



ATLANTA REGIONAL COMMISSION

# REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: October 11, 2018

ARC REVIEW CODE: V1810111

**TO:** Mayor Keisha Lance Bottoms, City of Atlanta  
**ATTN TO:** Keyetta Holmes, Office of Zoning and Development  
**FROM:** Douglas R. Hooker, Executive Director, ARC

Digital signature  
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

**Name of Proposal:** RC-18-01A 2012 West Paces Ferry Road

**Review Type:** Metro River

**MRPA Code:** RC-18-01A

**Description:** An application for a Metropolitan River Protection Act (MRPA) Certificate for the construction of a new single-family residence, guest house, pool, pool cabana, and detached garage.

**Preliminary Finding:** ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

**Submitting Local Government:** City of Atlanta

**Land Lot:** 234 & 240 **District:** 17 **Section:**

**Date Opened:** October 11, 2018

**Deadline for Comments:** October 21, 2018

**Earliest the Regional Review can be Completed:** October 22, 2018

## THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT  
CHATTAHOOCHEE RIVERKEEPER  
FULTON COUNTY

ARC NATURAL RESOURCES  
GEORGIA CONSERVANCY  
COBB COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES  
NATIONAL PARK SERVICE/CRNRA

If you have any questions regarding this review, please contact Robert Herrig at [Rherrig@atlantaregional.org](mailto:Rherrig@atlantaregional.org) or (470) 378-1636. If ARC staff does not receive comments from you on or before October 21, 2018, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.



[illegible]







SEP 27 2018  
MPA-18-001

APPLICATION FOR  
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

Department of City Planning  
Office of Zoning & Development

1. Name of Local Government: CITY OF ATLANTA
2. Owner(s) of Record of Property to be Reviewed:  
Name(s): W PACES FERRY LLC.  
Mailing Address: 16130 VENTURA BLVD. STE. 320  
City: ENCINO State: CA Zip: 91436  
Contact Phone Numbers (w/Area Code):  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Other Numbers: \_\_\_\_\_
3. Applicant(s) or Applicant's Agent(s):  
Name(s): BILL CALDWELL  
Mailing Address: 3198 CAINS HILL PL NW  
City: ATLANTA State: GA Zip: 30305  
Contact Phone Numbers (w/Area Code):  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Other Numbers: \_\_\_\_\_
4. Proposed Land or Water Use:  
Name of Development: 2012 WEST PACES FERRY RD. NW ATLANTA, GA 30327  
Description of Proposed Use: SINGLE FAMILY RESIDENCE WITH GUEST HOUSE, POOL, POOL CABANA, AND DETACHED GARAGE
5. Property Description (Attach Legal Description and Vicinity Map):  
Land Lot(s), District, Section, County: LAND LOTS 234 AND 240, DISTRICT 17, FULTON COUNTY  
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: 443 FT FROM INTERSECTION OF WEST PACES FERRY RD NW AND RIVERLY RD NW  
Size of Development (Use as Applicable):  
Acres: Inside Corridor: 9.45 ACRES  
Outside Corridor: 0  
Total: 9.45 ACRES  
Lots: Inside Corridor: 1  
Outside Corridor: 0  
Total: 1  
Units: Inside Corridor: N/A  
Outside Corridor: N/A  
Total: N/A  
Other Size Descriptor (i.e., Length and Width of Easement):  
Inside Corridor: N/A  
Outside Corridor: N/A  
Total: N/A



MRPA-18-001

SEP 27 2018

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: N/A

66 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): N/A

7. How Will Sewage from this Development be Treated?

A. Septic tank YES

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system NO

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(90) <u>N/A</u>	(75) <u>N/A</u>
B	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(80) <u>N/A</u>	(60) <u>N/A</u>
C	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(70) <u>N/A</u>	(45) <u>N/A</u>
D	<u>69,674 S.F.</u>	<u>*69,674 S.F.</u>	<u>**42,224 S.F.</u>	(50) <u>*100%</u>	(30) <u>**60.6%</u>
E	<u>315,923 S.F.</u>	<u>*71,547 S.F.</u>	<u>**33,174 S.F.</u>	(30) <u>*22.6%</u>	(15) <u>**10.5%</u>
F	<u>25,946 S.F.</u>	<u>2,595 S.F.</u>	<u>519 S.F.</u>	(10) <u>10%</u>	(2) <u>2%</u>
Total:	<u>411,543 S.F.</u>	<u>143,816 S.F.</u>	<u>75,917 S.F.</u>	N/A	N/A

\* Includes transfer of 23,225 SF of land disturbance from E to D at 1 to 1.5 (23,225 x 1.5 = 34,837 SF) as per Part 2.A.3.c.(1) of the Chattahoochee Corridor Plan.

\*\* Includes transfer of 14,214 SF of impervious surface from E to D at 1 to 1.5 (14,214 x 1.5 = 21,322 SF) as per Part 2.A.3.c.(1) of the Chattahoochee Corridor Plan.



9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? **YES (NO BLDGS PROPOSED)**  
If "yes", indicate the 100-year floodplain elevation: 775'

**NOTE:** The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

**NOTE:** All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? **YES (NO BLDGS PROPOSED)**  
If "yes", indicate the 500-year flood plain elevation: SEE FEMA MAP

**NOTE:** The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

**NOTE:** Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

**FOR ALL APPLICATIONS:**

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

Department of City Planning  
Office of Zoning & Development

X Existing vegetation plan.

X Proposed grading plan.

SEP 27 2018

X Certified as-builts of all existing land disturbance and impervious surfaces.

65 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

X Approved erosion control plan. **Under Review**

X Detailed table of land-disturbing activities. (Both on this form and on the plans)



X Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

X Documentation on adjustments, if any.

Department of City Planning  
Office of Zoning & Development

X Cashier's check or money order (for application fee).

SEP 27 2018

**FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):**

X Site plan.

65 Trinity Ave. S.W.  
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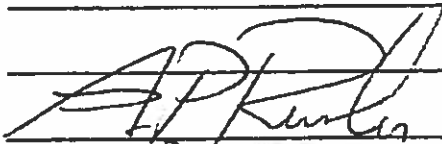
X Land-disturbance plan. **UNDER REVIEW**

**FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:**

N/A Concept plan.

N/A Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)



Signature(s) of Owner(s) of Record

9/19/18

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:



Signature(s) of Applicant(s) or Agent(s)

9/19/18

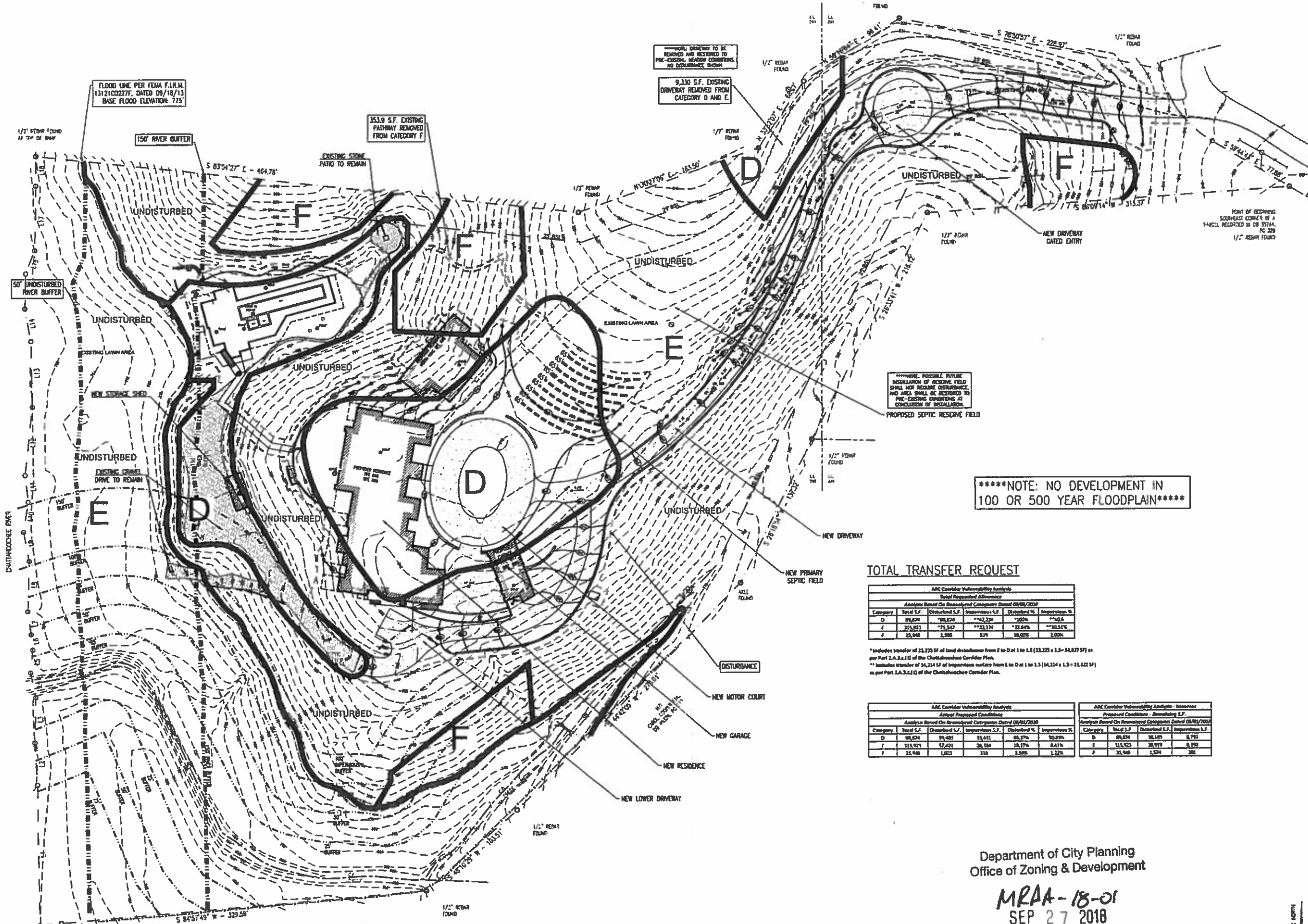
Date

14. The governing authority of \_\_\_\_\_ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Signature of Chief Elected Official or Official's Designee

Date





\*\*\*\*\*NOTE: NO DEVELOPMENT IN 100 OR 500 YEAR FLOODPLAIN\*\*\*\*\*

**TOTAL TRANSFER REQUEST**

ARC Candidate Vulnerability Analysis					
Actual Proposed Conditions					
Analysis Based On Reanalyzed Categories Dated 09/04/2018					
Category	Total S.F.	Disturbed S.F.	Impervious S.F.	Disturbed %	Impervious %
D	87,824	88,824	44,234	100%	50.6%
E	315,813	71,547	23,134	22.64%	7.31%
F	25,946	1,995	849	7.69%	3.27%

\* Includes transfer of 23,134 SF of land disturbance from E to D at 1 to 1.5 (23,134 x 1.5 = 34,701 SF) as per Part 2.A.3.c.1(i) of the Chattahoochee Corridor Plan.  
\*\* Includes transfer of 34,701 SF of impervious surface from E to D at 1 to 1.5 (34,701 x 1.5 = 52,052 SF) as per Part 2.A.3.c.1(i) of the Chattahoochee Corridor Plan.

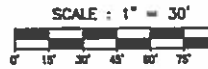
ARC Candidate Vulnerability Analysis					
Actual Proposed Conditions					
Analysis Based On Reanalyzed Categories Dated 09/04/2018					
Category	Total S.F.	Disturbed S.F.	Impervious S.F.	Disturbed %	Impervious %
D	87,824	94,489	55,411	85.77%	70.87%
E	315,813	42,431	36,104	13.77%	8.41%
F	25,946	1,021	318	3.94%	1.22%

ARC Candidate Vulnerability Analysis - Resumes					
Proposed Conditions - Remaining S.F.					
Analysis Based On Reanalyzed Categories Dated 09/04/2018					
Category	Total S.F.	Disturbed S.F.	Impervious S.F.	Disturbed %	Impervious %
D	87,824	38,187	6,743	43.48%	7.68%
E	315,813	30,919	6,990	9.79%	2.21%
F	25,946	1,324	301	5.10%	1.16%

Department of City Planning  
Office of Zoning & Development

**MRAA-18-01**  
**SEP 27 2018**

55 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA



1  
L-8.100  
ARC ANALYSIS - PROPOSED CONDITIONS  
Scale: 1\"/>





2010 Census Tract 100  
Atlanta, Georgia 30303  
Phone: (404) 363-7700  
Fax: (404) 363-7700  
www.harrisonharris.com

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2012 WEST PACES FERRY RD. NW

ATLANTA, GEORGIA 30327  
LAND LOTS 234 & 240, DISTRICT 17, FULTON COUNTY, PARCEL ID 17 0240 LL0070



09/27/2018

2018-08-17

AS SHOWN

ARC

ARC ANALYSIS

EXISTING CONDITIONS

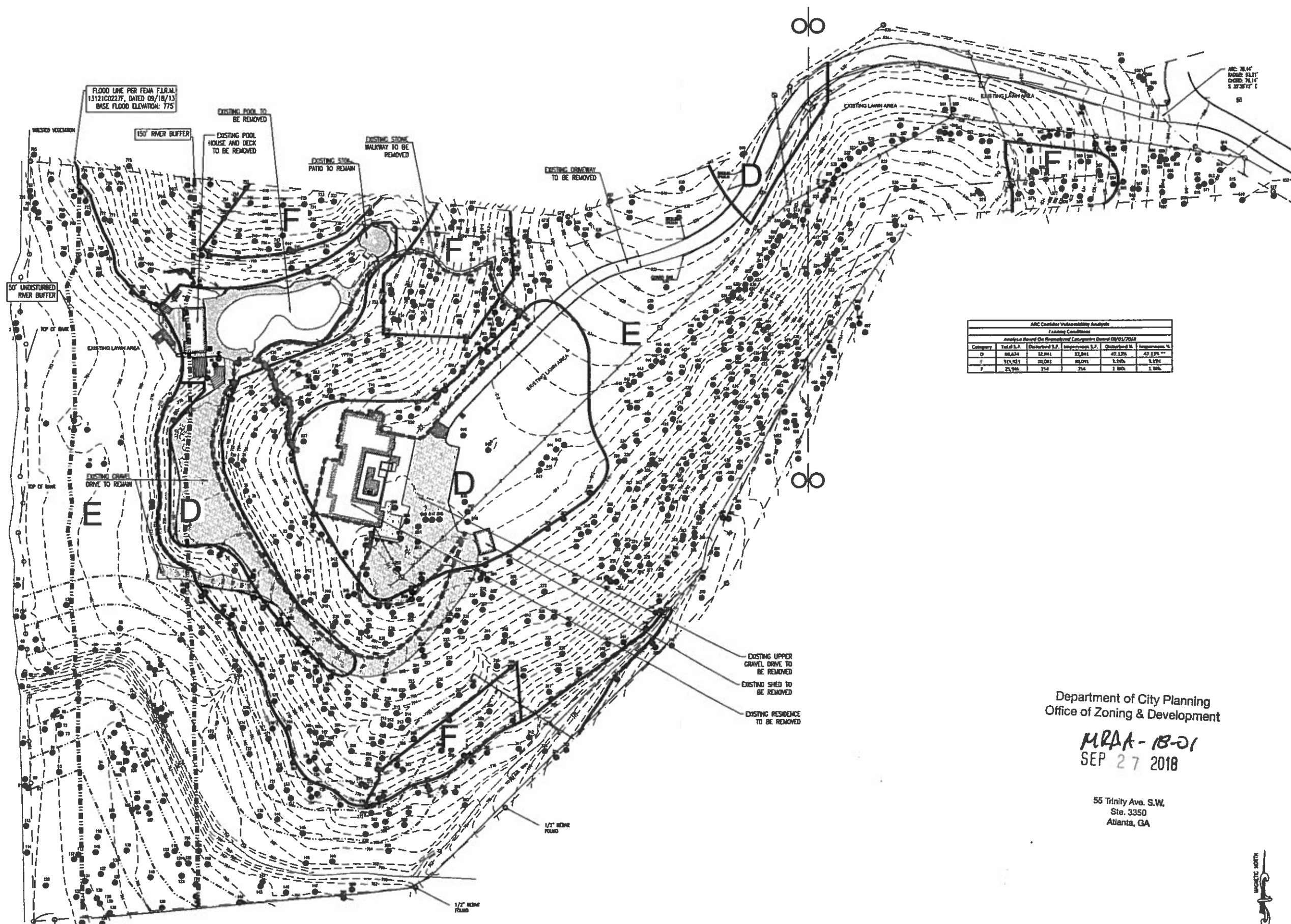
ARC ANALYSIS

EXISTING CONDITIONS

L-8.000

RELEASED FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION



ARC Consider Vulnerability Analysis					
Existing Conditions					
Analysis Based On Remanded Categories Dated 09/01/2018					
Category	Total S.F.	Overland S.F.	Impervious S.F.	Overland %	Impervious %
D	88,634	12,841	32,841	47.13%	47.13%
E	115,513	10,082	10,082	3.96%	3.96%
F	23,966	354	354	1.80%	1.80%

