

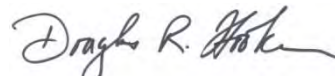
REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: July 16, 2018

ARC REVIEW CODE: V1807161

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Sandra DeWitt, Department of Community Development
FROM: Douglas R. Hooker, Executive Director, ARC



Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-18-01SS 7183 Riverside Drive

Review Type: Metro River

MRPA Code: RC-18-01SS

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for the construction of a new semi-circular concrete drive with steps and pea gravel path connecting the drive to the front door, and brick columns and fencing with an auto security gate.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Sandy Springs

Land Lot: 127 **District:** 17 **Section:**

Date Opened: July 16, 2018

Deadline for Comments: July 26, 2018

Earliest the Regional Review can be Completed: Jul 27 2018

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
COBB COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA

If you have any questions regarding this review, please contact Robert Herrig at Rherrig@atlantaregional.org or (470) 378-1636. If ARC staff does not receive comments from you on or before July 26, 2018, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

[illegible]

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: SANDY SPRINGS, GA
2. Owner(s) of Record of Property to be Reviewed:
Name(s): MR. ERIC WELSH
Mailing Address: _____
City: 7183 RIVERSIDE DRIVE State: GEORGIA Zip: 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: (404) 971-1797 Fax: _____
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): SCOTT YOUNG
Mailing Address: 1493 SANDEN FERRY DRIVE
City: DECATUR State: GEORGIA Zip: 30033
Contact Phone Numbers (w/Area Code):
Daytime Phone: (678) 822-3115 Fax: _____
Other Numbers: _____
4. Proposed Land or Water Use:
Name of Development: N/A
Description of Proposed Use: _____
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: SINGLE FAMILY RESIDENCE ON
0.699 ACRE LOT
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____
LAND LOT 127, 17th DISTRICT, FULTON COUNTY, GEORGIA
Size of Development (Use as Applicable):
Acres: Inside Corridor: 0.699 ACRE
Outside Corridor: _____
Total: 0.699 ACRE
Lots: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system FULTON COUNTY

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	<u>0.699</u>	<u>(0.28) ACRE</u> <u>12,276 SF.</u>	<u>(0.20) ACRE</u> <u>8,856.35</u>	(50) <u>40.1%</u>	(30) <u>29%</u>
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	_____	_____	_____	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: N/A

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

____ Written consent of all owners to this application. (Space provided on this form)

____ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

____ Description of proposed use(s). (Space provided on this form)

____ Existing vegetation plan.

____ Proposed grading plan.

____ Certified as-builts of all existing land disturbance and impervious surfaces.

____ Approved erosion control plan.

____ Detailed table of land-disturbing activities. (Both on this form and on the plans)

____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.

X Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

ERIC WELSH
7183 RIVERSIDE DRIVE, ATLANTA GA 30328
E. M. Welsh ... 10 July 2018
Signature(s) of Owner(s) of Record Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

SCOTT YANG - YOUNG SQUARED STUDIOS, LLC
1493 BANDEN FERRY DRIVE DECATUR, GA. 30033
Scott Yang 7-10-18
Signature(s) of Applicant(s) or Agent(s) Date

14. The governing authority of City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

Sandra DelWitt 7-10-18
Signature of Chief Elected Official or Official's Designee Date

TREE LEGEND

HW	DENOTES HARDWOOD TREE
MAG	DENOTES MAGNOLIA TREE
M	DENOTES MAPLE TREE
O	DENOTES OAK TREE
P	DENOTES PINE TREE
POP	DENOTES POPLAR TREE
SG	DENOTES SWEETGUM

A=124.04' (ACTUAL)
(125.0' BY PLAT)
R=564.71'
CHD=
N49°04'58"E
123.79'

THIS PROPERTY SUBJECT TO THE FOLLOWING

- CURRENT ZONING PER CITY OF SANDY SPRINGS, GEORGIA RD-27
 - MINIMUM LOT AREA= 27,000 SQ. FT.
 - MINIMUM WIDTH AREA= 120 FEET
 - MAXIMUM LOT COVERAGE= 30%
 - MINIMUM FRONT BUILDING SETBACK= 60 FEET
 - MINIMUM SIDE BUILDING SETBACK= 15 FEET
 - MINIMUM REAR BUILDING SETBACK= 40 FEET
 - MAXIMUM BUILDING HEIGHT= 3 STORIES/ 40 FEET
- MUST BE VERIFIED BY CITY OF SANDY SPRINGS BEFORE CONSTRUCTION.

LEGEND

BC	DENOTES BUILDING LINE
BC	DENOTES PROPERTY LINE
BC	DENOTES RIGHT-OF-WAY
BC	DENOTES CENTERLINE
BC	DENOTES BACK OF CURB
BC	DENOTES GUTTER
BC	DENOTES EDGE OF PAVING
BC	DENOTES TOP OF WALL
BC	DENOTES BOTTOM OF WALL
BC	DENOTES FENCE
BC	DENOTES REINFORCED CONCRETE PIPE
BC	DENOTES CORRUGATED METAL PIPE
BC	DENOTES POWER POLE
BC	DENOTES LIGHT POLE
BC	DENOTES GUY WIRE
BC	DENOTES POWER LINE
BC	DENOTES POWER METER
BC	DENOTES POWER BOX
BC	DENOTES FIBER OPTIC
BC	DENOTES AIR CONDITION
BC	DENOTES TELEPHONE BOX
BC	DENOTES GAS METER
BC	DENOTES GAS VALVE
BC	DENOTES GAS LINE MARKER
BC	DENOTES WATER METER
BC	DENOTES WATER VALVE
BC	DENOTES FIRE HYDRANT
BC	DENOTES MONITORING WELL
BC	DENOTES HEADWALL
BC	DENOTES JUNCTION BOX
BC	DENOTES DROP INLET
BC	DENOTES SANITARY SEWER LINE
BC	DENOTES SANITARY SEWER MANHOLE
BC	DENOTES CLEAN OUT
BC	DENOTES POINT OF BEGINNING
BC	DENOTES POINT OF COMMENCEMENT

IMPERVIOUS SURFACE AREA

HOUSE=	2,403.8± SQ. FT.
CONC. DRIVE=	4,170.9± SQ. FT.
CONC. WALK=	29.2± SQ. FT.
CONC. PATIO=	558.3± SQ. FT.
FIRE PLACE=	24.8± SQ. FT.
ROCK PORCH=	49.3± SQ. FT.
BRICK WALK=	311.7± SQ. FT.
ROCK STEPS=	21.8± SQ. FT.
ROCK WALLS=	48.5± SQ. FT.
STEPS=	57.8± SQ. FT.
STEPS=	73.7± SQ. FT.
GRAVEL WALK=	191.3± SQ. FT.
BRICK WALL=	11.2± SQ. FT.
CROSS TIE WALL=	10.2± SQ. FT.
CROSS TIE WALL=	6.0± SQ. FT.
WOOD WALL=	31.4± SQ. FT.
BRICK WALL=	47.8± SQ. FT.
GRAVEL WALK=	143.0± SQ. FT.
STEPS=	58.3± SQ. FT.
GRAVEL WALK=	240.9± SQ. FT.
SAUNA=	37.4± SQ. FT.
SPA=	114.7± SQ. FT.
BRICK WALL=	22.2± SQ. FT.
SHED=	61.6± SQ. FT.
CONC. BLOCK WALL=	4.9± SQ. FT.
BRICK WALL=	73.7± SQ. FT.
IMPERVIOUS SURFACE AREA=	8,804.4± SQ. FT.
TOTAL AREA=	30,467± SQ. FT.
PERCENT OF IMPERVIOUS AREA=	29 PERCENT

SURVEY NOTES

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. PLEASE CALL ALL LOCAL UTILITY PROVIDERS AND OR 811 FOR FURTHER INFORMATION.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
- THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS GATHERED BY AN OPEN TRAVERSE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1,827,993 FEET. A GEOMAX ZOOM 90 SERIES ROBOTIC TOTAL STATION WITH CARLSON SURVEY 2 DATA COLLECTOR WERE USED IN THE COLLECTION OF FIELD DATA.
- BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
- THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
- ALL REBARS SET ARE 1/2" REBARS UNLESS OTHERWISE NOTED.
- THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.
- CONTOUR INTERVAL= 2 FEET
- ELEVATION DATUM= NAVD 1988

Know what's below.
Call before you dig.

