



REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: October 5, 2017

ARC REVIEW CODE: V1710051

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Sandra DeWitt, City Arborist
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-17-03SS 105 River Park Drive

Review Type: Metro River

MRPA Code: RC-17-03SS

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for additions to an existing single-family house.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Sandy Springs

Land Lot: 127 **District:** 17 **Section:**

Date Opened: October 5, 2017

Deadline for Comments: October 15, 2017

Earliest the Regional Review can be Completed: October 15, 2017

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
COBB COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
GEORGIA DEPARTMENT OF TRANSPORTATION

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA

If you have any questions regarding this review, please contact Andrew Smith at asmith@atlantaregional.org or (470) 378-1645. If ARC staff does not receive comments from you on or before *October 15, 2017*, we will assume that your agency has no additional comments and will close the review. Comments by email are strongly encouraged. The ARC review website is located at: <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

ARC STAFF NOTICE OF REGIONAL REVIEW AND COMMENT FORM

DATE: October 5, 2017

ARC REVIEW CODE: V1710051

TO: ARC Community Development and Natural Resources Managers

FROM: Andrew Smith, 470-378-1645

Reviewing staff by Jurisdiction:

Community Development: Herrig, Robert

Natural Resources: Santo, Jim

Name of Proposal: RC-17-03SS 105 River Park Drive

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Submitting Local Government: City of Sandy Springs

Date Opened: October 5, 2017

Deadline for Comments: *October 15, 2017*

Earliest the Regional Review can be Completed: *October 15, 2017*

Response:

- 1) Proposal is **CONSISTENT** with the following regional development guide listed in the comment section.
- 2) While neither specifically consistent nor inconsistent, the proposal relates to the following regional development guide listed in the comment section.
- 3) The proposal is **INCONSISTENT** with the following regional development guide listed in the comment section.
- 4) The proposal does **NOT** relate to any development guide for which this division is responsible.
- 5) Staff wishes to confer with the applicant for the reasons listed in the comment section.

COMMENTS:

[illegible]

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: CITY OF SANDY SPRINGS

2. Owner(s) of Record of Property to be Reviewed:

Name(s): DR. MICHAEL WEISS AND CHERYL WEISS

Mailing Address: 105 RIVER COURT PARKWAY

City: SANDY SPRINGS

State: GEORGIA

Zip: 30328

Contact Phone Numbers (w/Area Code):

Daytime Phone: 678-990-8001

Fax: 678-990-8001

Other Numbers:

3. Applicant(s) or Applicant's Agent(s):

Name(s): MATTHEW W. HOOTS

Mailing Address: 690 MIAMI CIRCLE, SUITE 700

City: ATLANTA

State: GEORGIA

Zip: 30324

Contact Phone Numbers (w/Area Code):

Daytime Phone: 404-391-5681

Fax: 404-474-7175

Other Numbers:

4. Proposed Land or Water Use:

Name of Development: RIVERSIDE ESTATES SUBDIVISION

Description of Proposed Use:

EXISTING RESIDENCE

5. Property Description (Attach Legal Description and Vicinity Map):

Land Lot(s), District, Section, County: LOT 127, DISTRICT 17, SANDY SPRINGS, FULTON COUNTY

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:

RIVERSIDE ESTATES, LOT 9, BLOCK C, RIVER PARK DRIVE, NW, 1,305 LF TO NEAREST INTERSECTION (RIVER COURT PKWY)

Size of Development (Use as Applicable):

Acres: Inside Corridor: .62 ACRES

Outside Corridor: 0 ACRES

Total: .62 ACRES

Lots: Inside Corridor: 1

Outside Corridor: 0

Total: 1

Units: Inside Corridor: NA

Outside Corridor: NA

Total: NA

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor:

Outside Corridor:

Total:

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system YES _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	24,873 SF	16,340 SF	9,158 SF	(70) .66%	(45) .37%
D	3,898 SF	0 SF	0 SF	(50) 0%	(30) 0%
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	28,771 SF	16,340 SF	9,158 SF	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

☒ Written consent of all owners to this application. (Space provided on this form)

☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

☒ Description of proposed use(s). (Space provided on this form)

☒ Existing vegetation plan.