Department of City Planning  
Office of Zoning & Development

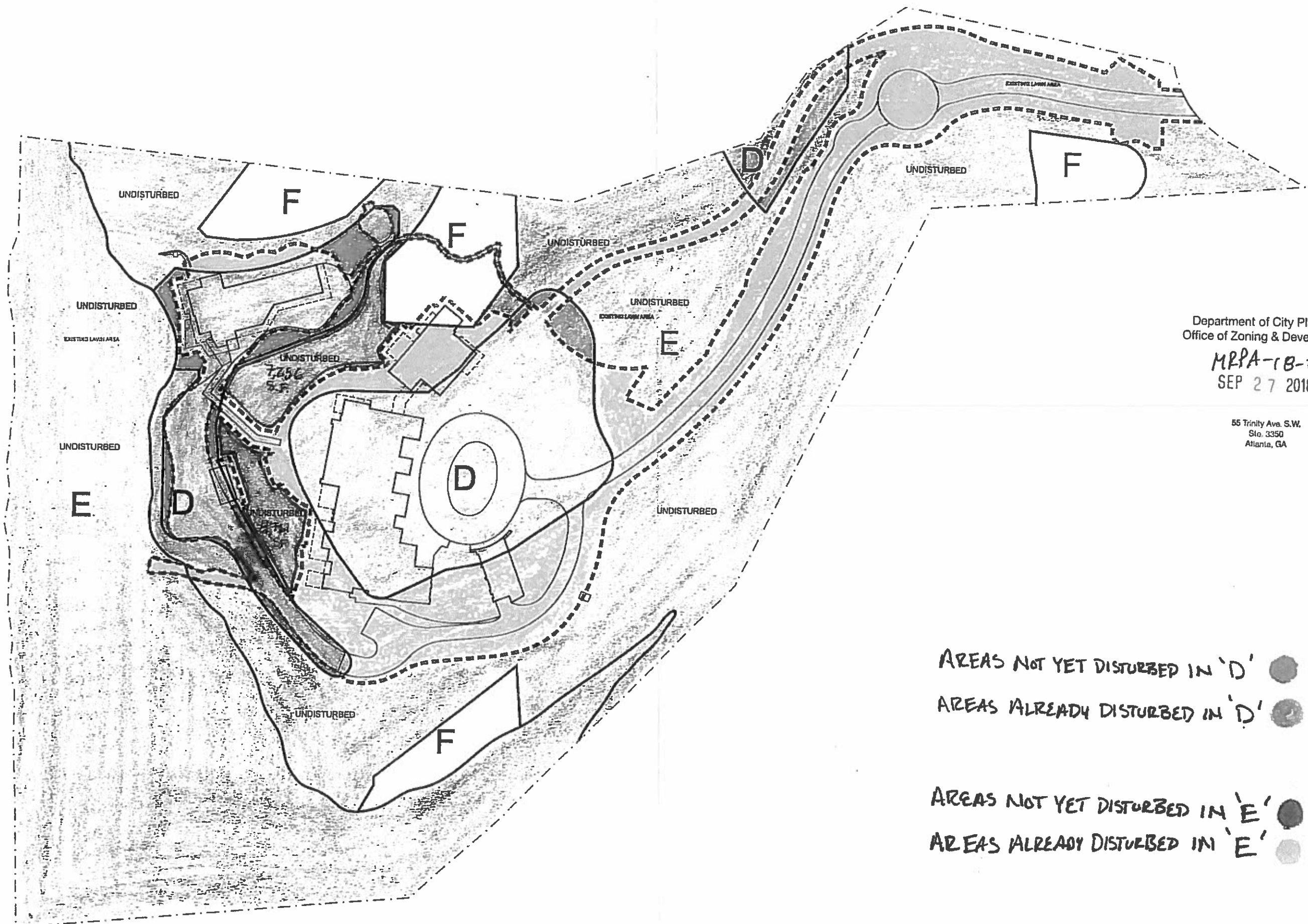
MRAA-18-01  
SEP 27 2018

55 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

SCALE: 1" = 30'

1 ARC ANALYSIS - EXISTING CONDITIONS  
L-8.000





Department of City Planning  
Office of Zoning & Development

MRPA-18-01  
SEP 27 2018

55 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

- AREAS NOT YET DISTURBED IN 'D' ●
- AREAS ALREADY DISTURBED IN 'D' ●
  
- AREAS NOT YET DISTURBED IN 'E' ●
- AREAS ALREADY DISTURBED IN 'E' ●





HARRISON

3188 Camille Hill Place NW  
Atlanta, Georgia 30305  
phone (404) 365-7788  
fax (404) 365-7789  
www.harrisondesign.com

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EXISTING W/ NURPA AREAS 10/1/16 JMS

2012 WEST PACES FERRY RD. NW  
ATLANTA, GEORGIA 30327  
LAND LOTS 234 & 240, DISTRICT 17, FULTON COUNTY, PARCEL ID 17 0240 LL0070

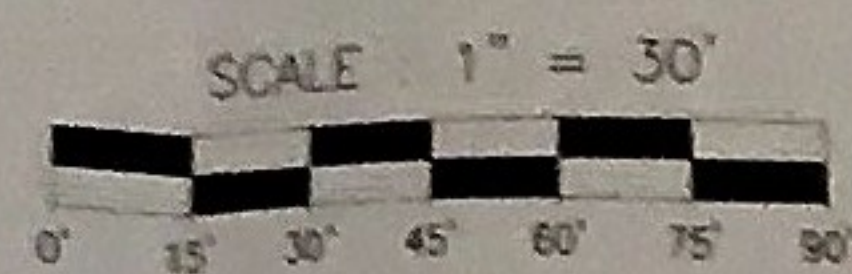
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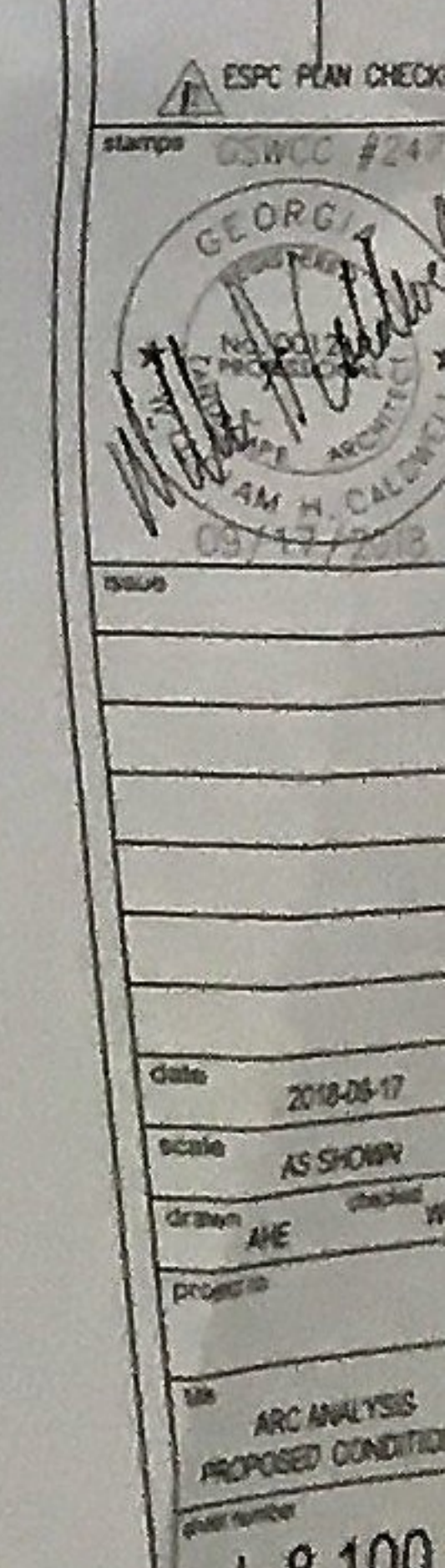


ARC Corridor Vulnerability Analysis					
Existing Conditions					
Analysis Based On Resurveys and Categories: District 09/01/2018					
Category	Total S.F.	Disturbed S.F.	Impervious S.F.	Disturbed %	Impervious %
D	69,674	32,841	32,841	47.13%	47.13% **
E	915,923	10,091	10,091	1.10%	1.10%
F	25,946	354	354	1.36%	1.36%

1 ARC ANALYSIS - EXISTING CONDITIONS  
L-8.000 SCALE: 1"=30'-0"

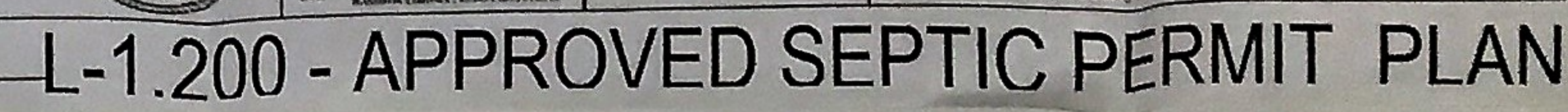




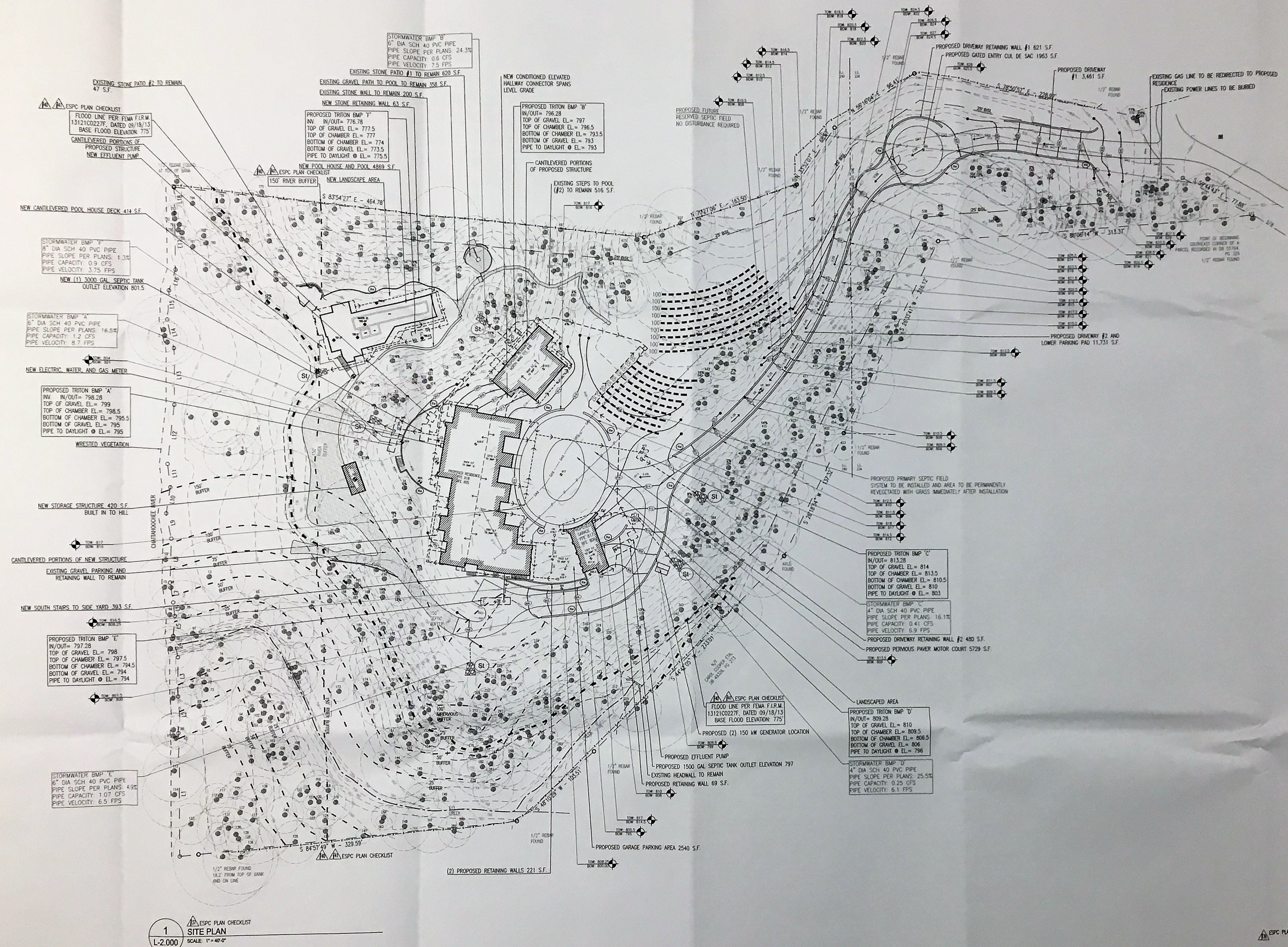






Septic Field Permit  
and Plans  
ems - 10/11/18







NOTE:  
1. NEW UTILITY LINES TO BE RUN FROM EXISTING METERS TO PROPOSED HOUSE. UTILITIES TO BE INSTALLED BY JACK AND BORE METHOD WHERE NECESSARY TO PRESERVE EXISTING TREES.\*  
2. ALL PROPOSED WALLS TO BE PIP CONCRETE WALLS

TREE SYMBOL LEGEND	
SYMBOL:	DESCRIPTION:
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE LOST
	EXISTING TREE TO BE REMOVED

UTILITIES LEGEND	
	GAS LINE
	ELECTRIC LINE
	WATER LINE

TOTAL LOT AREA (SF):	408,706
TOTAL LOT AREA (AC.):	9.38
TOTAL DISTURBANCE (SF):	170,002.22
TOTAL DISTURBANCE (AC.):	3.9



TEMPORARY PLANT SPECIES, SEEDING RATES & PLANTING DATES (D&2)			
SPECIES	RATE PER 1,000 SQ. FT.	RATE PER ACRE	PLANTING DATES BY REGION
RYE (GRASS)	3.0 LBS.	3.0 LBS.	8/15-11/15
RYEGRASS	0.8 LBS.	40 LBS.	8/15-11/15
RYE & ANNUAL LEGUMES	0.8 LBS.	24 LBS.	8/15-11/15
WHEATGRASS	1.0 LBS.	4 LBS.	4/1-6/1
BROWN TOP MILLET	1.1 LBS.	50 LBS.	4/15-6/1
WHEAT	4.1 LBS.	3.0 LBS.	8/15-12/1

FERTILIZER REQUIREMENTS FOR PERMANENT VEGETATION (D&3)			
TYPE OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	N TOP DRESSING (LBS./ACRE)
COOL SEASON GRASSES	FIRST & SECOND MAINTENANCE	8-12-12	1000
COOL SEASON GRASSES AND LEGUMES	FIRST & SECOND MAINTENANCE	8-12-12	1000
WARM SEASON GRASSES	FIRST & SECOND MAINTENANCE	8-12-12	1000
WARM SEASON GRASSES AND LEGUMES	FIRST & SECOND MAINTENANCE	8-12-12	1000

PHASE II SCOPE OF WORK

LIMITS OF DISTURBANCE: 170,002.22 SF - 3.9 AC.

