPARATION OF THIS SITE PLAN BY (HIMSELF/HERSELF).
13. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
15. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
16. CONSTRUCTION DUMPSTER TO BE LOCATED ON TOP OF EXISTING DRIVEWAY. DUMPSTER LOCATION TO BE MAINTAINED IN A CONDITION WHICH WILL PREVENT ANY POTENTIAL TRACKING OF MUD ONTO PUBLIC STREETS.

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT		 (Labd)	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Dsl	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		 (Dsl)	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Re	RETAINING WALL		 (Labd)	A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Sdl	SEDIMENT BARRIER		 (Indicate type)	A barrier to present sediment from leaving the construction site. It may be sandbag, bales of straw or hay, brush, logs and poles, gravel, or a sediment fence. The barriers are usually temporary and inexpensive.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		 (Ds2)	Establishing a temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)		 (Ds3)	The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization.
Ds4	DISTURBED AREA STABILIZATION (WITH SEEDING)		 (Ds4)	Establishing a permanent vegetative cover using sods on highly erodible or critically eroded lands.



A. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK ORDER."

B. TOPOGRAPHY IS BASED ON FIELD RUN DATA BY ALPHA LAND SERVICES DATED 01/07/2019. THE FIELD RUN TOPOGRAPHY DATE SHOULD NOT BE EARLIER THAN THE SITE'S FINAL PLAT DATE.

C. NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.

D. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

E. PRE-CON MEETING NOTE: CONTRACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (THE CUT OFF TIME FOR NEXT DAY INSPECTION IS 2PM).

F. GATES NOT INTENDED FOR PEDESTRIAN USE SHALL BE LOCKED WHEN THE POOL IS NOT IN USE.

G. FOR ALL CASES WHERE BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERIMETER, ALL DOORS AND OPERABLE WINDOWS WITH A SILL HEIGHT LOWER THAN 48" ON THE BUILDING(S) WHICH HAVE DIRECT ACCESS TO THE POOL AREA MUST BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN OR WINDOW IS OPENED.

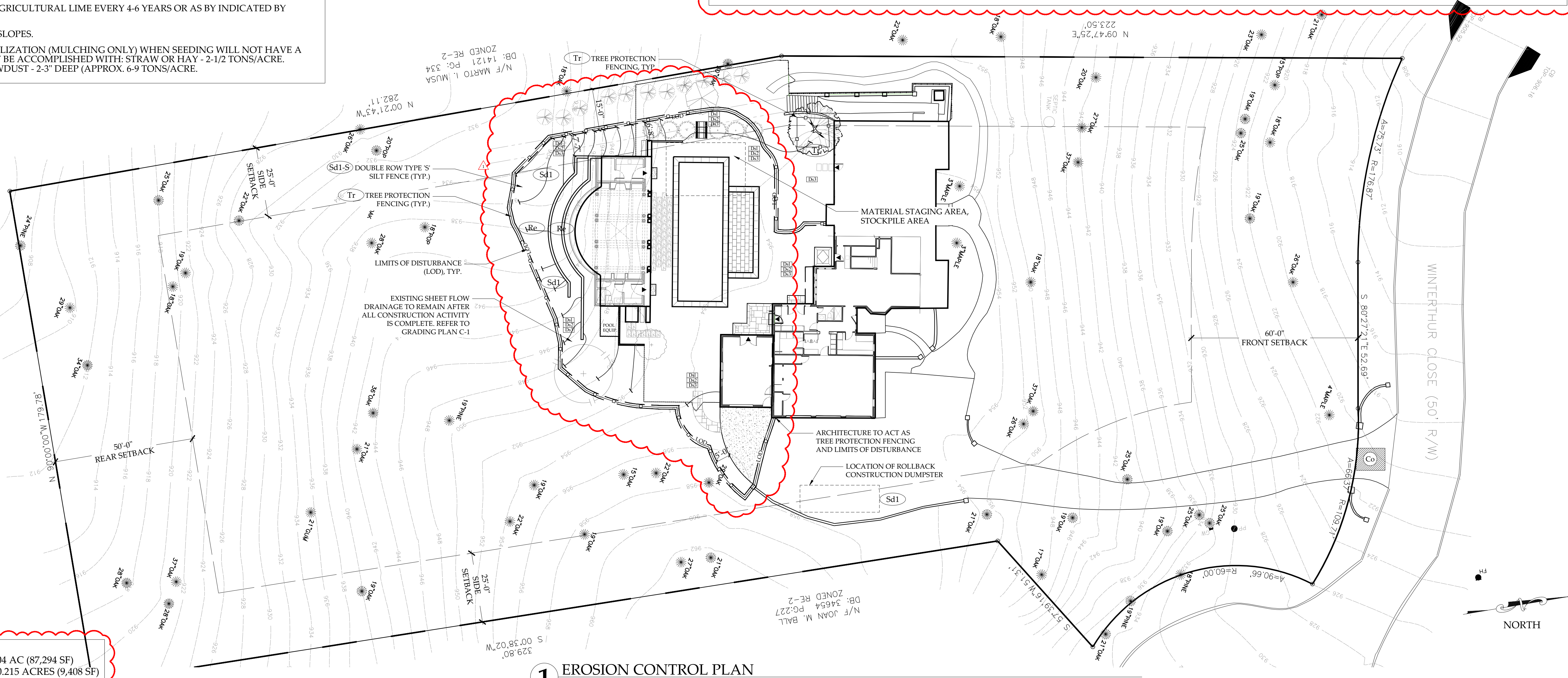
H. AN AS-BUILT DRAWING, CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.