☒ Proposed grading plan.

☒ Certified as-builts of all existing land disturbance and impervious surfaces.

☐ Approved erosion control plan.

☒ Detailed table of land-disturbing activities. (Both on this form and on the plans)

___ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

___ Documentation on adjustments, if any.

___ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

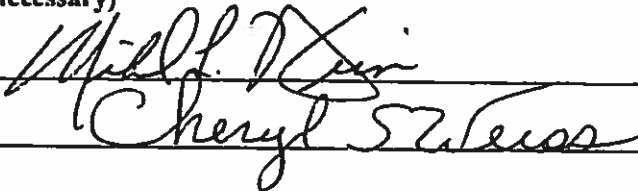
☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

___ Concept plan.

___ Lot-by-lot and non-lot allocation tables.


12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)



Signature(s) of Owner(s) of Record

7-10-17
Date

- *13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:



Signature(s) of Applicant(s) or Agent(s)

7-6-17
Date

14. The governing authority of City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.



Signature of Chief Elected Official or Official's Designee

7-25-17
Date

**105 River Park Drive Reanalysis
City of Sandy Springs**

August 1, 2017

Vulnerability Factor	Factor Subgroup	Score			
Hydrology:	Second Order Basin	5			
Geology:	Biotite/Plagioclase	5			
Aspect	Hotspot	3			
Soils	Moderate Erodibility	12			
SUBTOTAL:		25			
Vegetation:	Open Field	10		--	
	Pines	--		15	
SUBTOTAL:		35		40	
Slope:	0-10%	3	--	--	3
	10-25%	--	9	--	--
	Over 25%	--	--	15	--
TOTAL:		38	44	50	43
CATEGORY:		C	C	D	C

The "C" Category includes scores from 38 to 49.

The "D" Category includes scores from 50 to 59.

consistent #'s throughout

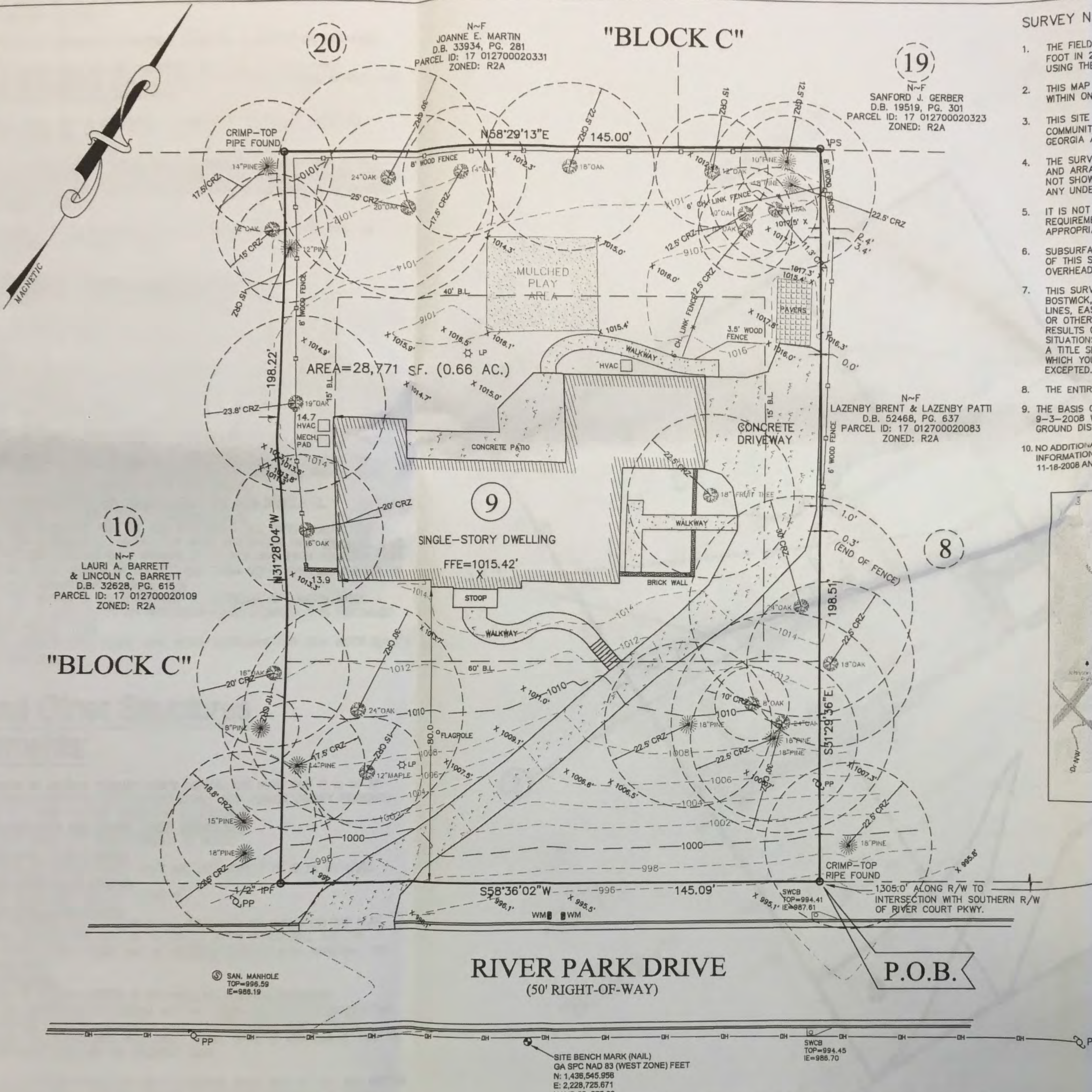
- all work ok
SMS
10/4/17
- ① - entire lot in corridors
 - ② - TOTAL SF of lot varies by 1000 SF between as-built and proposed (as-built correct based on #'s and my measurements)