- GRADE SITE
- INSTALL INTERMEDIATE STRUCTURAL AND VEGETATIVE BMPs INCLUDING SEDIMENT TRAPS, CHECK DAMS, RETAINING WALLS
- CONSTRUCT SITE WALLS
- MAINTAIN STRUCTURAL AND VEGETATIVE BMPs
- CONSTRUCT PROPOSED RESIDENCE
- CONSTRUCT PROPOSED DRIVEWAY

NOTE: CONTRACTOR TO USE SLOPE STABILIZATION ON ALL SLOPES EXCEEDING 3:1

NOTE: CONSTRUCTION JOB OFFICE TO BE LOCATED INSIDE OF RESIDENCE ONCE RESIDENCE IS BUILT

NOTE: PROPOSED DRIVEWAY NOT TO BE USED DURING CONSTRUCTION

NOTE: SEE 4.100 FOR TEMPORARY SEDIMENT TRAP STORAGE CALCULATIONS AND RETAINING WALL SCHEDULE

NOTE: 1. ALL PROPOSED RETAINING WALLS TO BE PIP CONCRETE WALLS

NOTE: ESPC PLAN-APPENDIX 1 CHECKLIST

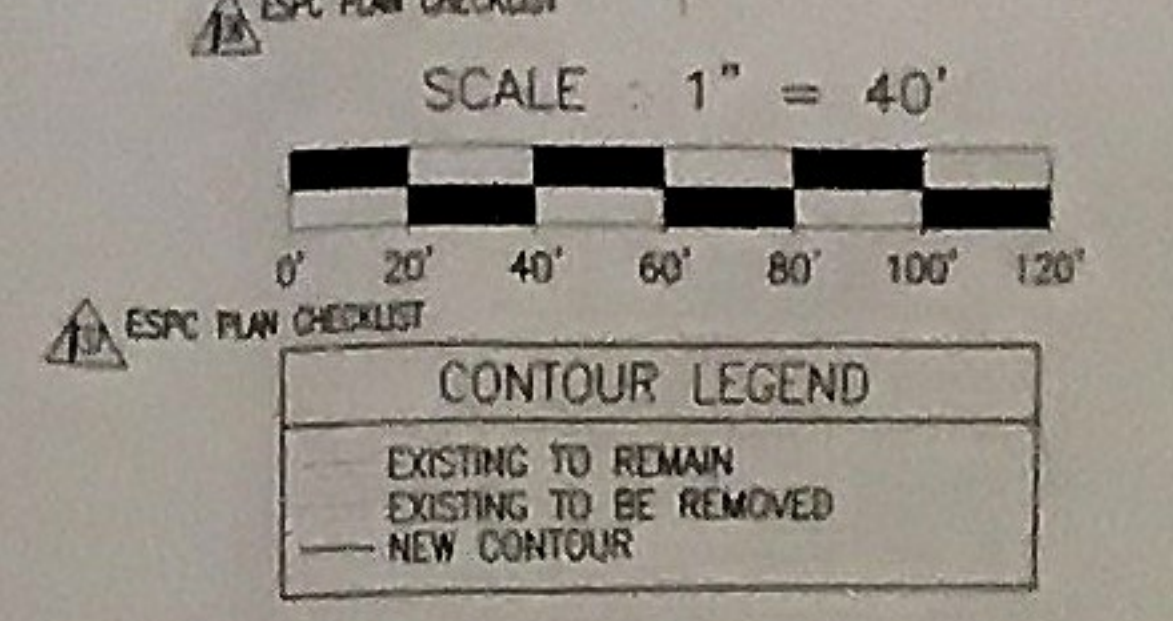
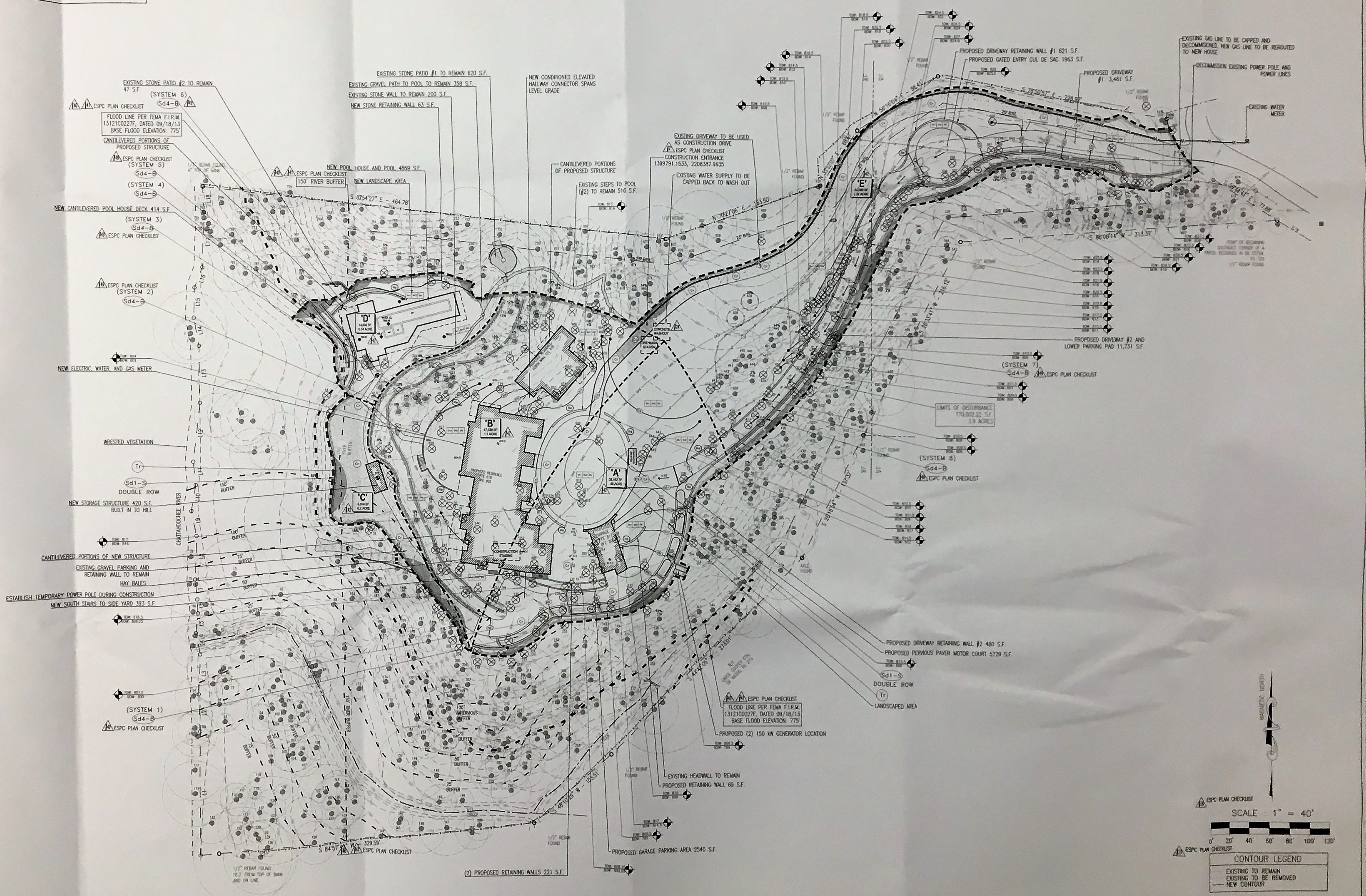
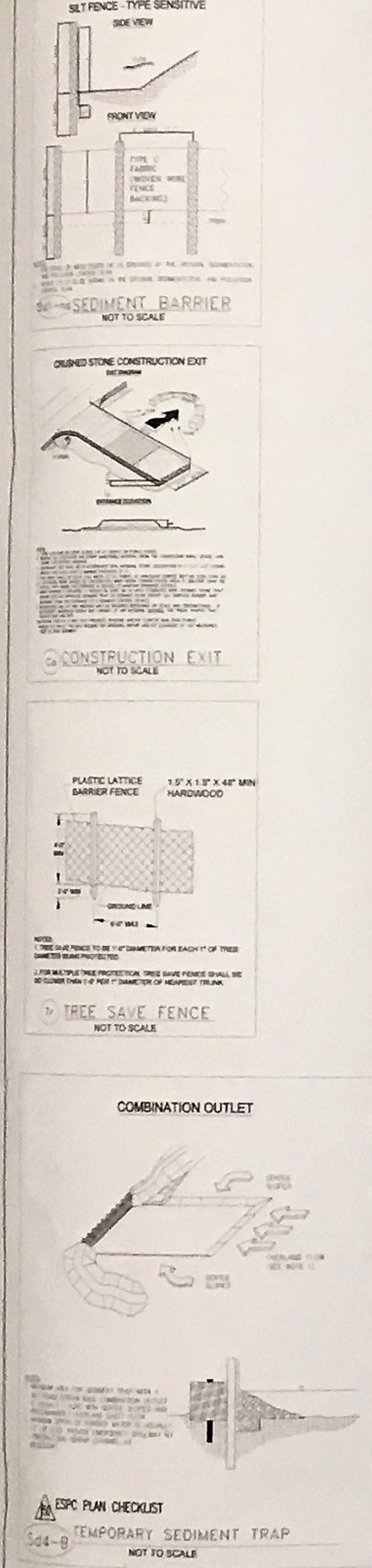
USE ANIONIC POLYACRYLAMIDE (PAM) AND/OR MULCH TO STABILIZE AREAS LEFT DISTURBED FOR MORE THAN 7 DAYS IN ACCORDANCE WITH PART 3 D.1. OF THE NPDES PERMIT