UNIT ONE
RAINBOW ACRES
PB 111 PG 79

REFERENCE MATERIAL

- LIMITED WARRANTY DEED IN FAVOR OF ERIC MICHAEL WELSH
DEED BOOK 58047 PAGE 216-217
FULTON COUNTY, GEORGIA RECORDS

FLOOD NOTE

THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS. COMMUNITY PANEL No. 13121C0134 G
EFFECTIVE DATE: SEPTEMBER 18, 2013.
FULTON COUNTY, GEORGIA

SURVEYOR'S CERTIFICATE

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulation for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Michael R. Noles Georgia RLS No. 2646 Date

NO.	REVISIONS	DATE

McLUNG SURVEYING SERVICES, INC.

4833 South Cobb Drive Suite 200
Smyrna, Georgia 30080 (770) 434-3383
www.mclungsurveying.com
Certificate of Authorization #LSF000752

TOPOGRAPHIC MAP FOR
ERIC WELSH

7183 RIVERSIDE DRIVE
SANDY SPRINGS, GEORGIA

TOTAL AREA= 0.699± ACRES
OR 30,467± SQ. FT.

LOT 1 BLOCK "D" UNIT THREE
RIVERSIDE ESTATES

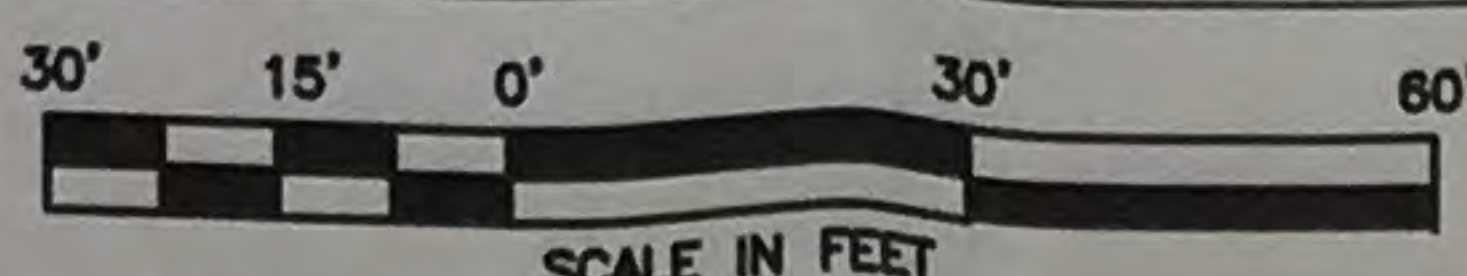
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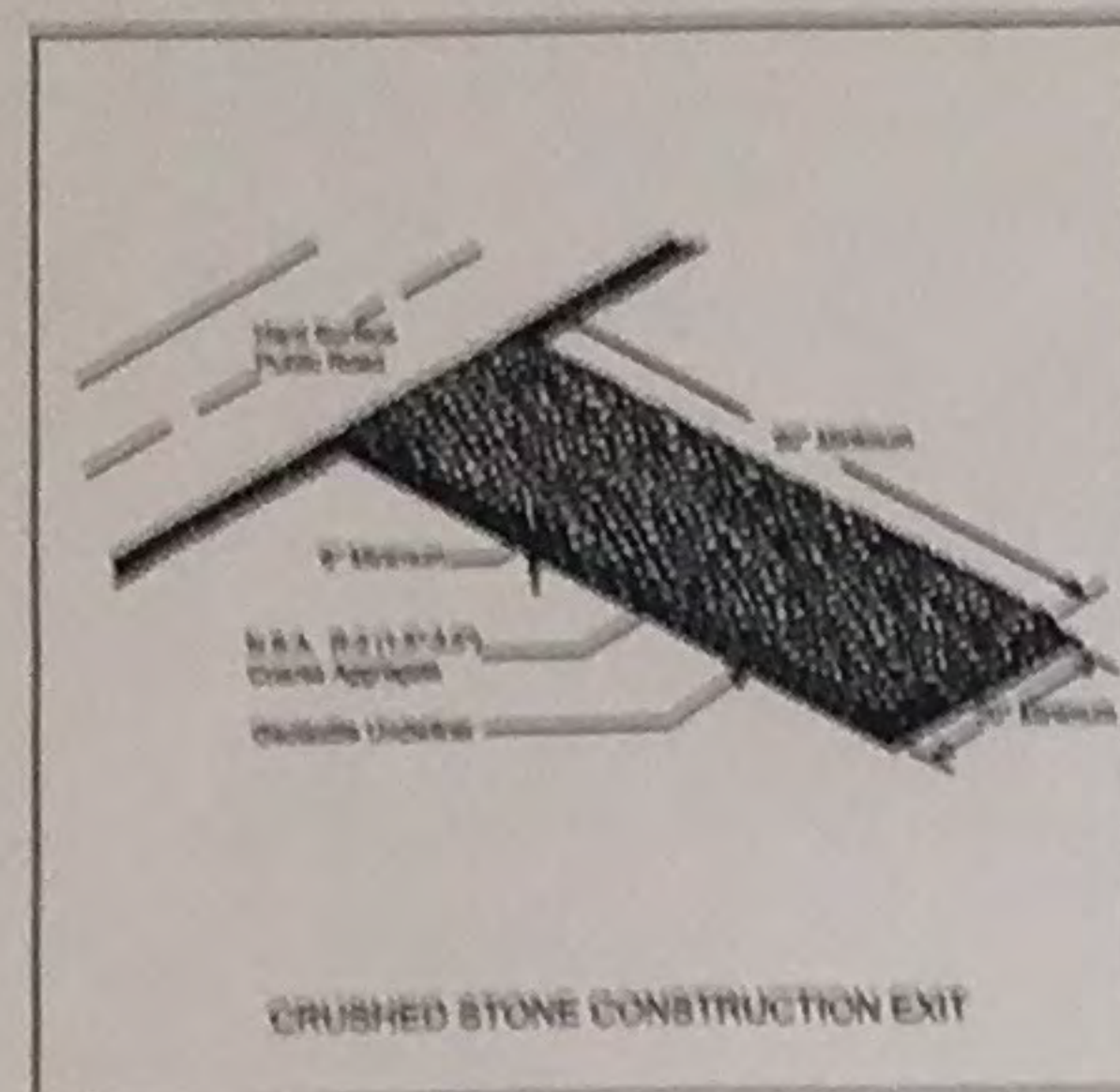
JUL 10 2018