- ③ - as built shows imp. as 8071 - primarily correct based on my measurements - but proposed shows house & driveway at 8412 - not counting walkways and patio - which is right

- ④ - Cul. includes imp. In this case, it would be existing imp., area around new construction (minimum 5' perimeter + mulch play area).

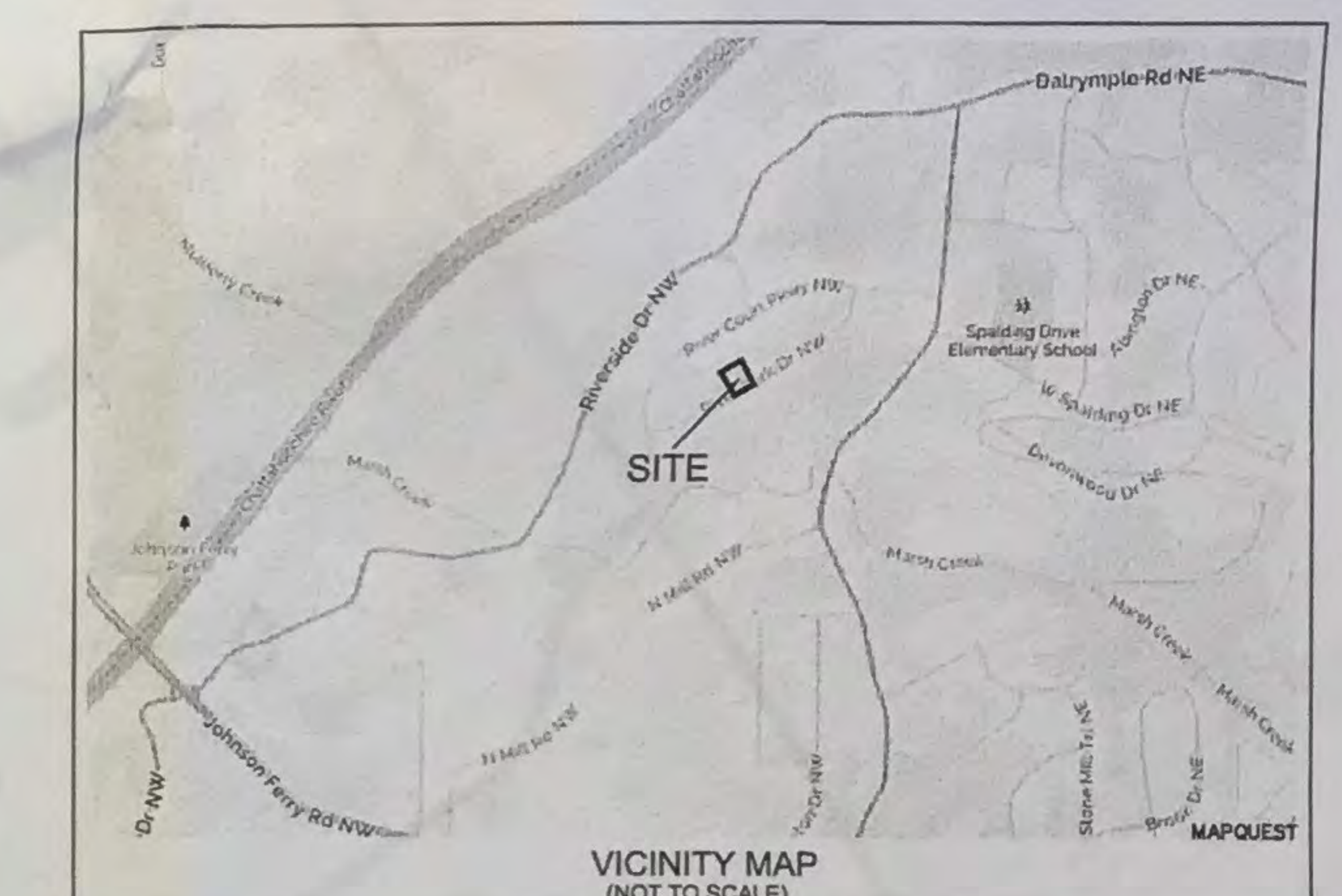
- ⑤ - Curved to D - 38% imp 50% L.O. OK to L.O. (correct) before in TAMP by my measurements 9442 total - 8115 SF over max. - no credit for gravel that will be used for vehicle, fat buffer - parking drive.