*Erosion control*

*DATE: 10/1/18*

*NOTE: LATER REVISIONS TO THESE SHEETS DO NOT CORRESPOND WITH MRPA CATEGORIES*

*DATE: 11/1/18*

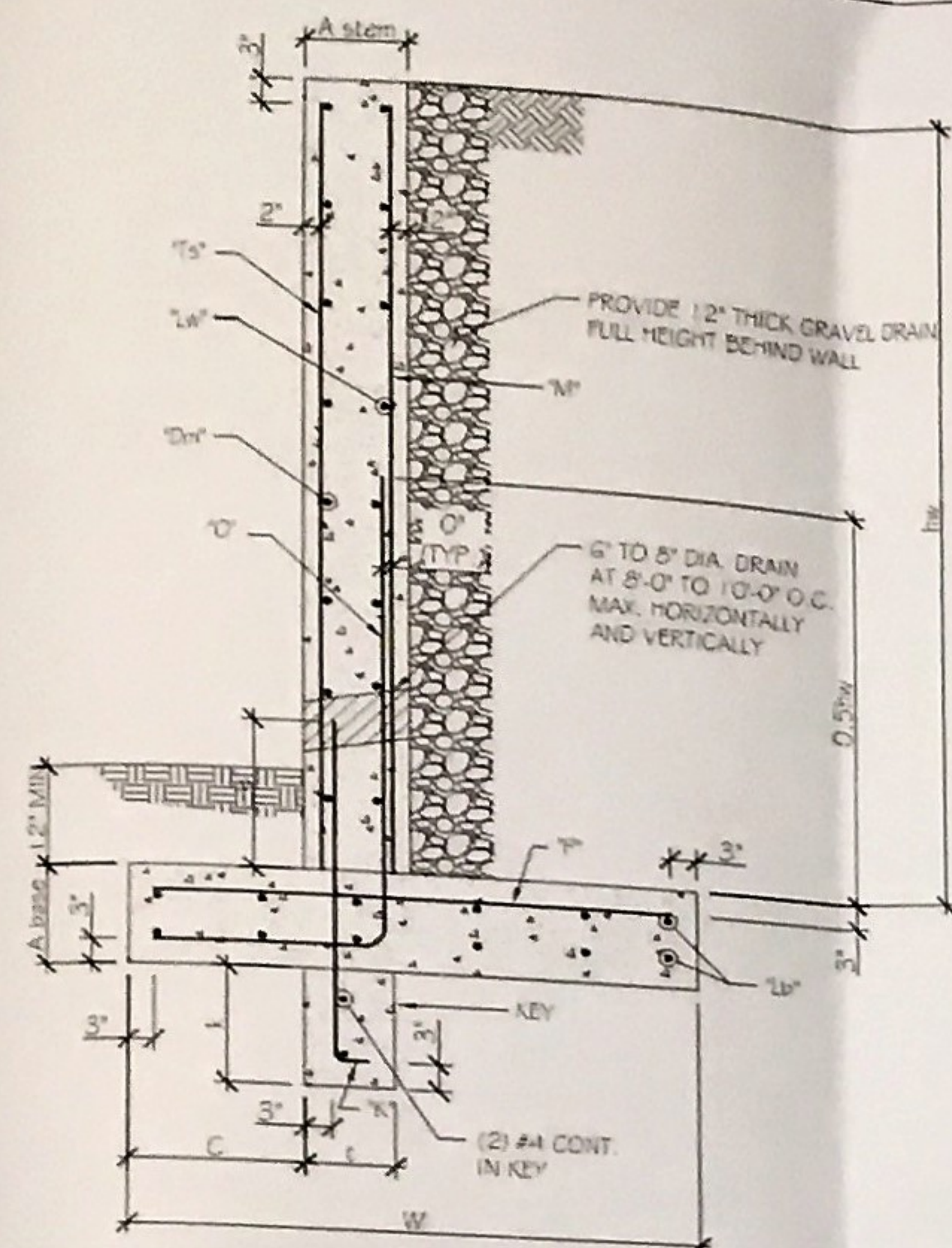


TOTAL LOT AREA (SF): 408,706  
 TOTAL LOT AREA (AC.): 9.38

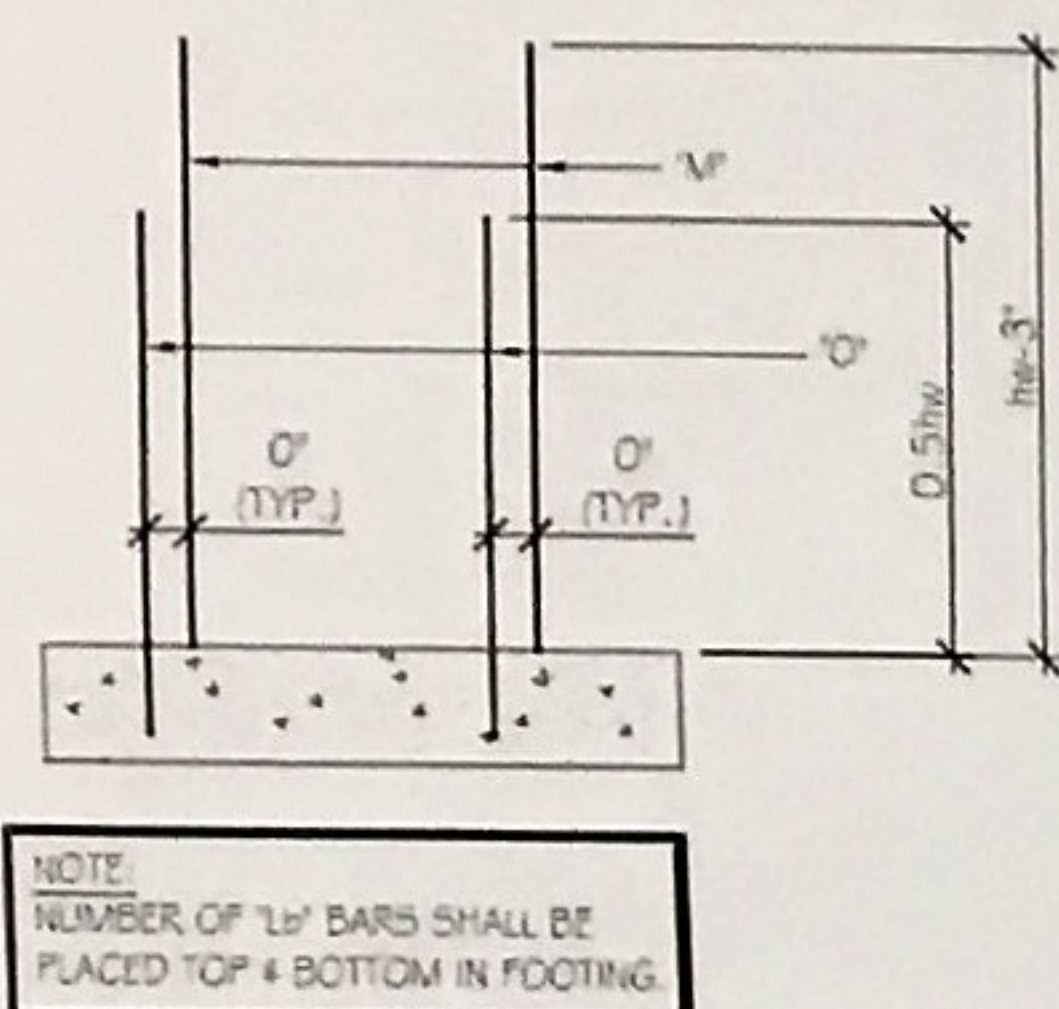
TOTAL DISTURBANCE (SF): 170,002.22  
 TOTAL DISTURBANCE (AC.): 3.9

1  
 L-4.000  
 PHASE II EROSION CONTROL PLAN  
 SCALE: 1" = 40'





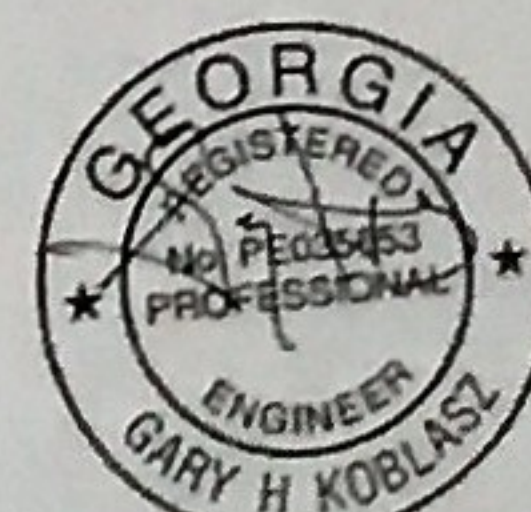
- FACTORS USED IN THE DESIGN OF THIS RETAINING WALL THAT NEED TO BE VERIFIED BY OTHERS:
1. SOIL SPECIFIC WEIGHT (SOIL DENSITY COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY BASED ON ASTM D698 METHOD).  $\gamma = 110 \text{ PCF}$
  2. SOIL ALLOWABLE BEARING CAPACITY = 2,000 PSF
  3. INTERNAL FRICTION ANGLE  $\phi = 30^\circ$
  4. EXTERNAL FRICTION FACTOR  $\mu = 0.35$
  5. ACTIVE SOIL PRESSURE (at  $E/F$ ).  $P_a = 3.67 \text{ PSF}$
  6. PASSIVE SOIL PRESSURE.  $P_p = 330 \text{ PSF}$
  7.  $\gamma = 3,000 \text{ PCF}$ ,  $F_y = 60,000 \text{ PSI}$
  8. BACKFILL = LEVEL



NOTE:  
NUMBER OF 1/2\"/>

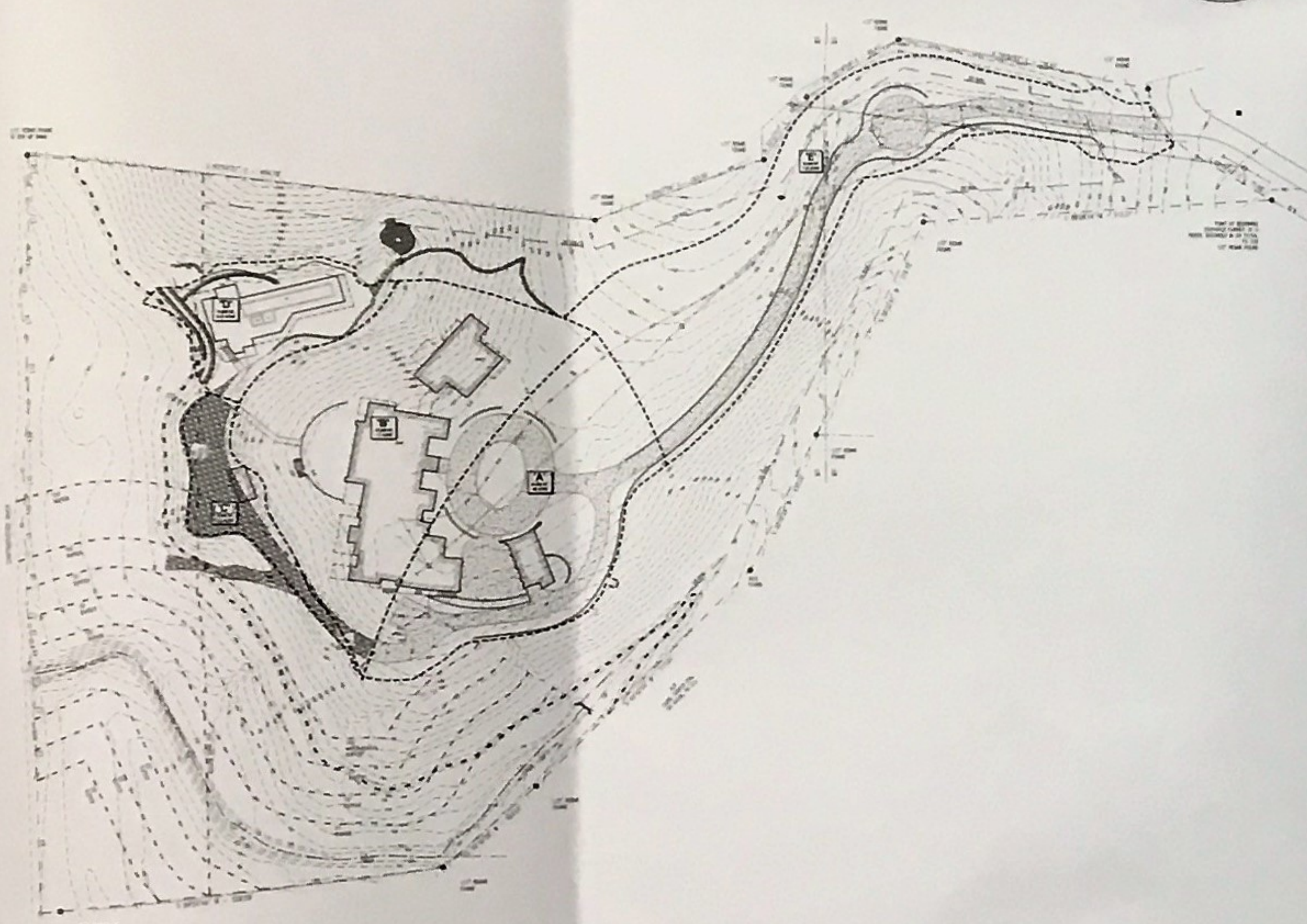
CANTILEVERED RETAINING WALL SCHEDULE (6) (7)											
CONCRETE DIMENSIONS (1)						REINFORCEMENT					
Height Above Base (ft)	Stem Thickness (A stem)	Toe Dim. & Key Location (ft)	Width of Base (ft)	Base Depth (A base)	Key (ft x ft)	1" Bars (2) (5)	1/2" Bars (5)	1" Bars (2) (5)	1/2" Bars (5)	1" Bars (2) (5)	1/2" Bars (5)
(ft)	(in)	(ft-in)	(ft-in)	(ft)	(ft x ft)	Size@ft	Size@ft	Size@ft	Size@ft	Size@ft	Size@ft
4	6	0-6	2-6	10	N/A	#4@10	#4@10	N/A	#4@12	N/A	N/A
6	6	0-9	3-0	12	N/A	#4@10	N/A	N/A	#4@12	N/A	N/A
8	6	1-0	3-0	12	N/A	#4@10	#4@10	N/A	#4@12	N/A	N/A
10	10	1-6	3-3	12	N/A	#5@10	#4@10	N/A	#4@10	#5@12	N/A
12	12	2-6	4-0	14	6 x 12	#5@10	#4@10	#4@10	#4@10	#5@12	N/A
14	14	3-0	4-0	15	10 x 16	#6@10	#4@10	#4@14	#5@14	#5@12	N/A
16	16	4-0	10-9	16	12 x 24	#7@8	#4@10	#4@12	#5@12	#5@10	N/A
18	18	5-0	12-0	18	16 x 30	#7@8	#4@10	#5@10	#5@10	#4@10	N/A

- (1) PROVIDE CONTRACTION/EXPANSION JOINTS AT 25'-0\"/>



1 RETAINING WALL SCHEDULE  
L-4.100 SCALE: NOT TO SCALE

12 RETAINING WALL SCHEDULE  
SD-1 SCALE: N.T.S.

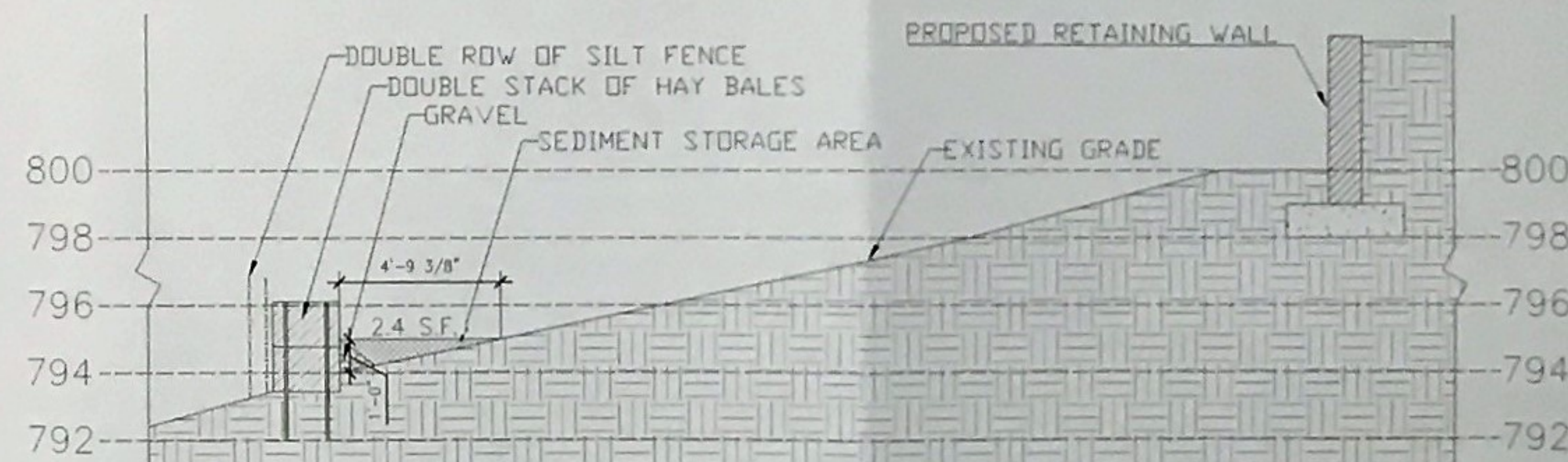


5 DRAINAGE KEY MAP  
L-4.100 SCALE: NOT TO SCALE

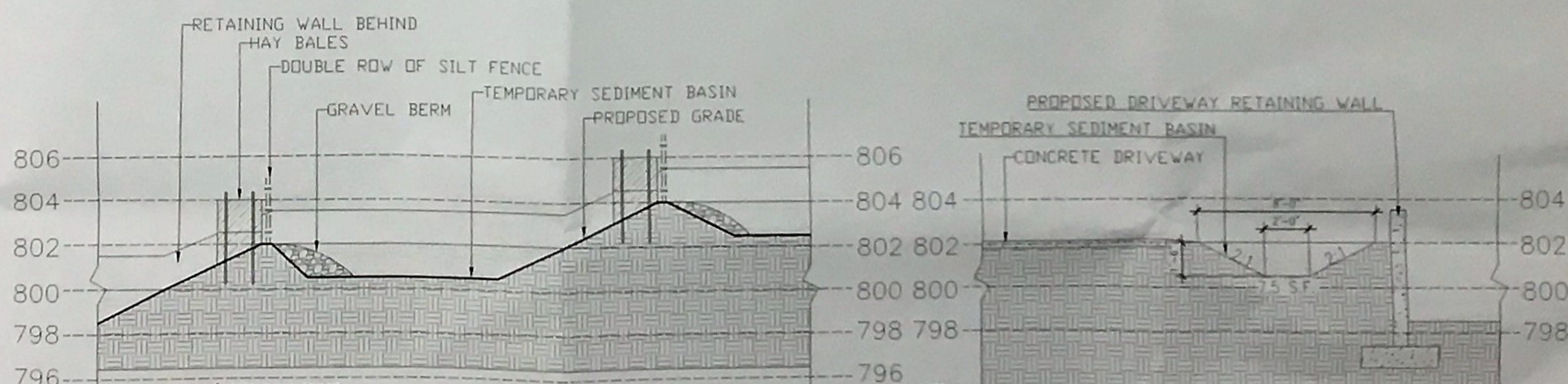
## TEMPORARY SEDIMENT TRAP DESIGN CHART

PHASE 3 SEDIMENT STORAGE TABLE			(75%)		DEPTH OF STORAGE REQUIRED (CF/AREA) = x'
DRAINAGE BASIN	Sd4-B	AREA (S.F.) / ACRE	REQUIRED STORAGE (Ac.x67Cy) x 27	Sd4-B BASIN AREA	
A	SYSTEM 1	38,482 S.F. 0.88 ACRE	1,591.92 C.F.	265' x 8' = 2,120 S.F.	0.75'
B	SYSTEM 2/3	47,338 S.F. 1.1 ACRES	1,989.9 C.F.	4'-9 3/4" x 859' = 4,107.1 S.F.	0.48'
C	NONE	8,550 S.F. 0.2 ACRE	SHEET FLOW	SHEET FLOW	SHEET FLOW
D	SYSTEM 4/5/6	14,692 S.F. 0.34 ACRES	615.06 C.F.	4'-9 3/4" x 265' = 1,267 S.F.	0.48'
E	SYSTEM 7/8	54,060 S.F. 1.24 ACRE	2,243.16 C.F.	4'-9 3/4" x 1096' = 5,240.25 S.F.	0.43'