LAND LOT 127
17TH DISTRICT
FULTON COUNTY
GEORGIA

PLAT PREPARED: 6-5-18
FIELD: 5-31-18 SCALE: 1"=30' SPRING 2018 JOB#247827SN

PB 85
PG 68





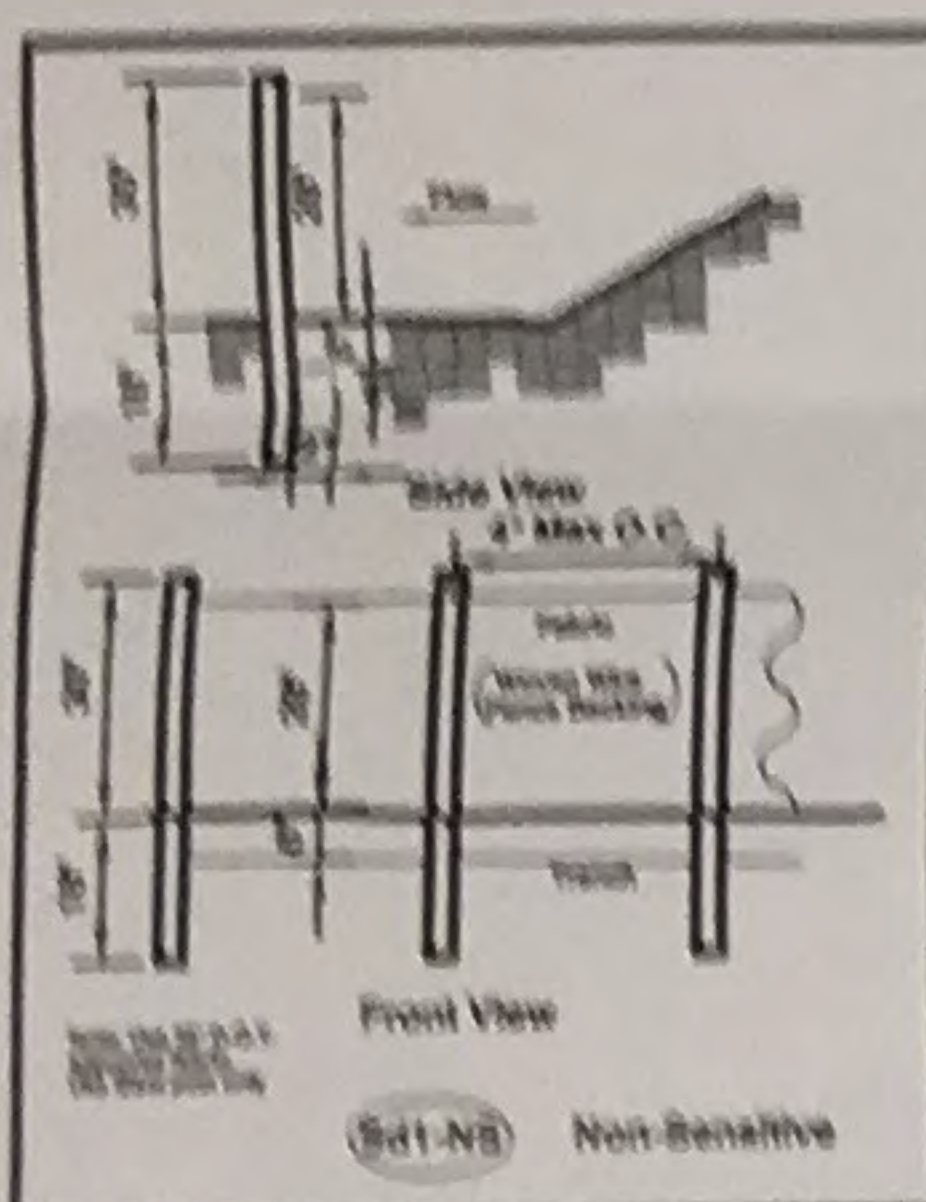
Construction Exit Detail
Not To Scale

Note: Existing drive may be used as construction exit provided that all construction vehicles area confined to existing paved areas on site. Any tracking of dirt, silt, mud, etc. onto street will result in an immediate 'Stop Work' order. The 'Stop work' order will not be lifted until a construction exit in accordance with the current detail is constructed.

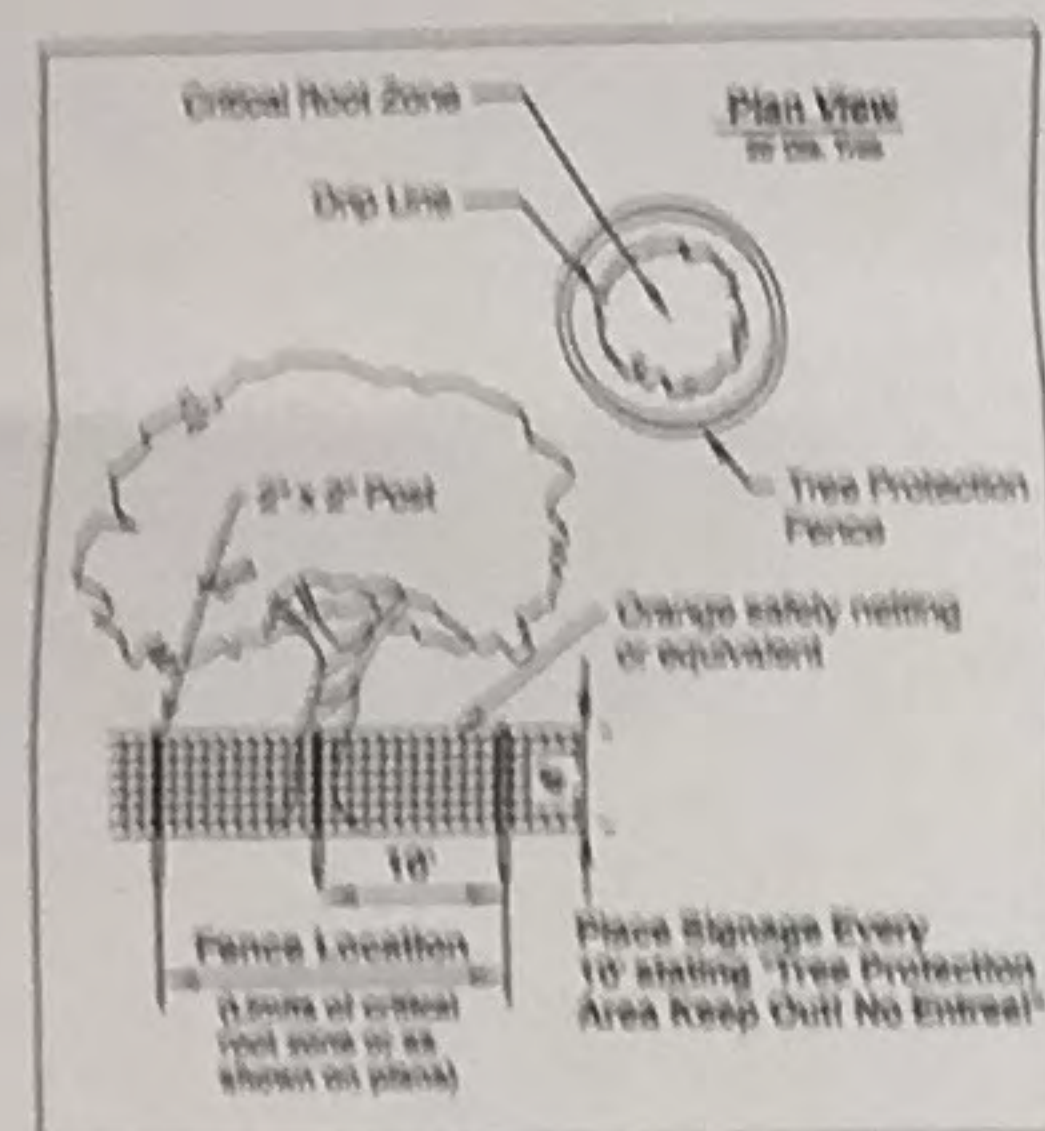


The existing utilities (Water/ Sewer service/ Gas) are to be used for the new construction, contractor to protect existing taps and reconnect utilities to new structure during construction.

Tree Canopy Coverage this area=13,821.32 S.F.



Silt Fence Detail
Not To Scale



Tree Protection Fence Detail
Not To Scale

Site Notes:
Owner-Mr Eric Welsh
7183 Riverside Drive Sandy Springs, Georgia
Land Lot 127- 17th District - Fulton County Georgia
Zoned: RD-27
Front setback: 60'
Side setback: 30'
Rear setback: 40'
Lot Area= 0.699 Acre or (30,467 square feet)
Lot coverage allowed =30% (9,140.10) allowed
Existing Lot coverage = 7,174.37 s.f.
Proposed lot coverage = 1,681.98 s.f.
Total lot coverage for site = 8,856.35 s.f. (29.0%)
Survey information taken from survey by
McClung Surveying Services, Inc.
4833 South Cobb Drive Suite 200
Bnyoma, Georgia 30080 (770) 434-3383
Dated: 9-15-2017
This parcel is not located in a federal flood area as indicated by
F.I.R.M. official flood hazard maps Community panel
no. 13121C0134G Effective 9-15-2017
Site Specific Notes:
Total area disturbed= 2,177.60 s.f.
permanent vegetation to be installed in disturbed areas
Canopy Coverage Figures:
Total Site Area= 30,467 square feet (.0699 acre)
Canopy coverage required =35%
30,467 x 35% = 10,663.45 s.f. required
Existing Canopy Coverage =19,998.44 s.f. (65.6%)
therefore canopy coverage satisfied

Summary of Vulnerability Analysis of proposed land or water use

Vulnerability Category	Total Area (sq. footage)	Total Area (sq. footage) Land Disturbance	Total Area (sq. footage) Impervious Surface	Percent Land Disturbance	Percent Impervious Surface
Proposed	0.699 (30,476 S.F.)	0.20 (8,856.35 S.F.)	0.20 (8,856.35 S.F.)	40.1%	29%