- ⑥ - Analysis: corrected as 'C' ~~+12,948 SF TAMP.~~
TD - NO IMP. IN D -
can dump - total
about 12,200



SURVEY NOTES:

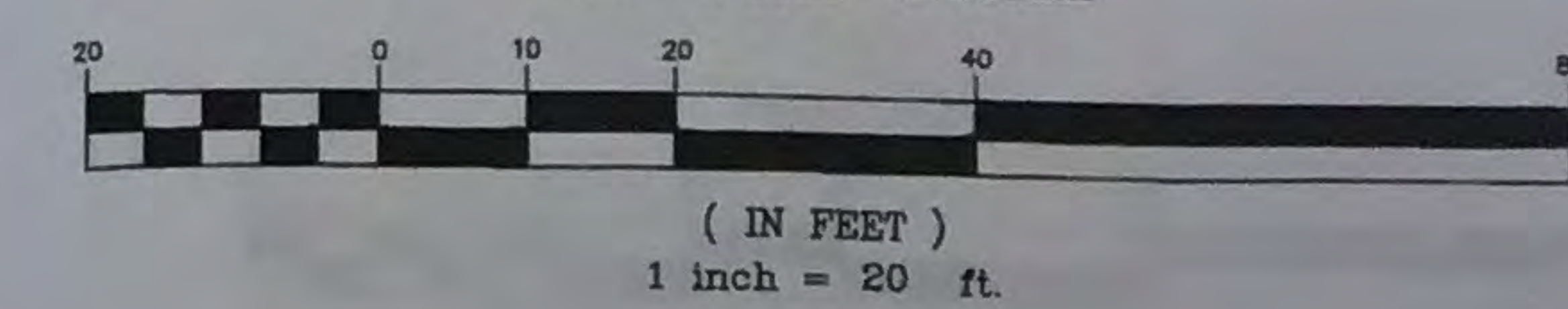
1. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 24,221 FEET AND AN ANGULAR ERROR OF 08" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.
2. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 250,707 FEET.
3. THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0134G (REVISED SEPTEMBER 18, 2013) FOR FULTON COUNTY, GEORGIA AND INCORPORATED AREAS.
4. THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES. UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITY OR STRUCTURE.
5. IT IS NOT THE RESPONSIBILITY OF THE SURVEYOR TO CERTIFY OR VERIFY ANY ZONING REQUIREMENTS OR RESTRICTIONS. THE OWNER OR CONTRACTOR SHOULD CONTACT THE APPROPRIATE ZONING AUTHORITY FOR ANY RESTRICTIONS PRIOR TO PLANNING.
6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THIS SURVEY AND ITS FINDINGS DOES NOT CONSTITUTE A TITLE SEARCH OR TITLE OPINION BY BOSTWICK, DUKE, HARPER & WORTHY, INC. ALL DATA USED FOR THE LOCATION OF PROPERTY LINES, EASEMENTS, ADJOINING OWNERS, ETC., WAS GAINED FROM PUBLIC RECORDS, THE CLIENT, OR OTHER SOURCES AS REFERENCED. NO ABSTRACT OF TITLE OR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE PROVIDED TO THE SURVEYOR. OTHER DOCUMENTS OR SITUATIONS MAY EXIST THAT WOULD AFFECT THIS PROPERTY. AS WITH ANY LAND TRANSACTION, A TITLE SEARCH AND CERTIFICATE IS RECOMMENDED IN CONJUNCTION WITH THIS SURVEY, FOR WHICH YOU MUST CONSULT WITH A COMPETENT TITLE ATTORNEY. ALL MATTERS OF TITLE ARE EXCEPTED.