SUMMARY TABLE OF SEDIMENT STORAGE DESIGN			
Sediment Basin	Linear Footage	Square Footage	Sediment Storage Provided (C.Y.)
Sd4-B (System 1)	265	7.5	73.61
Total Storage Provided			73.61
Storage Needed Basin A: 88 Acres x 67 CuYd			
58.96			
Sediment Basin 2/3 Storage Capacity			
Sediment Basin	Linear Footage	Square Footage	Sediment Storage Provided (C.Y.)
Sd4-B (System 2)	439	2.4	37.33
Sd4-B (System 3)	420	2.4	37.33
Total Storage Provided			76.36
Storage Needed Basin B 1.1 Acres x 67 CuYd			
73.7			
Sediment Basin A/5/6 Storage Capacity			
Sediment Basin	Linear Footage	Square Footage	Sediment Storage Provided (C.Y.)
Sd4-B (System 4)	88	2.4	7.82
Sd4-B (System 5)	92	2.4	7.56
Sd4-B (System 6)	85	2.4	7.56
Total Storage Provided			23.56
Storage Needed Basin D 0.34 Acres x 67 CuYd			
22.78			
Sediment Basin 7/8 Storage Capacity			
Sediment Basin	Linear Footage	Square Footage	Sediment Storage Provided (C.Y.)
Sd4-B (System 7)	558	2.4	49.60
Sd4-B (System 8)	538	2.4	47.82
Total Storage Provided			97.42
Storage Needed Basin E 1.24 Acres x 67 CuYd			
83.08			

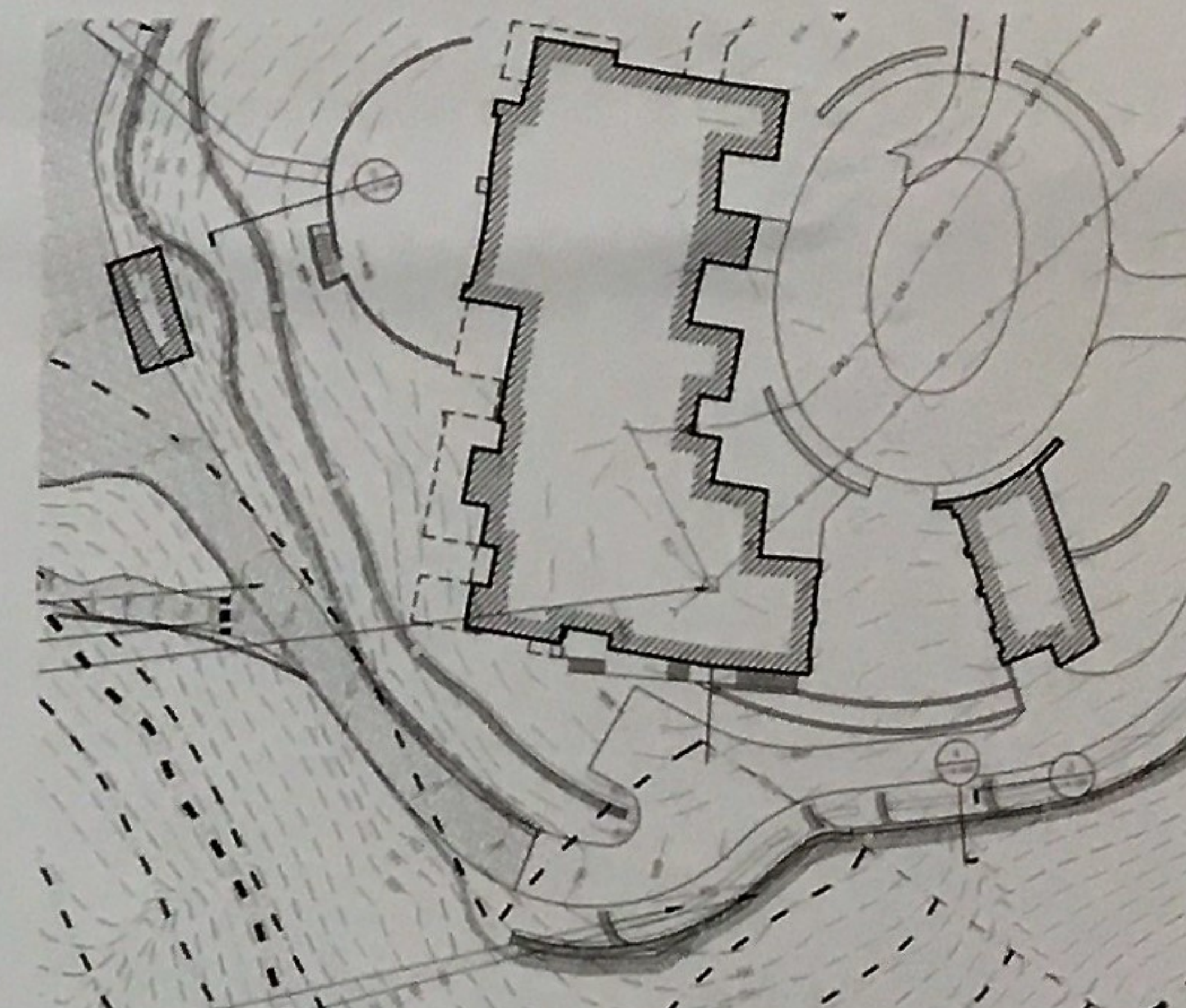


2 MODIFIED TEMPORARY SEDIMENT TRAP SECTION (SYSTEM 2,3,4,5,6,7,8)  
L-4.100 SCALE: 1/4\"/>



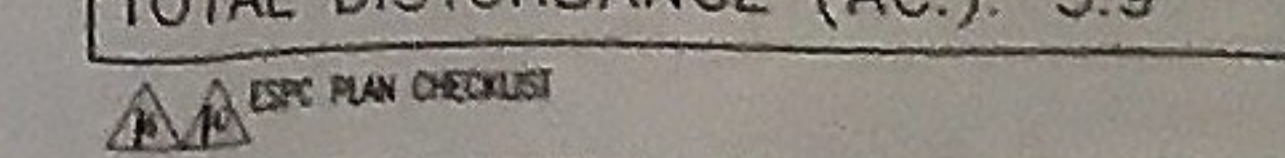
3 TEMPORARY SEDIMENT TRAP SECTION (SYSTEM 1)  
L-4.100 SCALE: 1/4\"/>

4 TEMPORARY SEDIMENT TRAP SECTION (SYSTEM 1)  
L-4.100 SCALE: 1/4\"/>



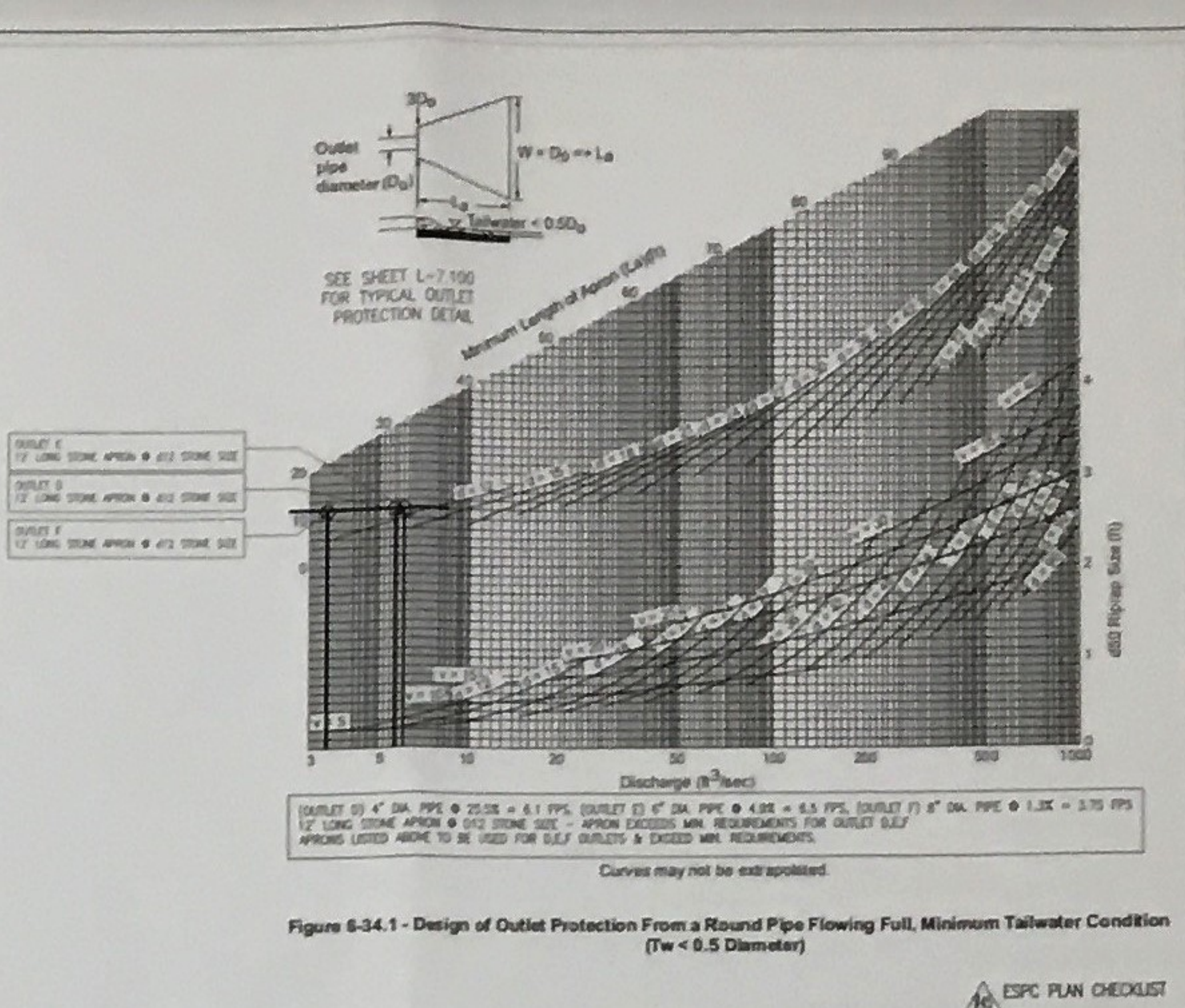
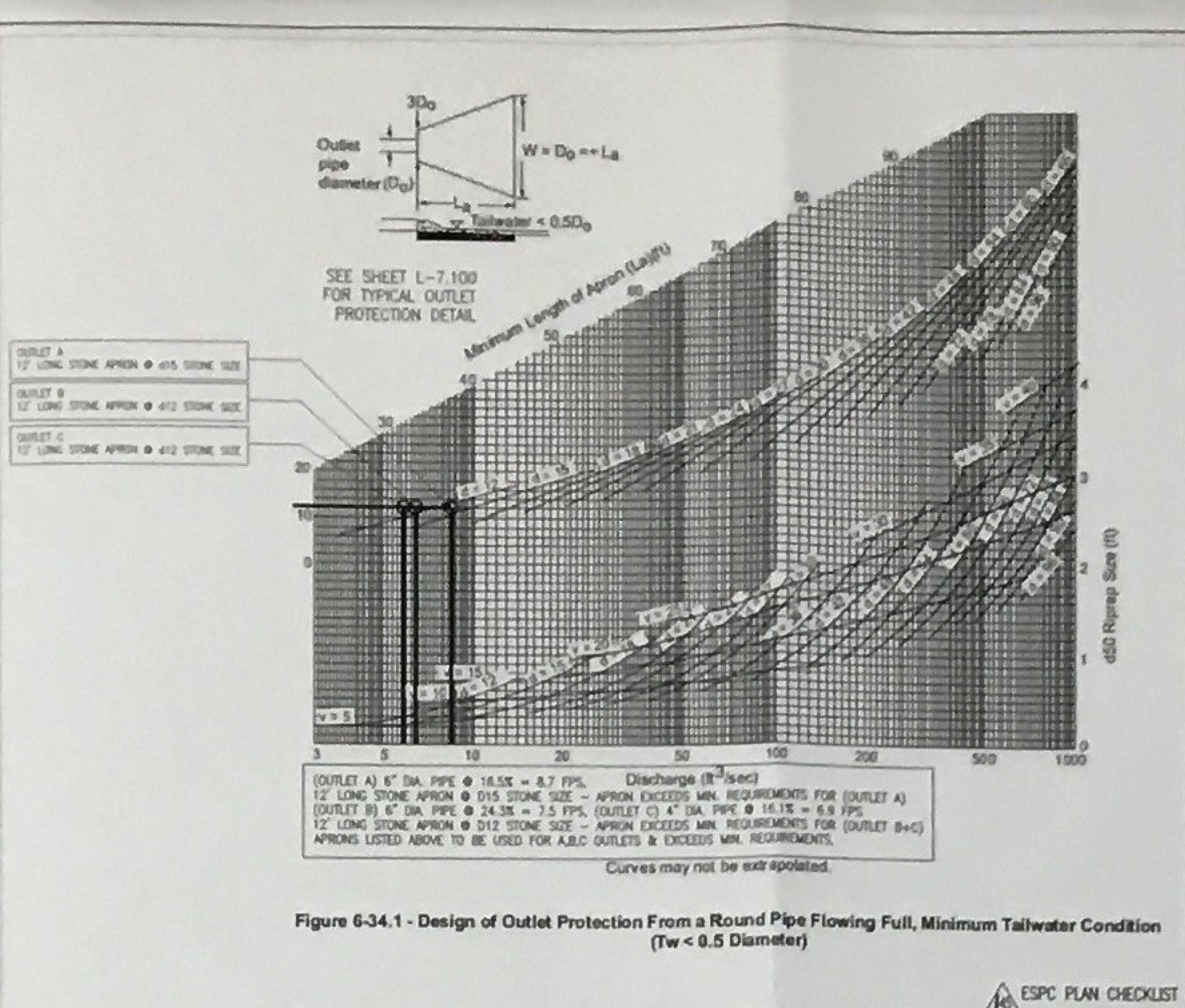
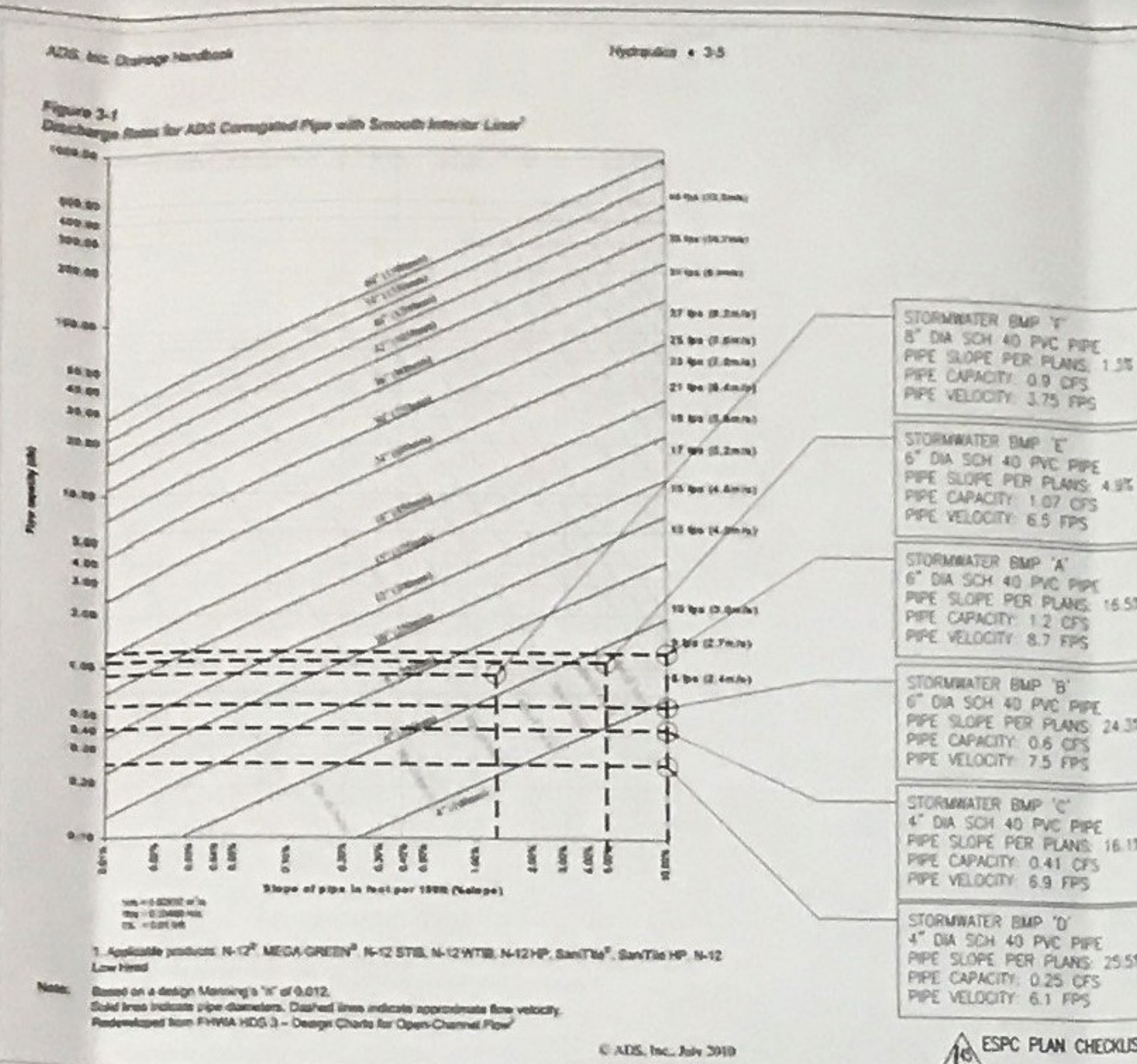
6 TEMPORARY SEDIMENT TRAP SECTION KEY  
L-4.100 SCALE: NOT TO SCALE