IMPERVIOUS SURFACE AREA

HOUSE=	2,403.8± SQ. FT.
CONC. DRIVE=	2,925.2± SQ. FT.
CONC. WALK=	29.2± SQ. FT.
CONC. PATIO=	558.3± SQ. FT.
FIRE PLACE=	24.8± SQ. FT.
ROCK PORCH=	49.3± SQ. FT.
BRICK WALK=	311.7± SQ. FT.
ROCK STEPS=	21.8± SQ. FT.
ROCK WALLS=	48.5± SQ. FT.
BRICK WALL=	11.2± SQ. FT.
CROSS TIE WALL=	10.2± SQ. FT.
CROSS TIE WALL=	6.0± SQ. FT.
WOOD WALL=	31.4± SQ. FT.
BRICK WALL=	47.8± SQ. FT.
GRAVEL WALK=	139.77± SQ. FT.
GRAVEL WALK=	240.9± SQ. FT.
SAUNA=	37.4± SQ. FT.
SPA=	114.7± SQ. FT.
BRICK WALL=	22.2± SQ. FT.
SHED=	61.6± SQ. FT.
CONC. BLOCK WALL=	4.9± SQ. FT.
BRICK WALL=	73.7± SQ. FT.
EXISTING IMPERVIOUS TOTAL=	7,174.37± SQ. FT.
PROPOSED IMPERVIOUS below:	
DRIVE=	1,345.70± SQ. FT.
STEPS and WALK=	384.33± SQ. FT.
BRICK COLUMNS FOR IRON FENCE=	28.0± SQ. FT.
WROUGHT IRON FENCING=	10.88± SQ. FT.
ALUMINUM FENCING, GATES=	13.07± SQ. FT.
PROPOSED IMPERVIOUS TOTAL=	1,681.98± SQ. FT.

IMPERVIOUS SURFACE AREA
EXISTING + PROPOSED= 8,856.35± SQ. FT.
TOTAL AREA OF LOT= 30,467± SQ. FT.
PERCENT OF IMPERVIOUS AREA= 29.0 PERCENT

Canopy Requirement

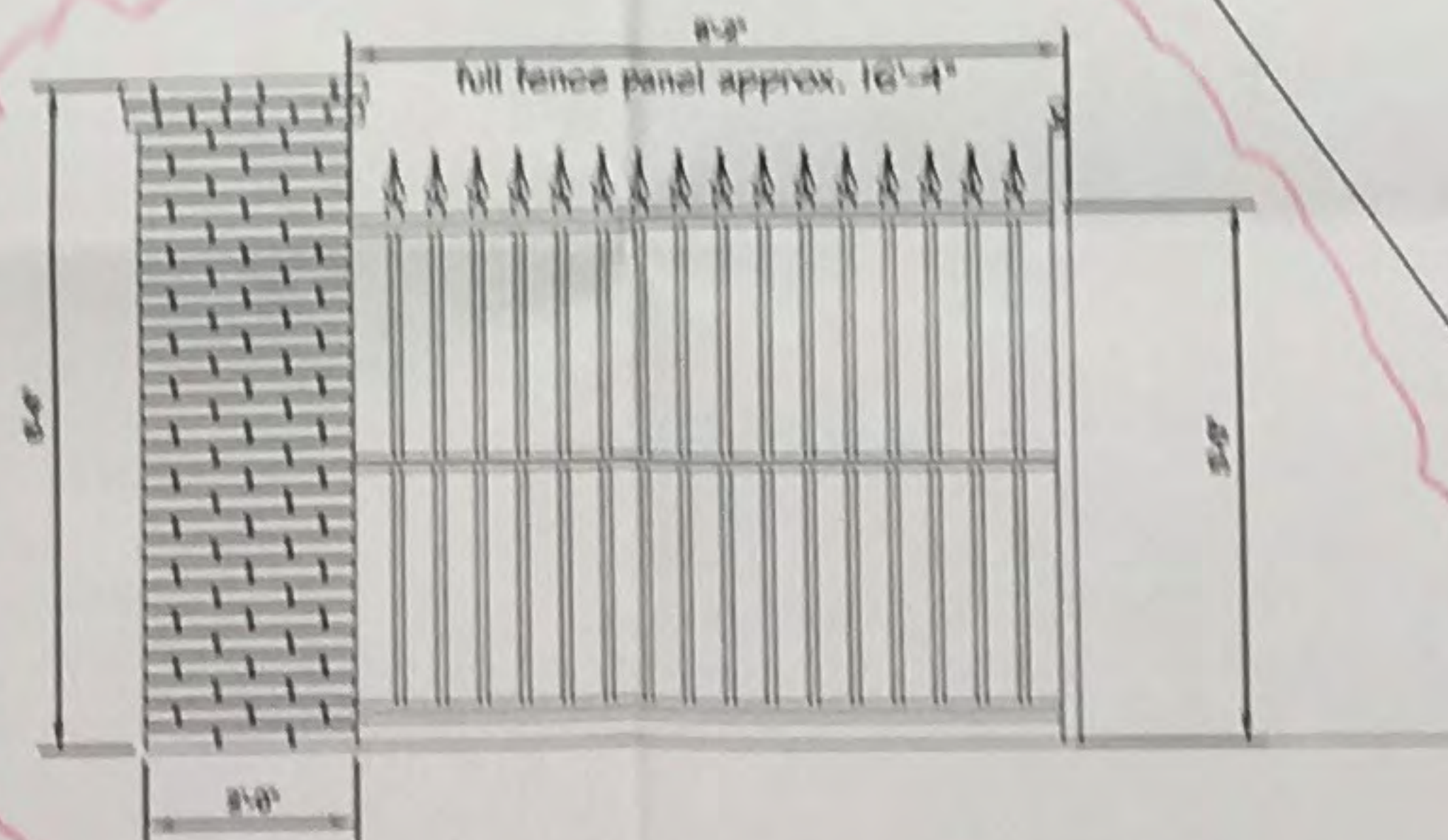
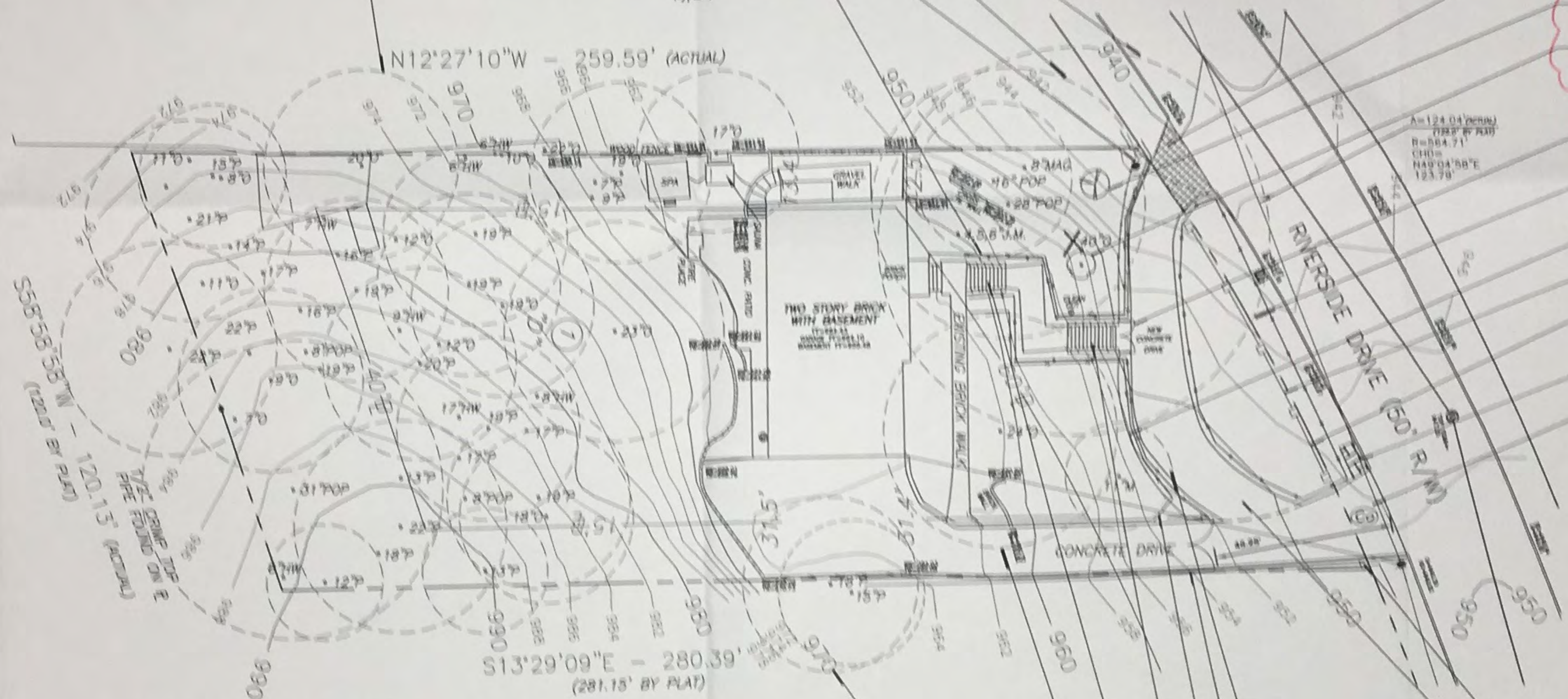
Lot area=30,467 s.f. Coverage requirement: Site Area (30,467 s.f.) X 35%
30,467 x 0.35=10,663.45 Required Canopy Coverage (RCC)
Protected Trees = 19,998.44 s.f. Total (EC)
Landmark Replacement
(1) 40" Oak
(1) Total X 1000 s.f. X 1.5= 1,500 s.f. to be replaced (UR)
Canopy Replacement (CR)
RCC-EC + UR=CR
(10,366-19,998.44+2,000=11,632.44
Replacement Trees
(1) Blumard Oak (3" cal.)
(1) Tulip Poplar (3" cal.)
(2) Total X 1000 s.f. = 2,000 s.f. replaced
Therefore site canopy replacement requirement satisfied