SPECIES	RATE/1000S.F.	DATES	LIME	N	P205	K20
KY 31 FESCUE	1-1/2 - 2 LBS.	9/1-11/1	1 TON/ACRE	60-90	120-180	120-180
WINTER RYE	1-1/2 - 2 LBS.	9/1-11/1 3/1-4/1	1 TON/ACRE	60-90	120-180	120-180
*WEEPING LOVEGRASS	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180	120-180

*APPLY (1) ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

*HYDROSEED ON ALL 2:1 SLOPES.

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A
 SUITABLE GROWING MAY BE ACCOMPLISHED WITH: STRAW OR HAY - 2-1/2 TONS/ACRE.
 WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).



1 EROSION CONTROL PLAN

SCALE: 1" = 20'-0"

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SCALE: 1" = 20'-0"

A horizontal graphic scale bar with a black and white alternating pattern. It is marked with '0', '10'', '20'', '30'', and '40'' at regular intervals.

EROSION CONTROL PLAN

PROJECT NO.: 19315
DRAWN BY: CH
CHECKED BY: SL, AS
PRINT DATE: 2020-0

C-4

SITE IMPERVIOUS AREAS
(BREAKDOWN)

EXISTING IMPERVIOUS:	
HOUSE AND EXST. GARAGE	4,580 SQ. FT.
FRONT AND SIDE WALKWAYS, PAVING, AND STEPS	1,350 SQ. FT.
FRONT AND SIDE WALLS	201 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
DRIVEWAY	4,764 SQ. FT.
TOTAL EXISTING IMPERVIOUS =	14,110 SQ. FT.
EXISTING IMPERVIOUS REMOVED:	
HOUSE (SUN ROOM)	381 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
TOTAL IMPERVIOUS REMOVED =	3,596 SQ. FT.

TOTAL LOD AREA = 9,408 SQ. FT.

PERMIT IS FOR HOUSE RENOVATION AND GARAGE ADDITION, POOL, POOL HOUSE, POOL PAVING, WALKWAYS, AND FENCING.