Pipe Sizing Calculations for Storm Water Quality BMP's			
BMP A			
Surface Type	C Value	Area (Sq. Ft.)	Q Value
Roof Runoff	0.9	6,424	1.20
Q (cfs) = (C)Q(A)			
= (1.1) * (0.9) * (8.28) * (1.15)			
Q = 1.2 cfs			
BMP B			
Surface Type	C Value	Area (Sq. Ft.)	Q Value
Roof Runoff	0.9	3,501	0.66
Q (cfs) = (C)Q(A)			
= (1.1) * (0.9) * (8.28) * (1.08)			
Q = 0.66 cfs			
BMP C			
Surface Type	C Value	Area (Sq. Ft.)	Q Value
Roof Runoff	0.9	2,278	0.41
Q (cfs) = (C)Q(A)			
= (1.1) * (0.9) * (8.28) * (1.05)			
Q = 0.41 cfs			
BMP D			
Surface Type	C Value	Area (Sq. Ft.)	Q Value
Roof Runoff	0.9	1,227	0.25
Q (cfs) = (C)Q(A)			
= (1.1) * (0.9) * (8.28) * (1.03)			
Q = 0.25 cfs			
BMP E			
Surface Type	C Value	Area (Sq. Ft.)	Q Value
Roof Runoff	0.9	5,530	1.07
Q (cfs) = (C)Q(A)			
= (1.1) * (0.9) * (8.28) * (1.13)			
Q = 1.07 cfs			
BMP F			
Surface Type	C Value	Area (Sq. Ft.)	Q Value
Roof Runoff	0.9	4,869	0.90
Q (cfs) = (C)Q(A)			
= (1.1) * (0.9) * (8.28) * (1.11)			
Q = 0.90 cfs			
Q = Peak flow in cubic feet per second (cfs)			
Cf = Runoff coefficient adjustment factor			
Cf = 1.1 for a 25-year storm			
C = Runoff coefficient to reflect the ratio of rainfall to surface runoff			
i = Rainfall intensity in inches per hour (in/hr)			
i = 8.28 for a 25-year storm			
A = Drainage area in acres (ac)			



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2018-09-17  
 AS SHOWN  
 AHE  
 project no.

PHASE 3 BMPs AND DRAINAGE CALCULATIONS  
 sheet number

2 STORM DRAIN PIPE CALCULATIONS  
SCALE: NTS

PROPOSED IMPERVIOUS - STORMWATER BMP MINIMUM STORAGE CALCULATIONS							
DESCRIPTION	SQ. FT.	BMP 'A'	BMP 'B'	BMP 'C'	BMP 'D'	BMP 'E'	BMP 'F'
New Residence	11,699	6,424	3,501	2,278	1,227	5,530	2,997
New Residence North Wing and Connector	3,501						
New Detached Garage	1,227						
New Garage Parking Area	2,533						
New Pool House and Pool							4,869
<b>TOTAL IMPERVIOUS</b>	<b>18,960</b>	<b>6,424</b>	<b>3,501</b>	<b>2,278</b>	<b>1,227</b>	<b>5,530</b>	<b>4,869</b>
<b>PER DRAINAGE AREA</b>	<b>18,960</b>	<b>6,424</b>	<b>3,501</b>	<b>2,278</b>	<b>1,227</b>	<b>5,530</b>	<b>4,869</b>
<b>RAINFALL FACTOR</b>	<b>0.083</b>	<b>0.083</b>	<b>0.083</b>	<b>0.083</b>	<b>0.083</b>	<b>0.083</b>	<b>0.083</b>
<b>SQ. FT. x 0.083 = CU. FT.</b>	<b>1,574</b>	<b>533</b>	<b>291</b>	<b>189</b>	<b>102</b>	<b>459</b>	<b>404</b>
<b>CU. FT. STORAGE REQUIRED</b>	<b>1,574</b>	<b>533</b>	<b>291</b>	<b>189</b>	<b>102</b>	<b>459</b>	<b>404</b>
<b>CU. FT. STORAGE PROVIDED</b>	<b>581.1</b>	<b>298.6</b>	<b>204.5</b>	<b>110.4</b>	<b>486.9</b>	<b>453.7</b>	<b>453.7</b>

SITE IMPERVIOUS ANALYSIS		
EXISTING SITE CONDITIONS	PROPOSED SITE CONDITIONS	SQ. FT.
Surface	Surface	18,960
Existing Upper and Lower Gravel Parking	Existing Upper and Lower Gravel Parking (Reduced)	809.49
Existing Gravel Path to Pool	Existing Gravel Path to Pool (Reduced)	188
Existing Steps to Pool #1	Existing Steps to Pool #2	516
Existing Steps to Pool #2	Existing Stone Patio #1	620
Existing Swimming Pool	Existing Stone Patio #2	47
Existing Stone Patio #1	Existing Site Retaining Walls (Reduced)	648
Existing Stone Patio #2	Existing Site Retaining Walls	1579
Existing Stone Deck	<b>Total Ex. Site Impervious to Remain</b>	<b>10,089</b>
Existing Pool House		
Existing Pool House Deck		
Existing Residence Deck	<b>PROPOSED IMPERVIOUS</b>	<b>11,699</b>
Existing Residence And Front Patio	New Residence	3,501
Existing Shed Structure	New Detached Garage	1,227
Existing Stone Patio #2	New Detached Garage	2,533
Existing Pool House Deck Stairs	New Detached Garage Retaining Wall	575
Existing Site Retaining Walls	New Driveway R2 and Lower Parking Area	189
Existing Asphalt Driveway	New Driveway #1	221
Existing Stone Wall By Pool	New Back Yard Retaining Wall	181
<b>Total Impervious</b>	<b>Total Proposed Impervious</b>	<b>61,211</b>
<b>Net Area</b>	<b>Total Site Impervious</b>	<b>61,211</b>
<b>Percent Impervious</b>	<b>Lot Area</b>	<b>408,706</b>
	<b>Percent Impervious</b>	<b>14.98%</b>

**Dimensions:** 59" x 36" x 35" (WxHxD)  
**Weight:** 32 lbs / 14.5 kg  
**Base Chamber Storage:** 29 ft³ / 0.82 m³

**Project Results**

- Total Cover Over Chambers: 15.00 in
- Height of Chamber: 36.0 in
- Embedment Stone Under Chambers: 6.00 in
- Volume of Embedment Stone Required: 23 Cu Yd
- Volume of Fill Material Required: 8 Cu Yd

**Total Storage Provided:** 591.1 Cu Ft

**Type of Distribution Chambers Required:** 0-29

**# of end caps required:** 0

**Type of header row chambers required:** 0-29

**# of header row chambers required:** 0

**Floors:** 0

**Bins:** 0

**Dumpsters:** 0

**Required Bed Size:** 23.49 Sq Ft

**Volume of Embedment Stone Required:** 23.26 Cu Yd

**Volume of Fill Material Required:** 8.87 Cu Yd

**Volume of Excavation:** 44.35 Cu Yd

**Area of Filter Fabric:** 63.54 Sq Yd

**# of Chambers long:** 0

**# of rows:** 6

**Actual Trench Length:** 6.917 Ft

**Actual Trench Width:** 34.625 Ft

**FIELD DIAGRAM**

**Dimensions:** 59" x 36" x 35" (WxHxD)  
**Weight:** 32 lbs / 14.5 kg  
**Base Chamber Storage:** 29 ft³ / 0.82 m³

**Project Results**

- Total Cover Over Chambers: 18.00 in
- Height of Chamber: 36.0 in
- Embedment Stone Under Chambers: 6.00 in
- Volume of Embedment Stone Required: 12 Cu Yd
- Volume of Fill Material Required: 4 Cu Yd

**Total Storage Provided:** 288.6 Cu Ft

**Type of Distribution Chambers Required:** 0-29

**# of end caps required:** 2

**Type of header row chambers required:** 0-29

**# of header row chambers required:** 0

**Floors:** 0

**Bins:** 0

**Dumpsters:** 0

**Required Bed Size:** 12.45 Sq Ft

**Volume of Embedment Stone Required:** 12.21 Cu Yd

**Volume of Fill Material Required:** 4.81 Cu Yd

**Volume of Excavation:** 23.06 Cu Yd

**Area of Filter Fabric:** 35.89 Sq Yd

**# of Chambers long:** 0

**# of rows:** 3

**Actual Trench Length:** 6.917 Ft

**Actual Trench Width:** 18.0 Ft

**FIELD DIAGRAM**

**Dimensions:** 59" x 36" x 35" (WxHxD)  
**Weight:** 32 lbs / 14.5 kg  
**Base Chamber Storage:** 29 ft³ / 0.82 m³

**Project Results**

- Total Cover Over Chambers: 18.00 in
- Height of Chamber: 36.0 in
- Embedment Stone Under Chambers: 6.00 in
- Volume of Embedment Stone Required: 10 Cu Yd
- Volume of Fill Material Required: 3 Cu Yd

**Total Storage Provided:** 284.5 Cu Ft

**Type of Distribution Chambers Required:** 0-29

**# of end caps required:** 0

**Type of header row chambers required:** 0-29

**# of header row chambers required:** 4

**Floors:** 0

**Bins:** 0

**Dumpsters:** 0

**Required Bed Size:** 99.17 Sq Ft

**Volume of Embedment Stone Required:** 9.65 Cu Yd

**Volume of Fill Material Required:** 3.19 Cu Yd

**Volume of Excavation:** 15.96 Cu Yd

**Area of Filter Fabric:** 28.89 Sq Yd

**# of Chambers long:** 0

**# of rows:** 2

**Actual Trench Length:** 6.917 Ft

**Actual Trench Width:** 12.458 Ft

**FIELD DIAGRAM**

**Dimensions:** 59" x 36" x 35" (WxHxD)  
**Weight:** 32 lbs / 14.5 kg  
**Base Chamber Storage:** 29 ft³ / 0.82 m³

**Project Results**

- Total Cover Over Chambers: 108.00 in
- Height of Chamber: 36.0 in
- Embedment Stone Under Chambers: 6.00 in
- Volume of Embedment Stone Required: 5 Cu Yd
- Volume of Fill Material Required: 15 Cu Yd

**Total Storage Provided:** 110.4 Cu Ft

**Type of Distribution Chambers Required:** 0-29

**# of end caps required:** 0

**Type of header row chambers required:** 0-29

**# of header row chambers required:** 0

**Floors:** 0

**Bins:** 0

**Dumpsters:** 0

**Required Bed Size:** 47.94 Sq Ft

**Volume of Embedment Stone Required:** 19.61 Cu Yd

**Volume of Fill Material Required:** 60.33 Cu Yd

**Volume of Excavation:** 60.33 Cu Yd

**Area of Filter Fabric:** 54.35 Sq Yd

**# of Chambers long:** 0

**# of rows:** 5

**Actual Trench Length:** 6.917 Ft

**Actual Trench Width:** 29.583 Ft

**FIELD DIAGRAM**

**Dimensions:** 59" x 36" x 35" (WxHxD)  
**Weight:** 32 lbs / 14.5 kg  
**Base Chamber Storage:** 29 ft³ / 0.82 m³

**Project Results**

- Total Cover Over Chambers: 108.00 in
- Height of Chamber: 36.0 in
- Embedment Stone Under Chambers: 6.00 in
- Volume of Embedment Stone Required: 15 Cu Yd
- Volume of Fill Material Required: 63 Cu Yd

**Total Storage Provided:** 488.8 Cu Ft

**Type of Distribution Chambers Required:** 0-29

**# of end caps required:** 2

**Type of header row chambers required:** 0-29

**# of header row chambers required:** 10

**Floors:** 0

**Bins:** 0

**Dumpsters:** 0

**Required Bed Size:** 201.16 Sq Ft

**Volume of Embedment Stone Required:** 19.61 Cu Yd

**Volume of Fill Material Required:** 60.33 Cu Yd

**Volume of Excavation:** 60.33 Cu Yd

**Area of Filter Fabric:** 54.35 Sq Yd

**# of Chambers long:** 0

**# of rows:** 5

**Actual Trench Length:** 6.917 Ft

**Actual Trench Width:** 18.0 Ft

**FIELD DIAGRAM**

**Dimensions:** 59" x 36" x 35" (WxHxD)  
**Weight:** 32 lbs / 14.5 kg  
**Base Chamber Storage:** 29 ft³ / 0.82 m³

**Project Results**

- Total Cover Over Chambers: 18.00 in
- Height of Chamber: 36.0 in
- Embedment Stone Under Chambers: 6.00 in
- Volume of Embedment Stone Required: 10 Cu Yd
- Volume of Fill Material Required: 6 Cu Yd

**Total Storage Provided:** 453.7 Cu Ft

**Type of Distribution Chambers Required:** 0-29

**# of end caps required:** 0

**Type of header row chambers required:** 0-29

**# of header row chambers required:** 0

**Floors:** 0

**Bins:** 0

**Dumpsters:** 0

**Required Bed Size:** 188.79 Sq Ft

**Volume of Embedment Stone Required:** 10.61 Cu Yd

**Volume of Fill Material Required:** 6.96 Cu Yd

**Volume of Excavation:** 34.98 Cu Yd

**Area of Filter Fabric:** 41.38 Sq Yd

**# of Chambers long:** 0

**# of rows:** 3

**Actual Trench Length:** 10.458 Ft

**Actual Trench Width:** 18.0 Ft

**FIELD DIAGRAM**

2012 WEST PACES FERRY RD. NW  
ATLANTA, GEORGIA 30327  
LAND LOTS 234 & 240, DISTRICT 17, FULTON COUNTY, PARCEL ID 17 0240 LL0070