Tree Canopy Coverage this area= 5,302.2 S.F.)

28" Poplar
7% Disturbed

(Proposed) 42" ht. Aluminum security fence (A) along drive
with 4' square post (typical) (5.43 S.F.)

Tree protection fence
(typical)

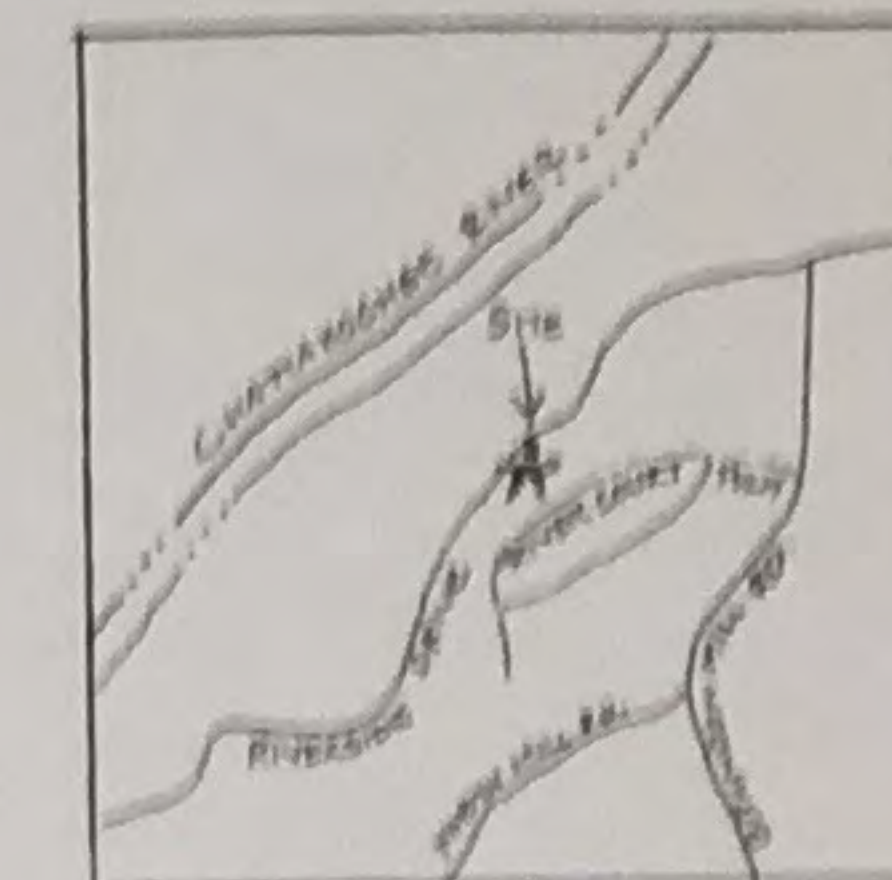


Column and fence panel detail (B)
Not to scale

Project Description: Construct a new:
1) semi-circular drive with steps and pea gravel path connecting the drive to front door.
2) Brick columns and fencing with auto gate for security.



42" height Aluminum Fence (A)



Site Vicinity Map

Hatched area indicated to be removed and planted with sod to match existing

1 Blumard Oak (3" cal.)
(Replacement Tree)
1 Tulip Poplar (3" cal.)
(Replacement Tree)

Pedestrian double 4' gates
at base of steps

40" Oak-Destroyed
30.0% disturbed

(Proposed) 42" ht. aluminum security fence (A)
with gate at steps

Silt Fence Type NS
(typical)

(Proposed) 5' ht. wrought iron fence (B) panels
between brick columns
(10-88 S.F. IMPERVIOUS)

Existing brick pad and mailbox

Construction exit
(existing drive to be used)

(Proposed) 7' x 2' x 6'-4" height- Brick Columns
(28 s.f. IMPERVIOUS)

(Proposed) New drive
(1,245.70± s.f. IMPERVIOUS)
(dashed line shows edge of
new drive)

(Proposed) 42" ht. aluminum security fence (A)
with security auto gate at drive, measure
43.25' from street (see dimension above)
(gate must swing out due to slope)
4' square iron post (typical)
(13.07 S.F. IMPERVIOUS)

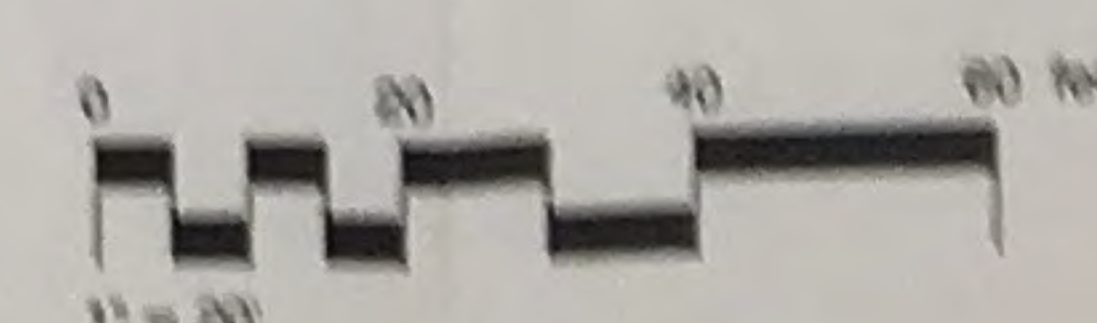
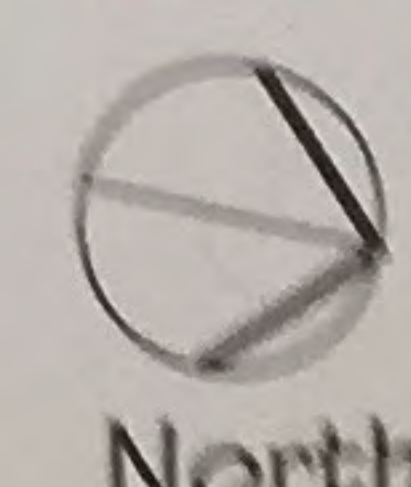
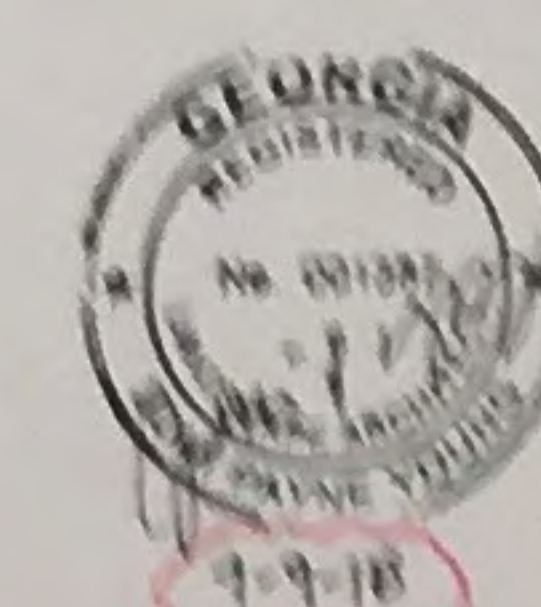
Tree protection Fence
(typical)