8. THE ENTIRE PROPERTY LIES IN THE SANDY SPRINGS RIVER CORRIDOR.
9. THE BASIS OF ELEVATION FOR THIS SURVEY IS BASED ON GPS SURVEY BY THIS FIRM DATED 9-3-2008 WITH SOLUTIONS COMPUTED BY OPUS; ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
10. NO ADDITIONAL FIELD WORK WAS PERFORMED IN THIS REVISION. ALL BOUNDARY AND TOPOGRAPHIC INFORMATION IS SHOWN AS A REFERENCE ONLY AND IS BASED ON A PREVIOUS SURVEY LAST REVISED 11-18-2008 AND PERFORMED BY THIS FIRM UNDER THE SUPERVISION OF MICHAEL J. BARGER, GRLS #2958



LEGEND

PROPERTY	IRON PIN SET	SANITARY SEWER
IFS	IRON PIN FOUND	CO CLEAN OUT
IPF	MASONRY NAIL	SSMH SANITARY SEWER MANHOLE
PK	RIGHT-OF-WAY	PIPING
R/W	TEMPORARY BENCH MARK	CMP CORRUGATED METAL PIPE
TBM	PROPERTY LINE	RCP REINFORCED CONCRETE PIPE
R	CENTERLINE	DIP DUCTILE IRON PIPE
WATER		IE INVERT ELEVATION
FH	FIRE HYDRANT	ELECTRIC/COMMUNICATIONS
PIV	POST INDICATOR VALVE	CATV CABLE TV
WM	WATER METER	EM ELECTRIC METER
WV	WATER VALVE	EMH ELECTRIC MANHOLE
GAS SERVICE		ELEC
GM	GAS METER	LP LIGHT POLE
GV	GAS VALVE	PP POWER POLE
STORMWATER		OH OVERHEAD
CB	CATCH BASIN	TP TELEPHONE POLE
DI	DROP INLET	TEL PED TELEPHONE PEDESTAL
DWCB	DOUBLE WING CATCH BASIN	TIP TRAFFIC INDICATOR POLE
HW	HEADWALL	UG UNDERGROUND
JB	JUNCTION BOX	
SWCB	SINGLE WING CATCH BASIN	

GRAPHIC SCALE



REVISED: 09/13/2017 TO ADDRESS CITY OF SANDY SPRINGS COMMENTS

REVISIONS:

11-18-08 AREA COMPUTATION

SURVEY TO MEET THE CITY OF SANDY SPRINGS ARC REQUIREMENTS:

LOT 9, BLOCK C, RIVERSIDE ESTATES SUBDIVISION, UNIT TWO-A

105 RIVER PARK DR. NW

LAND LOT 127

17th DISTRICT

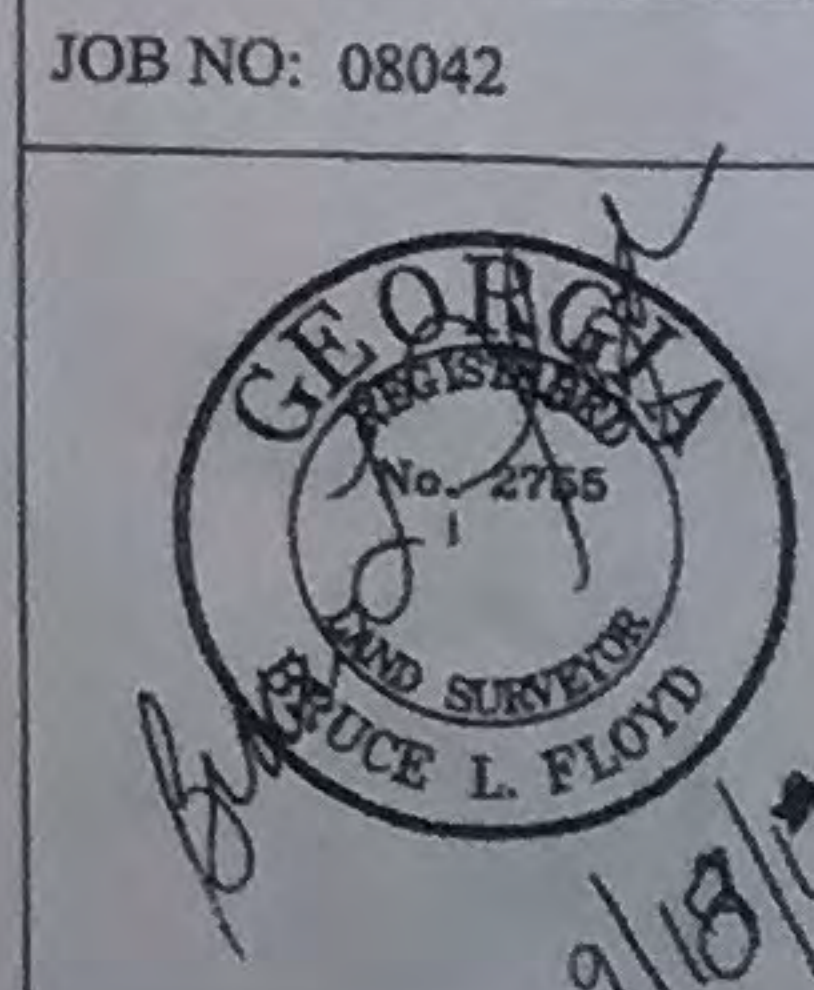
CITY OF SANDY SPRINGS, FULTON COUNTY, GEORGIA

DRAWN BY: JLA

SCALE: 1"=20'

DATE: 9-12-08

JOB NO: 08042



BOSTWICK, DUKE, HARPER & WORTHY, INC.

LAND SURVEYING

10910 WOODSTOCK ROAD

ROSWELL, GEORGIA 30075

770-552-0804



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
UTILITIES PROTECTION CENTER
IT'S THE LAW

PROPERTY OWNER:
WEISS CHERL S
105 RIVER PARK DRIVE
SANDY SPRINGS, GA 30328
D.B. 38866, P.G. 696
PARCEL ID: 17 01200020091
ZONED: R2A

Revisions made 09/13/2017:
1) Added CRZ to trees.
2) Changed to make property to be completely within the "Sandy Springs River Corridor".
3) Added site benchmark and datum reference.
4) Added setback information based on R2A zoning.
5) Added property owner information.
6) Added current FEMA map information.