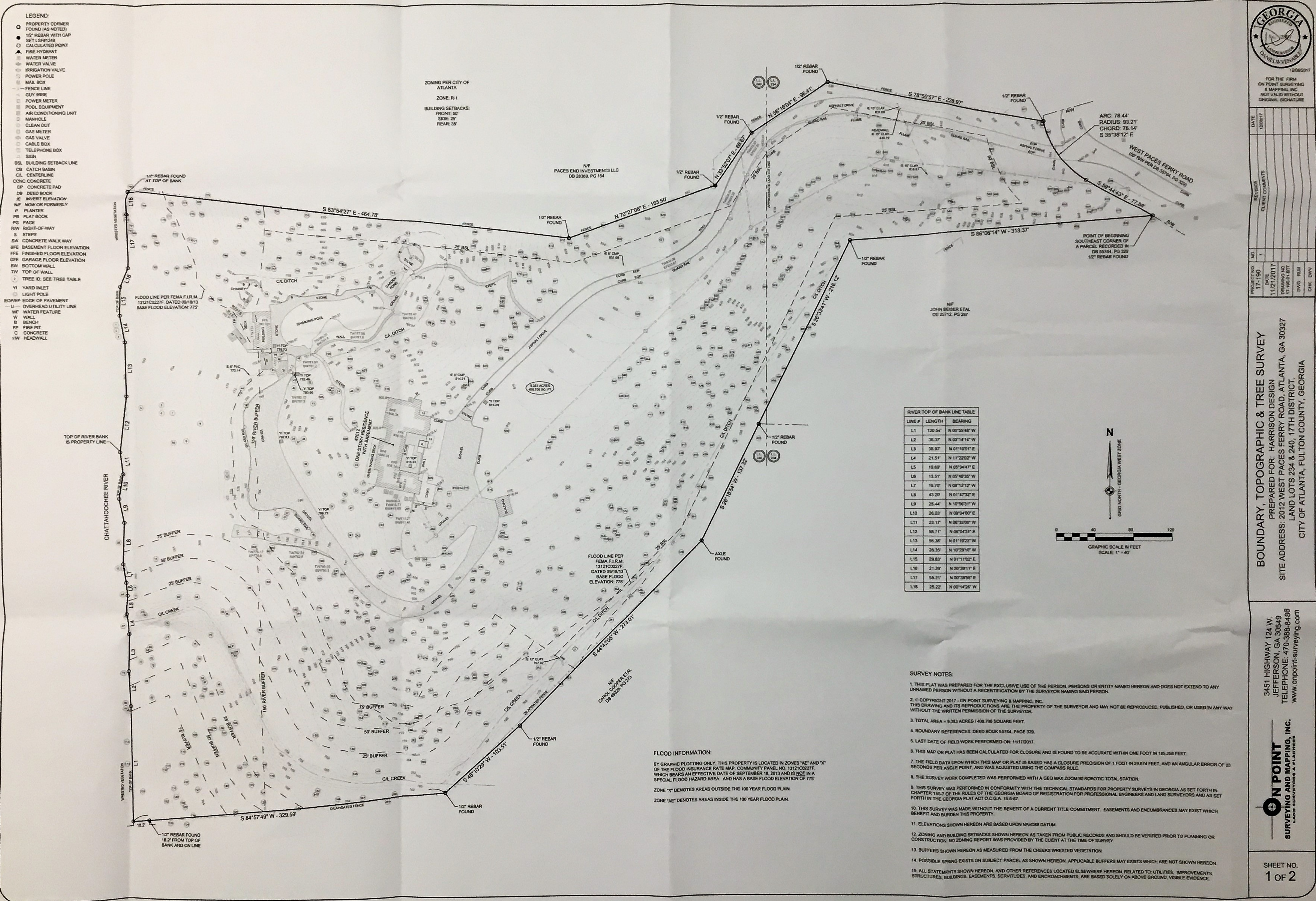
2018-09-17  
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PHASE 3 BMPs AND DRAINAGE CALCULATIONS  
 sheet number

2018-09-17  
 AS SHOWN  
 AHE  
 project no.

PHASE 3 BMPs AND DRAINAGE CALCULATIONS  
 sheet number





- LEGEND:
- PROPERTY CORNER
  - FOUND (AS NOTED)
  - 1/2" REBAR WITH CAP
  - SET LSF#1248
  - CALCULATED POINT
  - FIRE HYDRANT
  - WATER METER
  - WATER VALVE
  - IRRIGATION VALVE
  - POWER POLE
  - MAIL BOX
  - FENCE LINE
  - GUY WIRE
  - POWER METER
  - POOL EQUIPMENT
  - AIR CONDITIONING UNIT
  - MANHOLE
  - CLEAN OUT
  - GAS METER
  - GAS VALVE
  - CABLE BOX
  - TELEPHONE BOX
  - SIGN
  - BSL BUILDING SETBACK LINE
  - CB CATCH BASIN
  - CL CENTERLINE
  - CONC CONCRETE
  - CP CONCRETE PAD
  - DB DEED BOOK
  - INVERT ELEVATION
  - NF NOW OR FORMERLY
  - P PLANTER
  - PC PLAT BOOK
  - PG PAGE
  - R/W RIGHT-OF-WAY
  - S STEPS
  - SW CONCRETE WALK WAY
  - BFE BASEMENT FLOOR ELEVATION
  - FPE FINISHED FLOOR ELEVATION
  - GFE GARAGE FLOOR ELEVATION
  - BW BOTTOM WALL
  - TW TOP OF WALL
  - TI TREE ID. SEE TREE TABLE
  - YI YARD INLET
  - LI LIGHT POLE
  - EDGED EDGE OF PAVEMENT
  - U OVERHEAD UTILITY LINE
  - WF WATER FEATURE
  - B BENCH
  - FP FIRE PIT
  - C CONCRETE
  - HW HEADWALL

ZONING PER CITY OF ATLANTA  
ZONE: R-1  
BUILDING SETBACKS:  
FRONT: 30'  
SIDE: 25'  
REAR: 35'

NF  
PACES END INVESTMENTS LLC  
DB 28369, PG 154

LINE #	LENGTH	BEARING
L1	129.54'	N 00°55'46" W
L2	36.37'	N 03°14'14" W
L3	38.97'	N 01°10'51" E
L4	21.51'	N 11°22'02" W
L5	19.69'	N 05°34'47" E
L6	13.51'	N 05°48'35" W
L7	19.70'	N 08°13'12" W
L8	43.20'	N 01°47'32" E
L9	25.44'	N 10°56'31" W
L10	26.03'	N 08°04'00" E
L11	23.17'	N 06°33'00" E
L12	58.71'	N 06°04'31" E
L13	56.38'	N 01°19'23" W
L14	28.35'	N 10°28'10" W
L15	29.83'	N 01°11'02" E
L16	21.38'	N 20°38'11" E
L17	55.21'	N 00°38'55" E
L18	25.22'	N 00°14'28" W

SURVEY NOTES:

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- TOTAL AREA = 9.383 ACRES / 408,708 SQUARE FEET.
- BOUNDARY REFERENCES: DEED BOOK 55764, PAGE 328.
- LAST DATE OF FIELD WORK PERFORMED ON: 11/17/2017.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 185,258 FEET.
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF 1 FOOT IN 29,874 FEET, AND AN ANGULAR ERROR OF 0.5 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPOUND RULE.
- THE SURVEY WORK COMPLETED WAS PERFORMED WITH A GEO MAX ZOOM 90 ROBOTIC TOTAL STATION.
- THIS SURVEY WAS PERFORMED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD83 DATUM.
- ZONING AND BUILDING SETBACKS SHOWN HEREON AS TAKEN FROM PUBLIC RECORDS AND SHOULD BE VERIFIED PRIOR TO PLANNING OR CONSTRUCTION. NO ZONING REPORT WAS PROVIDED BY THE CLIENT AT THE TIME OF SURVEY.
- BUFFERS SHOWN HEREON AS MEASURED FROM THE CREEKS WRESTED VEGETATION.
- POSSIBLE SPRING EXISTS ON SUBJECT PARCEL AS SHOWN HEREON. APPLICABLE BUFFERS MAY EXIST WHICH ARE NOT SHOWN HEREON.
- ALL STATEMENTS SHOWN HEREON, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, EASEMENTS, SERVITUDES, AND ENCROACHMENTS, ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE.

FLOOD INFORMATION:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONES "AE" AND "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 13121C0227F, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 18, 2013 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. AND HAS A BASE FLOOD ELEVATION OF 775.

ZONE "X" DENOTES AREAS OUTSIDE THE 100 YEAR FLOOD PLAIN.

ZONE "AE" DENOTES AREAS INSIDE THE 100 YEAR FLOOD PLAIN.

FOR THE FIRM  
ON POINT SURVEYING  
& MAPPING, INC.  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE

DATE	REVISION	CLIENT COMMENTS
11/17/2017	1	

**BOUNDARY, TOPOGRAPHIC & TREE SURVEY**  
PREPARED FOR: HARRISON DESIGN  
SITE ADDRESS: 2012 WEST PACES FERRY ROAD, ATLANTA, GA 30327  
LAND LOTS 234 & 240, 17TH DISTRICT  
CITY OF ATLANTA, FULTON COUNTY, GEORGIA

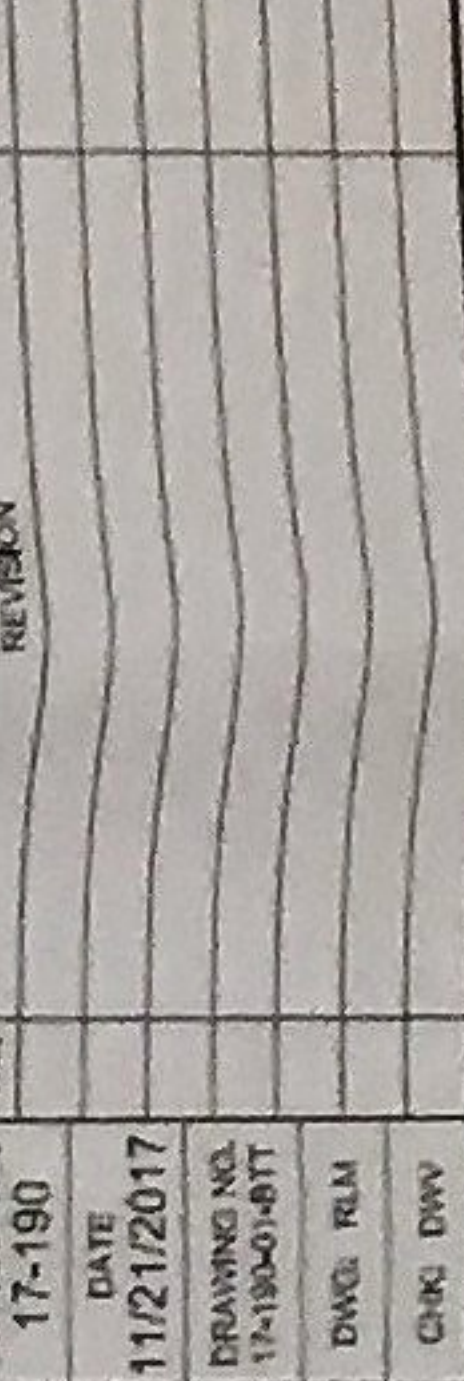
3451 HIGHWAY 124 W.  
JEFFERSON, GA 30549  
TELEPHONE: 470-388-8486  
www.onpoint-surveying.com

**ON POINT**  
SURVEYING AND MAPPING, INC.  
LAND SURVEYORS & PLANNERS

SHEET NO.  
1 OF 2

2012 W. Paces  
The survey  
JWS 10/16/18





PREPARED FOR: HARRISON DESIGN  
SITE ADDRESS: 2012 WEST PACES FERRY ROAD, ATLANTA, GA 30327  
LAND LOTS 234 & 240, 17TH DISTRICT,  
CITY OF ATLANTA, FULTON COUNTY, GEORGIA