(Proposed) New steps and pea gravel walk
(384.33 S.F. IMPERVIOUS) both sets of steps and gravel walk

(Proposed) New steps and pea gravel walk

24" Oak
3.1% disturbed

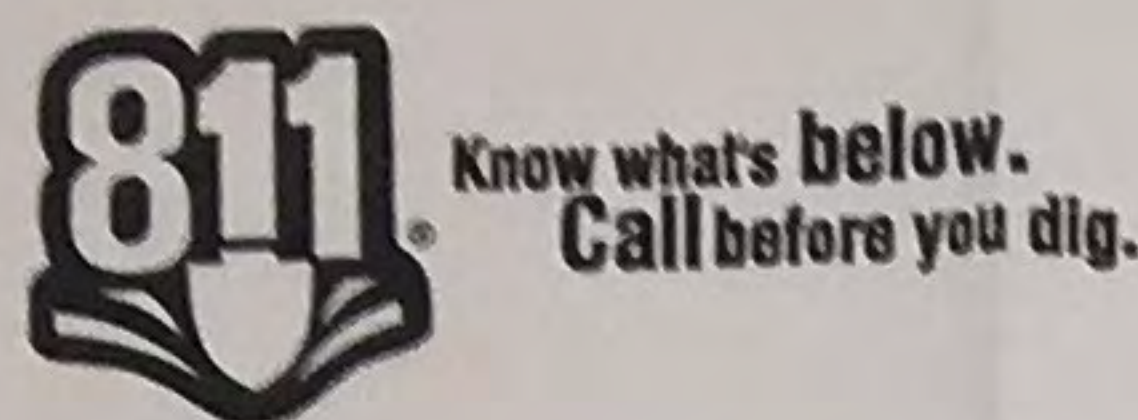
Tree Canopy Coverage this area = (734.92 S.F.)



Land Disturbance Plan
Revised 7-9-18 per comments from City review dated 6-22-18

The Welsh Residence
7183 Riverside Drive
Sandy Springs, Georgia
Date: 6-12-18

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sandy@youngstudios.com
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24 Hour contact- Eric Welsh
(404) 971-1797

The existing utilities (Water/ Sewer service/ Gas) are to be used for the new construction, contractor to protect existing taps and reconnect utilities to new structure during construction.

Tree Canopy Coverage this area=13,961.32 S.F.

Canopy Requirement

Lot area=30,467 s.f. Coverage requirement: Site Area (30,467 s.f.) X 35%
30,467 x 0.35=10,663.45 Required Canopy Coverage (RCC)
Protected Trees = 19,998.44 s.f. Total (EC)
Landmark Replacement
(1) 40" Oak
(1) Total X 1000 s.f. X 1.5= 1,500 s.f. to be replaced (LR)
Canopy Replacement (CR)
RCC-EC+LR=CR
10,366-19,998.44+2,000=11,632.44
Replacement Trees
(1) Shumard Oak (3" cal.)
(1) Tulip Poplar (3" cal.)
(2) Total X 1000 s.f. = 2,000 s.f. replaced
Therefore site canopy replacement requirement satisfied

Tree Canopy Coverage this area= 5,302.2 S.F.)

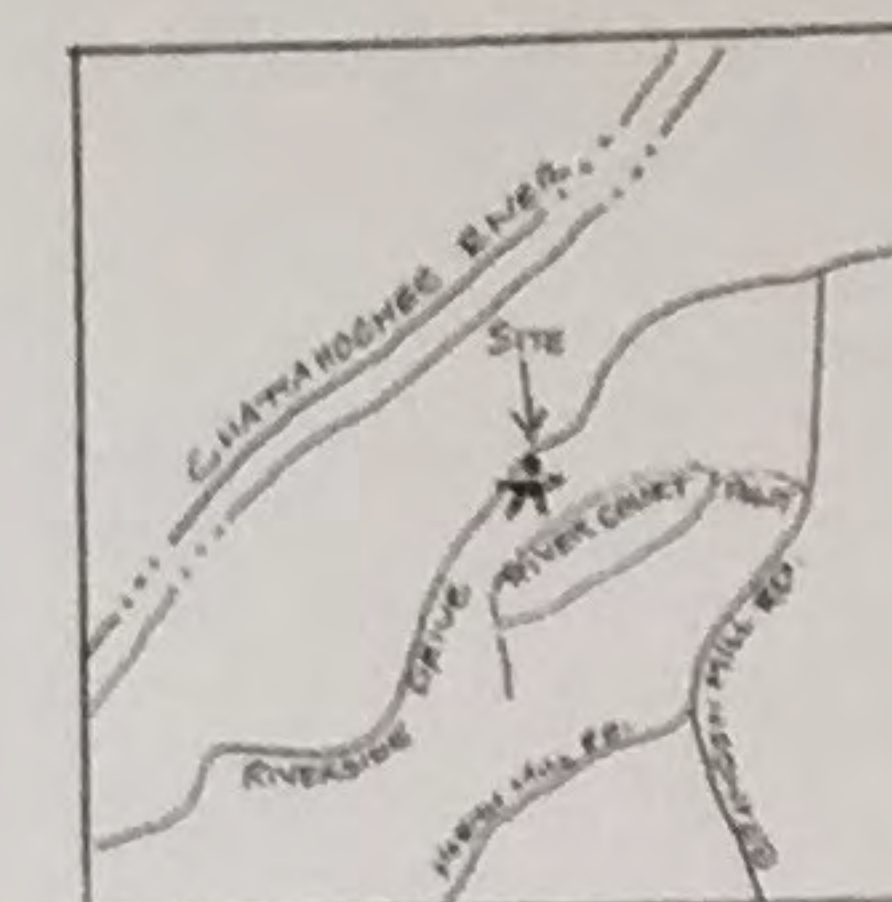
28" Poplar
7% Disturbed

(Proposed) 42" ht. Aluminum security fence (A) along drive
with 4" square post (typical) (5.43 S.F.)

Tree protection fence
(typical)



42" height Aluminum Fence (A)



Site Vicinity Map

Hatched area indicated to be removed and planted
with sod to match existing

1 Shumard Oak (3" cal.)
(Replacement Tree)
1 Tulip Poplar (3" cal.)
(Replacement Tree)

Pedestrian double 4" gates
at base of steps

40" Oak-Destroyed
30.0% disturbed

(Proposed) 42" ht. aluminum security fence (A)
with gate at steps
Silt Fence Type N3
(Typical)

(Proposed) 5' ht. wrought iron fence (B) panels
between brick columns
(10.65 S.F. IMPERVIOUS)

Existing brick pad and mailbox

Construction exit
(existing drive to be used)

(Proposed) 7'-2" X 2' X 6'-4" height- Brick Columns
(20 s.f. IMPERVIOUS)

(Proposed) New drive
(1,245.70 s.f. IMPERVIOUS)
Dashed line shows edge of
new drive

(Proposed) 42" ht. aluminum security fence (A)
with security auto gate at drive, measures
45.25' from street (see dimension above)
4" square iron post (typical)
(13.07 S.F. IMPERVIOUS)