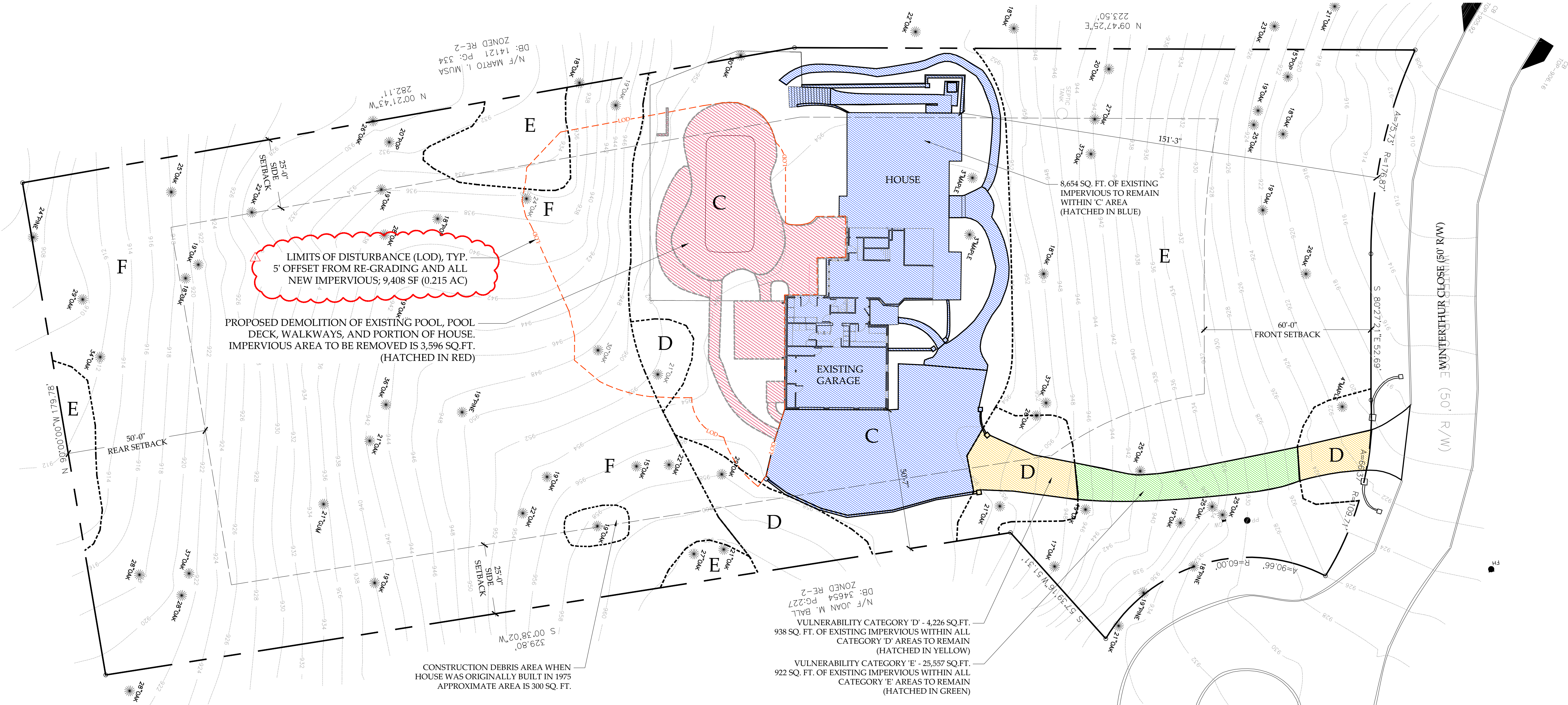
SITE VULNERABILITY CATEGORY LAND DISTURBANCE CALCULATIONS

CATEGORY	EXISTING AREA (SF)	MAXIMUM PERCENTAGE (%) LAND DISTURBANCE	PROPOSED LAND DISTURBANCE ACTIVITY	EXISTING IMPERVIOUS TO REMAIN	TOTAL LAND DISTURBANCE PERCENTAGES (%)
A	0 SQ. FT.	90 %	--	--	--
B	0 SQ. FT.	80 %	--	--	--
C	20,329 SQ. FT.	70 % (14,230 SQ. FT.)	6,138 SQ. FT.	8,654 SQ. FT.	73 % (14,792 SQ. FT.)
D	4,226 SQ. FT.	50 % (2,113 SQ. FT.)	470 SQ. FT.	938 SQ. FT.	31 % (1,318 SQ. FT.)
E	25,557 SQ. FT.	30 % (7,667 SQ. FT.)	245 SQ. FT.	922 SQ. FT.	5 % (1,167 SQ. FT.)
F	37,267 SQ. FT.	10 % (3,727 SQ. FT.)	2,555 SQ. FT.	--	7 % (2,555 SQ. FT.)