**ON POINT**  
SURVEYING AND MAPPING, INC.  
LAND SURVEYORS & PLANNERS

# L-1.100 - TREE TABLE

TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE	TREE #		TREE TABLE
TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE	TREE #	SIZE & TYPE
1	3" HARDWOOD	61	18" HARDWOOD	121	7" HARDWOOD	181	18" HARDWOOD	241	16" HARDWOOD	301	13" HARDWOOD	361	8" HARDWOOD	421	13" HARDWOOD	481	8" HARDWOOD	541	10 1/2" HARDWOOD	601	9" HARDWOOD	661	9" HARDWOOD	721	8" HARDWOOD	781	8" HARDWOOD	841	8" HARDWOOD
2	16" HARDWOOD	62	9" HARDWOOD	122	7" HARDWOOD	182	14" HARDWOOD	242	7" HARDWOOD	302	16" HARDWOOD	362	11" HARDWOOD	422	8" HARDWOOD	482	11" HARDWOOD	542	30" HARDWOOD	602	8" HARDWOOD	662	9" HARDWOOD	722	38" HARDWOOD	782	24" HARDWOOD	842	24" HARDWOOD
3	20" HARDWOOD	63	24" HARDWOOD	123	6" HARDWOOD	183	8" HARDWOOD	243	24" HARDWOOD	303	7" HARDWOOD	363	10" HARDWOOD	423	12" HARDWOOD	483	20" HARDWOOD	543	12" HARDWOOD	603	15" HARDWOOD	663	22" HARDWOOD	723	9 1/2" HARDWOOD	783	7 1/2" HARDWOOD	843	7 1/2" HARDWOOD
4	21/22" HARDWOOD	64	18" HARDWOOD	124	9" HARDWOOD	184	15" HARDWOOD	244	16" HARDWOOD	304	32" PINE	364	12" HARDWOOD	424	6" HARDWOOD	484	33" HARDWOOD	544	9" HARDWOOD	604	10" HARDWOOD	664	13" HARDWOOD	724	7" HARDWOOD	784	11" HARDWOOD	844	11" HARDWOOD
5	33" HARDWOOD	65	6" HARDWOOD	125	6" HARDWOOD	185	14" HARDWOOD	245	30" PINE	305	24" HARDWOOD	365	21" HARDWOOD	425	10" HARDWOOD	485	11" HARDWOOD	545	36" HARDWOOD	605	12" HARDWOOD	665	18" HARDWOOD	725	7" HARDWOOD	785	13" HARDWOOD	845	13" HARDWOOD
6	31" HARDWOOD	66	9" HARDWOOD	126	21" HARDWOOD	186	6" HARDWOOD	246	22" HARDWOOD	306	1421" HARDWOOD	366	14" HARDWOOD	426	7" HARDWOOD	486	8" HARDWOOD	546	6" HARDWOOD	606	7" HARDWOOD	666	12" HARDWOOD	726	6 9/9" HARDWOOD	786	13" HARDWOOD	846	13" HARDWOOD
7	32" HARDWOOD	67	22" HARDWOOD	127	43" HARDWOOD	187	10" HARDWOOD	247	22" HARDWOOD	307	9" HARDWOOD	367	32" HARDWOOD	427	7" HARDWOOD	487	11" HARDWOOD	547	10" HARDWOOD	607	26" HARDWOOD	667	6" HARDWOOD	727	7" HARDWOOD	787	13" HARDWOOD	847	13" HARDWOOD
8	20" HARDWOOD	68	36" HARDWOOD	128	8" HARDWOOD	188	9" HARDWOOD	248	9" HARDWOOD	308	17" HARDWOOD	368	7" HARDWOOD	428	35" HARDWOOD	488	7" HARDWOOD	548	11" HARDWOOD	608	10" HARDWOOD	668	22" HARDWOOD	728	16" HARDWOOD	788	7" HARDWOOD	848	7" HARDWOOD
9	16" HARDWOOD	69	33" HARDWOOD	129	17" HARDWOOD	189	37" PINE	249	21" HARDWOOD	309	13" HARDWOOD	369	17" HARDWOOD	429	8" HARDWOOD	489	27" PINE	549	7" HARDWOOD	609	14" HARDWOOD	669	26" PINE	729	7" HARDWOOD	789	7" HARDWOOD	849	7" HARDWOOD
10	24" HARDWOOD	70	9" HARDWOOD	130	30" HARDWOOD	190	16" HARDWOOD	250	19" HARDWOOD	310	13" HARDWOOD	370	21" HARDWOOD	430	8" HARDWOOD	490	7" HARDWOOD	550	22" HARDWOOD	610	8" HARDWOOD	670	20" PINE	730	20" HARDWOOD	790	6" HARDWOOD	850	6" HARDWOOD
11	36" HARDWOOD	71	18" HARDWOOD	131	8" HARDWOOD	191	11" HARDWOOD	251	8" HARDWOOD	311	8" HARDWOOD	371	10" HARDWOOD	431	8" HARDWOOD	491	8" HARDWOOD	551	12" HARDWOOD	611	11" HARDWOOD	671	8 1/8" HARDWOOD	731	6" PINE	791	6" HARDWOOD	851	6" HARDWOOD
12	6 7/7" HARDWOOD	72	7" HARDWOOD	132	11" HARDWOOD	192	13" HARDWOOD	252	21" HARDWOOD	312	7" HARDWOOD	372	14" HARDWOOD	432	10" HARDWOOD	492	15" HARDWOOD	552	6" HARDWOOD	612	10" HARDWOOD	672	24" PINE	732	30" HARDWOOD	792	13" HARDWOOD	852	13" HARDWOOD
13	10/35" HARDWOOD	73	12" HARDWOOD	133	20" HARDWOOD	193	7" HARDWOOD	253	29" PINE	313	16" HARDWOOD	373	8" HARDWOOD	433	9" HARDWOOD	493	10" HARDWOOD	553	9" HARDWOOD	613	24" HARDWOOD	673	13" HARDWOOD	733	25" PINE	793	10" HARDWOOD	853	10" HARDWOOD
14	21" HARDWOOD	74	12" HARDWOOD	134	36" HARDWOOD	194	15" HARDWOOD	254	30" PINE	314	18" HARDWOOD	374	11" HARDWOOD	434	15" HARDWOOD	494	11" HARDWOOD	554	6" HARDWOOD	614	10" HARDWOOD	674	28" HARDWOOD	734	11" HARDWOOD	794	36" HARDWOOD	854	36" HARDWOOD
15	30" HARDWOOD	75	7" HARDWOOD	135	48" HARDWOOD	195	27" HARDWOOD	255	30" PINE	315	7" HARDWOOD	375	8" HARDWOOD	435	726" HARDWOOD	495	7" HARDWOOD	555	11" HARDWOOD	615	11" HARDWOOD	675	12" HARDWOOD	735	15" HARDWOOD	795	15" HARDWOOD	855	15" HARDWOOD
16	6" HARDWOOD	76	20" HARDWOOD	136	9" HARDWOOD	196	7" HARDWOOD	256	13" HARDWOOD	316	15" HARDWOOD	376	16" HARDWOOD	436	7" HARDWOOD	496	6" HARDWOOD	556	12" HARDWOOD	616	10" HARDWOOD	676	8" HARDWOOD	736	12" PINE	796	8" HARDWOOD	856	8" HARDWOOD
17	35" HARDWOOD	77	10" HARDWOOD	137	18" HARDWOOD	197	13" HARDWOOD	257	9" HARDWOOD	317	15" HARDWOOD	377	9" HARDWOOD	437	13" HARDWOOD	497	10" HARDWOOD	557	14" HARDWOOD	617	10" HARDWOOD	677	11" HARDWOOD	737	22" HARDWOOD	797	40" HARDWOOD	857	40" HARDWOOD
18	17" HARDWOOD	78	14" HARDWOOD	138	15" HARDWOOD	198	33" HARDWOOD	258	7" HARDWOOD	318	7" HARDWOOD	378	8" HARDWOOD	438	8" HARDWOOD	498	10" HARDWOOD	558	8 8/8" HARDWOOD	618	7" HARDWOOD	678	10" HARDWOOD	738	14" PINE	798	2025" HARDWOOD	858	2025" HARDWOOD
19	6 6/6" HARDWOOD	79	56" HARDWOOD	139	8" HARDWOOD	199	10" HARDWOOD	259	8" HARDWOOD	319	10" HARDWOOD	379	29" HARDWOOD	439	2528" HARDWOOD	499	10" HARDWOOD	559	35" HARDWOOD	619	8" PINE	679	10" HARDWOOD	739	24" HARDWOOD	799	16" HARDWOOD	859	16" HARDWOOD
20	9" HARDWOOD	80	26" HARDWOOD	140	18" HARDWOOD	200	15" HARDWOOD	260	22" HARDWOOD	320	8" HARDWOOD	380	15" HARDWOOD	440	11" HARDWOOD	500	24" HARDWOOD	560	17" HARDWOOD	620	18" PINE	680	10" HARDWOOD	740	9" HARDWOOD	800	16" HARDWOOD	860	16" HARDWOOD
21	20" HARDWOOD	81	6" HARDWOOD	141	7" HARDWOOD	201	6" HARDWOOD	261	7 7/9" HARDWOOD	321	27" PINE	381	24" HARDWOOD	441	8" HARDWOOD	501	9" HARDWOOD	561	10" HARDWOOD	621	30" HARDWOOD	681	10" HARDWOOD	741	24" HARDWOOD	801	34" PINE	861	34" PINE
22	32" PINE	82	13" HARDWOOD	142	12" HARDWOOD	202	16" HARDWOOD	262	22" HARDWOOD	322	14 1/4" HARDWOOD	382	8" HARDWOOD	442	8" HARDWOOD	502	8" HARDWOOD	562	9" HARDWOOD	622	8" HARDWOOD	682	28" HARDWOOD	742	13" HARDWOOD	802	8" HARDWOOD	862	8" HARDWOOD
23	6" HARDWOOD	83	19" HARDWOOD	143	6" HARDWOOD	203	8" HARDWOOD	263	15" HARDWOOD	323	50" HARDWOOD	383	11" HARDWOOD	443	7" HARDWOOD	503	13" HARDWOOD	563	7" HARDWOOD	623	6 6" HARDWOOD	683	20" PINE	743	8" HARDWOOD	803	12" HARDWOOD	863	12" HARDWOOD
24	27" HARDWOOD	84	7" HARDWOOD	144	36" HARDWOOD	204	12" HARDWOOD	264	9" HARDWOOD	324	1824" HARDWOOD	384	17" HARDWOOD	444	8" HARDWOOD	504	10" HARDWOOD	564	9" HARDWOOD	624	10" HARDWOOD	684	11" HARDWOOD	744	7" PINE	804	37" PINE	864	37" PINE
25	28" PINE	85	29" HARDWOOD	145	23" HARDWOOD	205	15" HARDWOOD	265	10" HARDWOOD	325	16" HARDWOOD	385	8" HARDWOOD	445	26" HARDWOOD	505	10" HARDWOOD	565	30" HARDWOOD	625	13" HARDWOOD	685	7" HARDWOOD	745	9" HARDWOOD	805	13" HARDWOOD	865	13" HARDWOOD
26	11" HARDWOOD	86	12" HARDWOOD	146	17" HARDWOOD	206	6" HARDWOOD	266	14" HARDWOOD	326	11" HARDWOOD	386	15" HARDWOOD	446	1822" HARDWOOD	506	10" HARDWOOD	566	7" HARDWOOD	626	9" HARDWOOD	686	42" HARDWOOD	746	10" HARDWOOD	806	10" HARDWOOD	866	10" HARDWOOD
27	6" HARDWOOD	87	17 1/15" HARDWOOD	147	27" HARDWOOD	207	16" HARDWOOD	267	15" HARDWOOD	327	7" HARDWOOD	387	10" HARDWOOD	447	8" HARDWOOD	507	8" HARDWOOD	567	6" HARDWOOD	627	35" HARDWOOD	687	14" HARDWOOD	747	13" HARDWOOD	807	12" HARDWOOD	867	12" HARDWOOD
28	16" HARDWOOD	88	31" HARDWOOD	148	24" HARDWOOD	208	36" HARDWOOD	268	22" HARDWOOD	328	1616" HARDWOOD	388	8" HARDWOOD	448	9 1/2" HARDWOOD	508	12" HARDWOOD	568	28" HARDWOOD	628	11 1/15" HARDWOOD	688	7" HARDWOOD	748	6" HARDWOOD	808	10" PINE	868	10" PINE
29	11" HARDWOOD	89	28" HARDWOOD	149	11" HARDWOOD	209	7" HARDWOOD	269	6 7/11" HARDWOOD	329	16" HARDWOOD	389	7" HARDWOOD	449	27" HARDWOOD	509	12" HARDWOOD	569	10" HARDWOOD	629	13" HARDWOOD	689	7" HARDWOOD	749	30" HARDWOOD	809	10" PINE	869	10" PINE
30	28" PINE	90	17" HARDWOOD	150	8" HARDWOOD	210	8" HARDWOOD	270	17" HARDWOOD	330	24" HARDWOOD	390	6" HARDWOOD	450	10" HARDWOOD	510	6" HARDWOOD	570	13" HARDWOOD	630	6" HARDWOOD	690	9" HARDWOOD	750	10" HARDWOOD	810	12" PINE	870	12" PINE
31	17" HARDWOOD	91	22" HARDWOOD	151	8" HARDWOOD	211	11" HARDWOOD	271	8" HARDWOOD	331	12" HARDWOOD	391	9" HARDWOOD	451	9" HARDWOOD	511	12" HARDWOOD	571	42" HARDWOOD	631	24" HARDWOOD	691	6" HARDWOOD	751	26" HARDWOOD	811	26" PINE	871	26" PINE
32	10" PINE	92	11" HARDWOOD	152	14" HARDWOOD	212	18" HARDWOOD	272	9" HARDWOOD	332	12" HARDWOOD	392	6" HARDWOOD	452	11" HARDWOOD	512	7" HARDWOOD	572	8" HARDWOOD	632	10" HARDWOOD	692	6" HARDWOOD	752	30" HARDWOOD	812	14/27" HARDWOOD	872	14/27" HARDWOOD
33	22" HARDWOOD	93	8" HARDWOOD	153	11" HARDWOOD	213	36" PINE	273	6" HARDWOOD	333	34" HARDWOOD	393	7" HARDWOOD	453	27" HARDWOOD	513	9" HARDWOOD	573	7" HARDWOOD	633	7" HARDWOOD	693	7" HARDWOOD	753	9" HARDWOOD	813	28" PINE	873	28" PINE
34	11" HARDWOOD	94	13" HARDWOOD	154	11" HARDWOOD	214	14" HARDWOOD	274	10" HARDWOOD	334	6" HARDWOOD	394	7" HARDWOOD	454	14" HARDWOOD	514	7" HARDWOOD	574	21" HARDWOOD	634	26" HARDWOOD	694	5" HARDWOOD	754	6" HARDWOOD	814	9" PINE	874	9" PINE
35	20" PINE	95	14" HARDWOOD	155	15" HARDWOOD	215	8" HARDWOOD	275	7" HARDWOOD	335	15" HARDWOOD	395	21" HARDWOOD	455	9" HARDWOOD	515	8" HARDWOOD	575	45" HARDWOOD	635	7 7/7" HARDWOOD	695	11" HARDWOOD	755	9" PINE	815	8" PINE	875	8" PINE
36	0 9/9" HARDWOOD	96	30" PINE	156	8" HARDWOOD	216	16" HARDWOOD	276	28" HARDWOOD	336	7" HARDWOOD	396	6" HARDWOOD	456	6" HARDWOOD	516	58" HARDWOOD	576	7" HARDWOOD	636	8 9/9 1/5" HARDWOOD	696	7" HARDWOOD	756	20" HARDWOOD	816	20" HARDWOOD	876	20" HARDWOOD
37	7" HARDWOOD	97	7" HARDWOOD	157	9" HARDWOOD	217	14" HARDWOOD	277	7" HARDWOOD	337	20" HARDWOOD	397	6" HARDWOOD	457	12" HARDWOOD	517	10" HARDWOOD	577	6" HARDWOOD	637	24" PINE	697	13" HARDWOOD	757	9" PINE	817	6 6" PINE	877	6 6" PINE
38	29" HARDWOOD	98	6" HARDWOOD	158	33" HARDWOOD	218	15" HARDWOOD	278	15" HARDWOOD	338	8" HARDWOOD	398	8" HARDWOOD	458	10" HARDWOOD	518	9" HARDWOOD	578	6" HARDWOOD	638	35" HARDWOOD	698	17" HARDWOOD	758	20" HARDWOOD	818	10 1/10 1/1" PINE	878	10 1/10 1/1" PINE
39	18" HARDWOOD	99	8" HARDWOOD	159	7" HARDWOOD	219	28" PINE	279	14" HARDWOOD	339	32" PINE	399	15" HARDWOOD	459	30" HARDWOOD	519	21" HARDWOOD	579	18" HARDWOOD	639	18" HARDWOOD	699	8" HARDWOOD	759	7" HARDWOOD	819	7" HARDWOOD	879	7" HARDWOOD
40	33" PINE	100	24" PINE	160	16" HARDWOOD	220	13" HARDWOOD	280	15" HARDWOOD	340	9" HARDWOOD	400	6" HARDWOOD	460	7" HARDWOOD	520	15" HARDWOOD	580	22" HARDWOOD	640	9" HARDWOOD	700	10" HARDWOOD	760	7" HARDWOOD	820	16" HARDWOOD	880	16" HARDWOOD
41	20" PINE	101	18" PINE	161	9" HARDWOOD	221	17" HARDWOOD	281	16" HARDWOOD	341	18" HARDWOOD	401	7" HARDWOOD	461	6" HARDWOOD	521	10" HARDWOOD	581	14" HARDWOOD	641	11" HARDWOOD	701	13" HARDWOOD	761	9" HARDWOOD	821	15" HARDWOOD	881	15" HARDWOOD
42	16" HARDWOOD	102	13" HARDWOOD	162	17" PINE	222	19" HARDWOOD	282	30" HARDWOOD	342	8" HARDWOOD	402	27" HARDWOOD	462	22" HARDWOOD	522	30" HARDWOOD	582	10" HARDWOOD	642	7 13" HARDWOOD	702	13" HARDWOOD	762	7" HARDWOOD	822	8" HARDWOOD	882	8" HARDWOOD
43	6 1/3" HARDWOOD	103	26" PINE	163	15" HARDWOOD	223	13 1/3" HARDWOOD	283	23" PINE	343	13" HARDWOOD	403	9" HARDWOOD	463	6" HARDWOOD	523	16" HARDWOOD	583	8" HARDWOOD	643	15" HARDWOOD	703	11" HARDWOOD	763	12" HARDWOOD	823	13 1/7" HARDWOOD	883	13 1/7" HARDWOOD
44	36" PINE	104	18" HARDWOOD	164	11" HARDWOOD	224	13" HARDWOOD	284	9" HARDWOOD	344	34" HARDWOOD	404	9" HARDWOOD	464	10" HARDWOOD	524	6" HARDWOOD	584	8" HARDWOOD	644	1 1/15" HARDWOOD	704	9" HARDWOOD	764	9" HARDWOOD	824	8" HARDWOOD	884	8" HARDWOOD
45	26" PINE	105	6" HARDWOOD	165	8" HARDWOOD	225	17" HARDWOOD																						