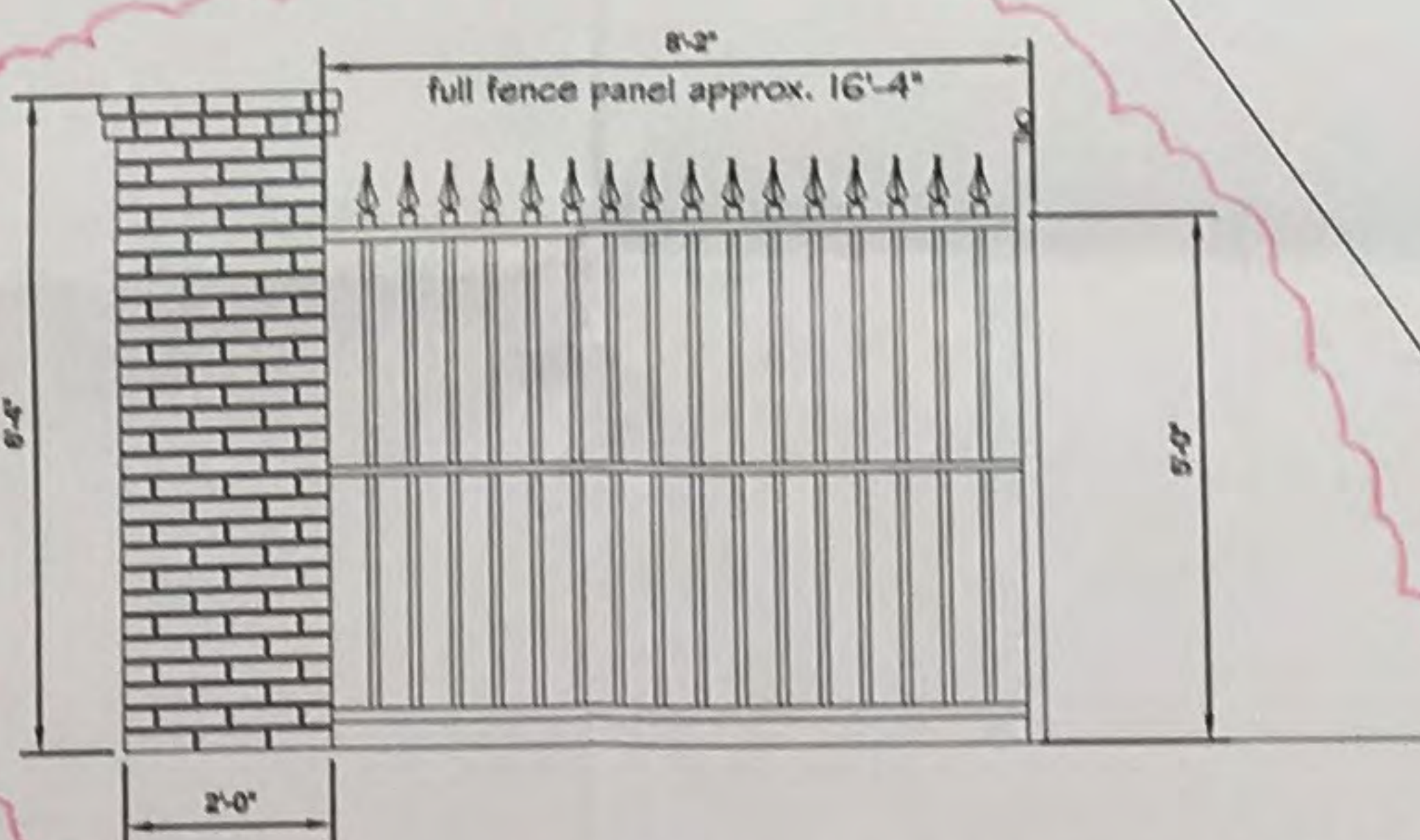
Tree Protection Fence
(Typical)

(Proposed) New steps and pea gravel walk
(354.33 S.F. IMPERVIOUS) both sets of steps and gravel walk

(Proposed) New steps and pea gravel walk

24" Oak
3.1% disturbed

Tree Canopy Coverage this area = 734.92 S.F.)

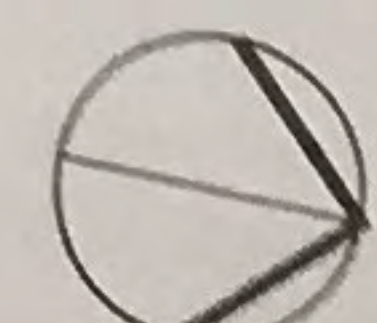
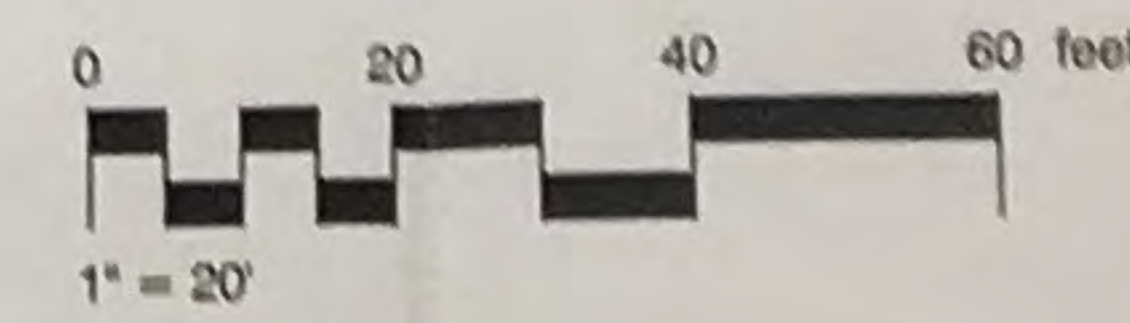


Column and fence panel detail (B)

Not to scale

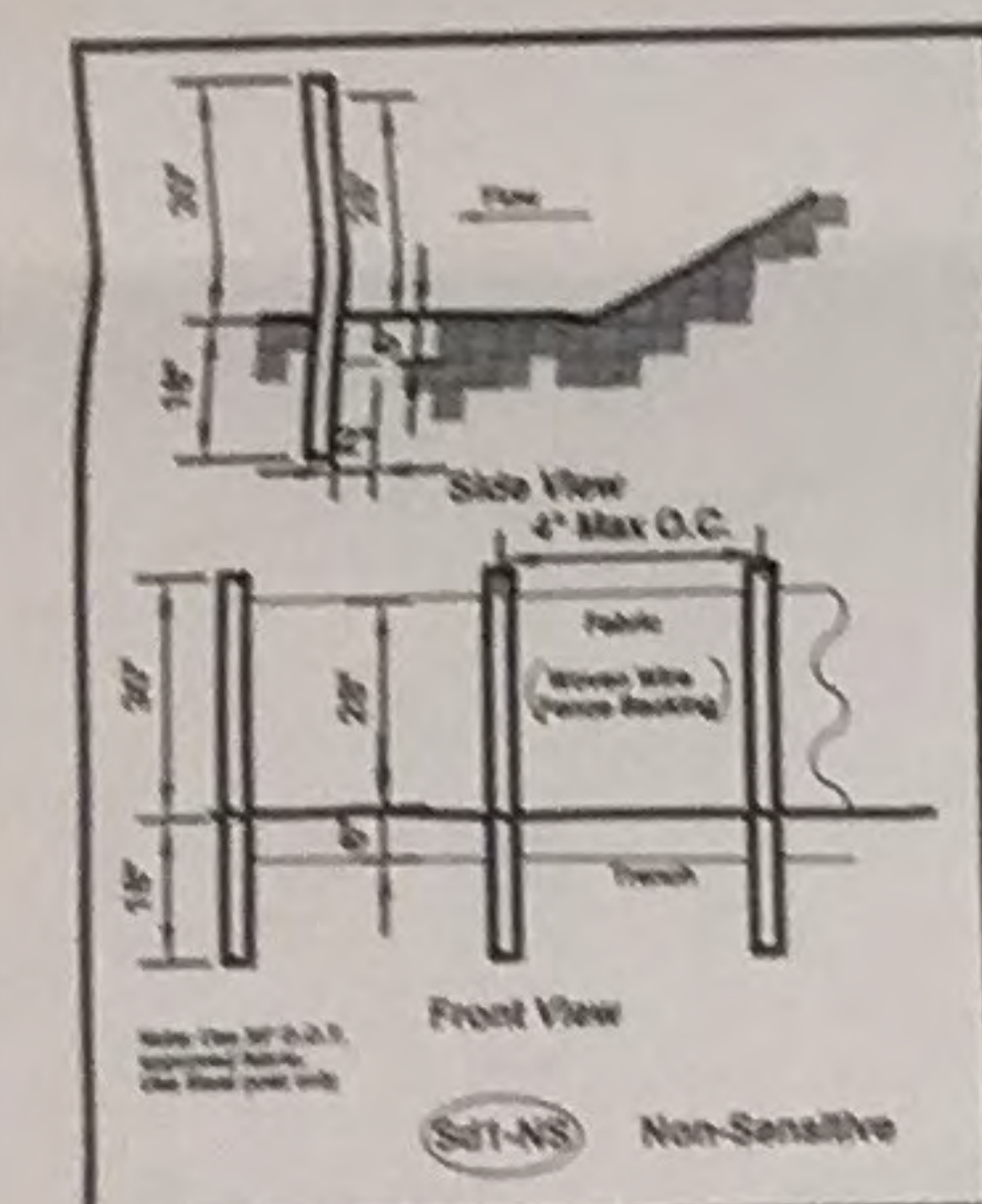
Project Description: Construct a new:

- 1) semi-circular drive with steps and pea gravel path connecting the drive to front door.
- 2) Brick columns and fencing with auto gate for security.