SITE VULNERABILITY CATEGORY IMPERVIOUS CALCULATIONS

CATEGORY	EXISTING AREA (SF)	MAXIMUM PERCENTAGE (%) IMPERVIOUS SURFACE	EXISTING IMPERVIOUS SURFACE AREAS	IMPERVIOUS SURFACE AREAS TO BE REMOVED	IMPERVIOUS SURFACE AREAS AFTER DEMO
A	0 SQ. FT.	75 %	--	--	--
B	0 SQ. FT.	60 %	--	--	--
C	20,329 SQ. FT.	45 % (9,148 SQ. FT.)	60 % (12,250 SQ. FT.)	3,596 SQ. FT.	8,654 SQ. FT.
D	4,226 SQ. FT.	30 % (1,268 SQ. FT.)	22 % (938 SQ. FT.)	--	938 SQ. FT.
E	25,557 SQ. FT.	15 % (3,834 SQ. FT.)	4 % (922 SQ. FT.)	--	922 SQ. FT.
F	37,267 SQ. FT.	2 % (745 SQ. FT.)	--	--	--

PLAN KEY	
VULNERABILITY CATEGORIES ARC RE-ANALYSIS DATED 2019-10-15	F
IMPERVIOUS DEMO WITHIN 'C' 3,596 SQ. FT.	
CATEGORY 'C' IMPERVIOUS TO REMAIN	C
CATEGORY 'D' IMPERVIOUS TO REMAIN	D
CATEGORY 'E' IMPERVIOUS TO REMAIN	E
LIMITS OF DISTURBANCE (LOD)	-- LOD -- LOD



1 ARC VULNERABILITY CATEGORIES & EXISTING SITE PLAN
SCALE: 1" = 20'-0"

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ATLANTA, GEORGIA 30328

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DATE	DESCRIPTION
2020-08-03	CITY COMMENTS - REVISIONS
2020-06-12	PERMIT SUBMITTAL
DATE	DESCRIPTION
ISSUE RECORD	



SCALE: 1" = 20'-0"
0 10' 20' 30' 40'

ARC
VULNERABILITY
CATEGORIES
AND
EXISTING
CONDITIONS

PROJECT NO: 1935
DRAWN BY: CH
CHECKED BY: SL, AS
PRINT DATE: 2020-08-03

C-5.1

SITE IMPERVIOUS AREAS
(BREAKDOWN)

EXISTING IMPERVIOUS:	
HOUSE AND EXST. GARAGE	4,580 SQ. FT.
FRONT AND SIDE WALKWAYS, PAVING, AND STEPS	1,350 SQ. FT.
FRONT AND SIDE WALLS	201 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
DRIVEWAY	4,764 SQ. FT.
TOTAL EXISTING IMPERVIOUS =	14,110 SQ. FT.
EXISTING IMPERVIOUS REMOVED:	
HOUSE (SUN ROOM)	381 SQ. FT.
REAR PAVING & PATIOS	1,234 SQ. FT.
POOL	728 SQ. FT.
POOL DECK	1,253 SQ. FT.
TOTAL IMPERVIOUS REMOVED =	3,596 SQ. FT.
IMPERVIOUS ADDED TO SITE:	
HOUSE (NEW GARAGE)	488 SQ. FT.
WALKWAYS & PATIO	448 SQ. FT.
WALLS	147 SQ. FT.
POOL	800 SQ. FT.
POOL DECK	643 SQ. FT.
POOL HOUSE	1,184 SQ. FT.
OUTDOOR SHOWER	25 SQ. FT.
EXPANSION OF CONC. DRIVEWAY	341 SQ. FT.
SITE TOTAL IMPERVIOUS ADDED =	+ 4,076 SQ. FT.
TOTAL NET IMPERVIOUS =	14,590 SQ. FT.
TOTAL LOD AREA =	9,408 SQ. FT.

PERMIT IS FOR HOUSE RENOVATION AND GARAGE ADDITION, POOL, POOL HOUSE, POOL PAVING, WALKWAYS, AND FENCING.

SITE VULNERABILITY CATEGORY LAND DISTURBANCE CALCULATIONS

CATEGORY	EXISTING AREA (SF)	MAXIMUM PERCENTAGE (%) LAND DISTURBANCE	PROPOSED LAND DISTURBANCE ACTIVITY	EXISTING IMPERVIOUS TO REMAIN	TOTAL LAND DISTURBANCE PERCENTAGES (%)
A	0 SQ. FT	90 %	--	--	--
B	0 SQ. FT	80 %	--	--	--
C	20,329 SQ. FT	70 % (14,230 SQ. FT.)	6,138 SQ. FT.	8,654 SQ. FT.	73 % (14,792 SQ. FT.)
D	4,226 SQ. FT	50 % (2,113 SQ. FT.)	470 SQ. FT.	938 SQ. FT.	31 % (1,318 SQ. FT.)
E	25,557 SQ. FT	30 % (7,667 SQ. FT.)	245 SQ. FT.	922 SQ. FT.	5 % (1,167 SQ. FT.)
F	37,267 SQ. FT	10 % (3,727 SQ. FT.)	2,555 SQ. FT.	--	7 % (2,555 SQ. FT.)