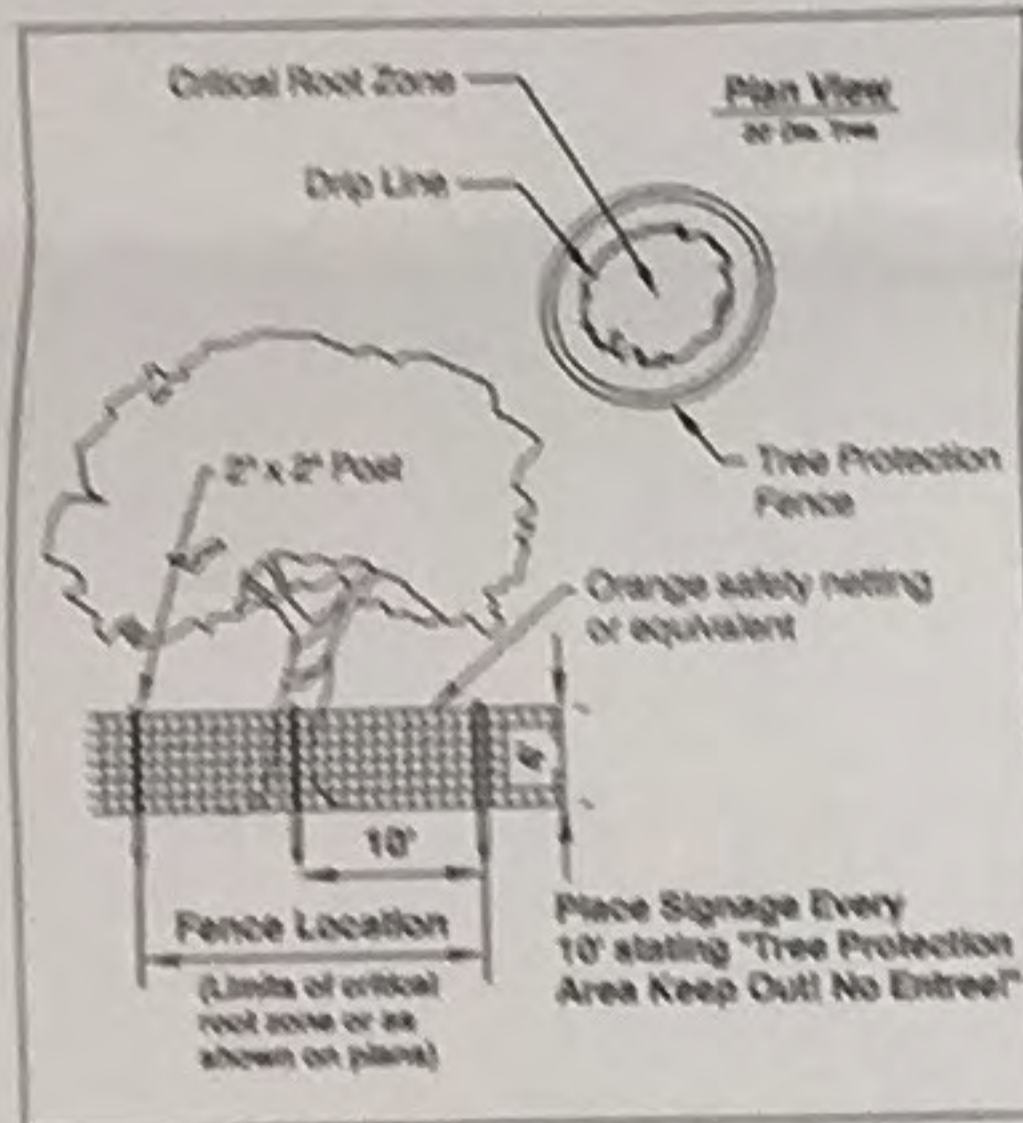


North

Note: Existing drive may be used as construction exit provided that all construction vehicles area confined to existing paved areas on site. Any tracking of dirt, silt, mud, etc. onto street will result in an immediate 'Stop Work' order. The 'Stop work' order will not be lifted until a construction exit in accordance with the current detail is constructed.



Silt Fence Detail
Not To Scale



Tree Protection Fence Detail
Not To Scale

Site Notes:
Owner-Mr Eric Welsh
7183 Riverside Drive Sandy Springs, Georgia
Land Lot 127- 17th District - Fulton County Georgia

Zoned: RD-27
Front setback: 60'
Side setback: 30'
Rear setback: 40'
Lot Area= 0.699 Acre or (30,467 square feet)
Lot coverage allowed =30% (9,140.10) allowed
Existing Lot coverage = 7,174.37 s.f.
Proposed lot coverage = 1,681.98 s.f.
Total lot coverage for site = 8,856.35 s.f. (29.0%)
Survey information taken from survey by
McClung Surveying Services, Inc.
4833 South Cobb Drive Suite 200
Smyrna, Georgia 30080 (770) 434-3383
Dated: 9-15-2017

This parcel is not located in a federal flood area as indicated by
F.I.R.M. official flood hazard maps Community panel
no. 13121C0134G Effective 9-18-2017

Site Specific Notes:
Total area disturbed= 2,177.60 s.f.
permanent vegetation to be installed in disturbed areas
Canopy Coverage Figures:
Total Site Area= 30,467 square feet (.0699 acre)
Canopy coverage required =35%
30,467 x 35%= 10,663.45 s.f. required
Existing Canopy Coverage =19,998.44 s.f. (65.6%)
therefore canopy coverage satisfied

Summary of Vulnerability Analysis of proposed land or water use

Vulnerability Category	Total Acreage (or sq. footage)	Total Acreage (or sq. footage) Land Disturbance	Total Acreage (or sq. footage) Impervious Surface	Percent Land Disturbance	Percent Impervious Surface
A					
B					
C					
D	0.699 (30,476 S.F.)	0.20 (12,226 S.F.)	0.20 (8,856.35 S.F.)	40.1%	29%
E					
F					

IMPERVIOUS SURFACE AREA

HOUSE=	2,403.8± SQ. FT.
CONC. DRIVE=	2,925.2± SQ. FT.
CONC. WALK=	29.2± SQ. FT.
CONC. PATIO=	558.3± SQ. FT.
FIRE PLACE=	24.8± SQ. FT.
ROCK PORCH=	49.3± SQ. FT.
BRICK WALK=	311.7± SQ. FT.
ROCK STEPS=	21.8± SQ. FT.
ROCK WALLS=	48.5± SQ. FT.
BRICK WALL=	11.2± SQ. FT.
CROSS TIE WALL=	10.2± SQ. FT.
CROSS TIE WALL=	6.0± SQ. FT.
WOOD WALL=	31.4± SQ. FT.
BRICK WALL=	47.8± SQ. FT.
GRAVEL WALK=	139.77± SQ. FT.
GRAVEL WALK=	240.9± SQ. FT.
SAUNA=	37.4± SQ. FT.
SPA=	114.7± SQ. FT.
BRICK WALL=	22.2± SQ. FT.
SHED=	61.6± SQ. FT.
CONC. BLOCK WALL=	4.9± SQ. FT.
BRICK WALL=	73.7± SQ. FT.
EXISTING IMPERVIOUS TOTAL=	7,174.37± SQ. FT.

PROPOSED IMPERVIOUS below:	1,245.70± SQ. FT.
DRIVE=	384.33± SQ. FT.
STEPS and WALK=	28.0± SQ. FT.
BRICK COLUMNS FOR IRON FENCE=	10.88± SQ. FT.
WROUGHT IRON FENCING=	13.07± SQ. FT.
ALUMINUM FENCING, GATES=	13.07± SQ. FT.
PROPOSED IMPERVIOUS TOTAL=	1,681.98± SQ. FT.

IMPERVIOUS SURFACE AREA	
EXISTING + PROPOSED=	8,856.35± SQ. FT.
TOTAL AREA OF LOT=	30,467± SQ. FT.
PERCENT OF IMPERVIOUS AREA=	29.0 PERCENT

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7/16/18

Land Disturbance Plan
Revised 7-9-18 per comments from City review dated 6-22-18

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