NOTES:
THE LAND DISTURBANCE ACTIVITY FOR THE SITE IMPROVEMENTS PROJECT (GARAGE ADDITION, NEW POOL DECK, AND POOL HOUSE) EXCEEDS THE MAXIMUM PERCENTAGE ALLOWED ONLY IN VULNERABILITY CATEGORY 'C'.
TO MEET THE REQUIREMENTS FOR ALLOWANCES WITHIN CATEGORY 'C', REFER TO THE TRANSFERENCE CHART FOR MORE INFORMATION.

TRANSFERENCE CALCULATIONS

CATEGORY	EXISTING TOTAL AREA (SF)	TOTAL AREA OF LAND DISTURBANCE	TOTAL AREA OF IMPERVIOUS SURFACE	LAND DISTURBANCE % (MAX. PERCENTAGE %)	IMPERVIOUS SURFACE % (MAX. PERCENTAGE %)
A	0 SQ. FT	--	--		
B	0 SQ. FT	--	--		
C	20,329 SQ. FT	14,792 SQ. FT *	12,040 SQ. FT **	(70 %) 73 *	(45 %) 59 **
D	4,226 SQ. FT	1,318 SQ. FT	938 SQ. FT	(50 %) 31	(30 %) 23
E	25,557 SQ. FT	7,217 SQ. FT *	1,904 SQ. FT **	(30 %) 28 *	(15 %) 7 **
F	37,267 SQ. FT	2,555 SQ. FT	658 SQ. FT	(10 %) 7	(2 %) 2
TOTAL	87,379 SQ. FT	25,882 SQ. FT	15,540 SQ. FT		

NOTES:
* INCLUDES A TRANSFER OF 450 SQ. FT. OF LAND DISTURBANCE FROM 'E' TO 'C' AT 1 TO 1.5 (450 X 1.5 = 675 SQ. FT.)
** INCLUDES A TRANSFER OF 1,930 SQ. FT. OF IMPERVIOUS SURFACE FROM 'E' TO 'C' AT 1 TO 1.5 (1,930 X 1.5 = 2,895 SQ. FT.)

SITE VULNERABILITY CATEGORY IMPERVIOUS CALCULATIONS

CATEGORY	EXISTING AREA (SF)	MAXIMUM PERCENTAGE (%) IMPERVIOUS SURFACE	EXISTING IMPERVIOUS SURFACE AREAS	IMPERVIOUS SURFACE AREAS TO BE REMOVED	IMPERVIOUS SURFACE AREAS AFTER DEMO	IMPERVIOUS SURFACE AREAS PROPOSED	NET IMPERVIOUS SURFACE AREAS
A	0 SQ. FT	75 %	--	--	--	--	--
B	0 SQ. FT	60 %	--	--	--	--	--
C	20,329 SQ. FT	45 % (9,148 SQ. FT.)	60 % (12,250 SQ. FT.)	3,596 SQ. FT.	8,654 SQ. FT.	3,386 SQ. FT.	59 % (12,040 SQ. FT.)
D	4,226 SQ. FT	30 % (1,268 SQ. FT.)	22 % (938 SQ. FT.)	--	938 SQ. FT.	32 SQ. FT.	23 % (970 SQ. FT.)
E	25,557 SQ. FT	15 % (3,834 SQ. FT.)	4 % (922 SQ. FT.)	--	922 SQ. FT.	--	4 % (922 SQ. FT.)
F	37,267 SQ. FT	2 % (745 SQ. FT.)	--	--	--	658 SQ. FT.	2 % (658 SQ. FT.)

PLAN KEY

VULNERABILITY CATEGORIES
ARC RE-ANALYSIS DATED 2019-10-15

F

LIMITS OF DISTURBANCE (LOD)

- LOD

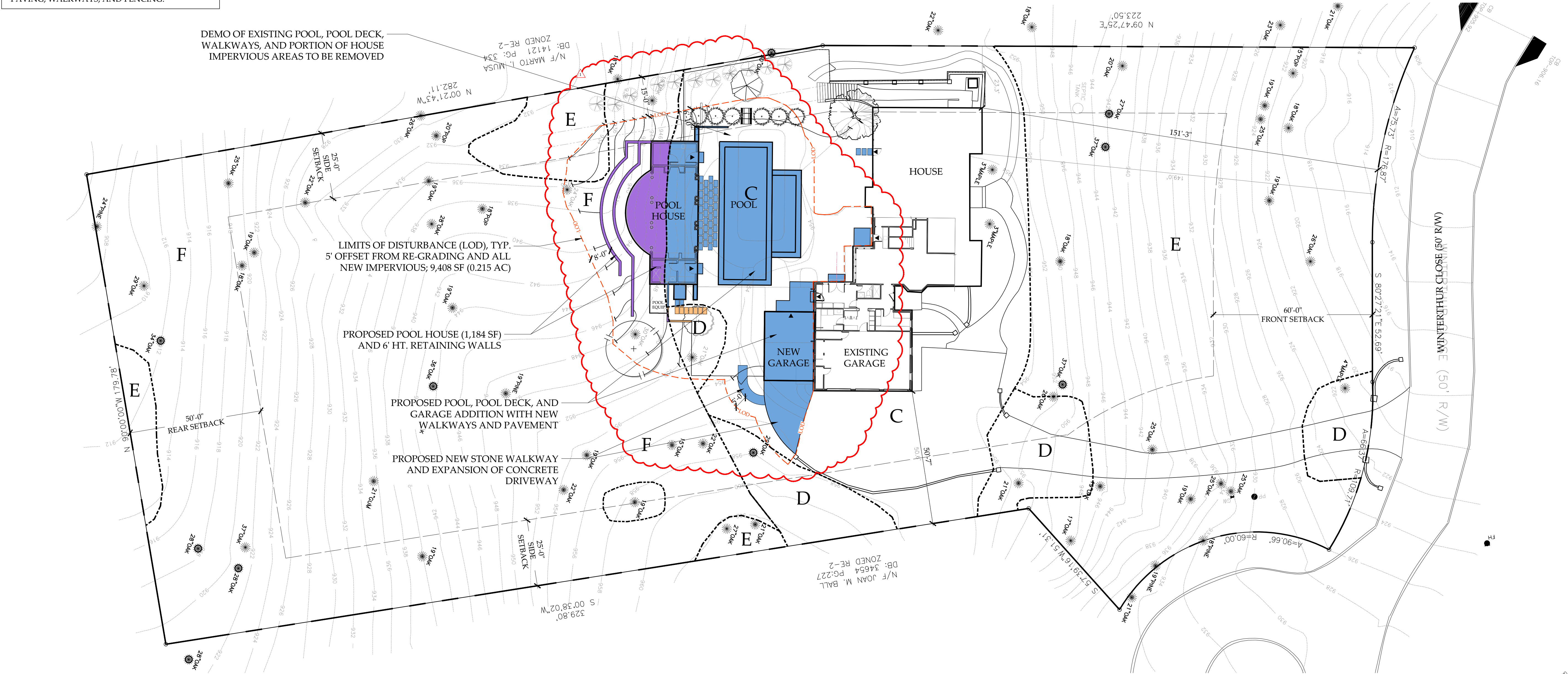
- LOD

CATEGORY 'C'
ADDED IMPERVIOUS

CATEGORY 'D'
ADDED IMPERVIOUS

CATEGORY 'E'
ADDED IMPERVIOUS

CATEGORY 'F'
ADDED IMPERVIOUS



1 ARC CALCULATIONS OVERLAY & PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

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2020-08-03	CITY COMMENTS - REVISIONS
2020-06-12	PERMIT SUBMITTAL
DATE	DESCRIPTION
ISSUE RECORD	



SCALE: 1" = 20'-0"
0 10' 20' 30' 40'

ARC
CALCULATIONS
OVERLAY &
PROPOSED
SITE PLAN

PROJECT NO: 1935
DRAWN BY: CH
CHECKED BY: SL, AS
PRINT DATE: 2020-08-03

C-5.2