Demolition Notes:

1. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.
2. CONTRACTOR SHALL IMMEDIATELY CONTACT OWNERS REPRESENTATIVE AND ENGINEER IF ANY DISCREPANCIES OR CONFLICTS ARE ENCOUNTERED.
3. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY STATED BY OWNER.
4. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. CONTRACTOR SHALL MAINTAIN THESE TRAFFIC CONTROL AND SAFETY METHODS THROUGHOUT CONSTRUCTION OF THIS PROJECT.
6. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
7. FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.
8. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS AND INSTRUCTIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
9. DEMOLITION AND SITE PLANS HAVE BEEN PREPARED TO IDENTIFY MAJOR DEMOLITION ITEMS. CONTRACTOR TO PERFORM SITE VISIT PRIOR TO PRICING TO IDENTIFY ALL DEMOLITION ITEMS AS WELL AS IDENTIFYING ITEMS TO SALVAGE FOR OWNER.
10. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES & ITEMS TO REMAIN.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION ACTIVITIES DAMAGE TO EXISTING STRUCTURE DURING CONSTRUCTION.
12. CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.

Plan Requirements:

1. THREE COPIES OF SINGLE FAMILY SITE PLAN (SFSP). PLAN MUST BEAR PROFESSIONAL SEAL, SIGNED AND DATED OF A PROFESSIONAL ENGINEER, REGISTERED LAND SURVEYOR OR LANDSCAPE ARCHITECT HAVING REGISTRATION IN THE STATE OF GEORGIA. THE DATE ON THE SEAL SHOULD BE EQUIVALENT TO THE LAST REVISED DATE ON THE PLAN.
SEE PLANS.
2. PROJECT NAME AND ADDRESS, SUBDIVISION NAME AND LOT NUMBER (IF APPLICABLE), LAND LOT, DISTRICT, AND ZONING.
RIVER PARK DRIVE, 105 RIVER PARK DRIVE, SANDY SPRINGS, GA 30328, LAND LOT 127, 17TH DISTRICT, ZONING R-2A
3. OWNER'S NAME AND COMPLETE ADDRESS INCLUDING ZIP CODE.
WEISS CHERYL S., 105 RIVER PARK DRIVE, SANDY SPRINGS, GA 30328
4. NAME, TELEPHONE NUMBER, AND GSWCC LEVEL 1A CERTIFICATION NUMBER OF A 24-HOUR CONTACT.
MICHELLE MOODY, 404-707-4880, 1A CERTIFICATION NUMBER #0000070707
5. DESIGN FIRM NAME/ADDRESS/PHONE, POINT OF CONTACT AND CONTACT PHONE NUMBER.
CRESCENT VIEW ENGINEERING, 211 FRASIER STREET, MARIETTA, GA 30060, 678-324-8410
6. NORTH ARROW, SITE ACREAGE, AND SCALE OF DRAWING (1"=10 TO 1"=50').
NORTH ARROW SHOWN ON EACH PAGE. SITE ACREAGE IS 0.66 ACRES. SCALE IS 1"=20'
7. BOUNDARY INFORMATION INCLUDING BEARINGS AND DISTANCES ALONG ALL PROPERTY LINES AND A LOCATION SKETCH. PROVIDE SOURCE.
SHOWN ON EACH PAGE FROM SURVEYOR BOSTWICK, DUKE, HARPER & WORTHY INC. LAND SURVEYING
8. STREET NAME.
RIVER PARK DRIVE.
9. LOT BUILDING SETBACK LINES (PER SANDY SPRINGS ZONING ORDINANCE) LABELED WITH DIMENSIONS TO LOT LINES.
ALL SETBACKS ARE SHOWN ON THIS PLAN PER SANDY SPRINGS R-2A ZONING
10. NAMES OF ADJOINER'S AND RESPECTIVE ZONINGS.
ALL KNOWN RESIDENCES ARE SHOWN ON THIS PLAN PER SANDY SPRINGS R-2A ZONING
11. LOCATIONS OF ALL EXISTING STRUCTURES (INCLUDING HOUSES, BARN, SHEDS, LANDSCAPE AND RETAINING WALLS, SANITARY AND STORM DRAINAGE LINES AND STRUCTURES, WATER LINES, NEAREST FIRE HYDRANT, DETENTION PONDS AND STRUCTURES, SEPTIC TANKS AND LINES, POOLS, FENCES, ETC.) WITH DISTANCES TO LOT LINES FOR ALL ABOVE GROUND STRUCTURES.
SHOWN ON PLAN
12. PROVIDE EXISTING TOPOGRAPHY INCLUDING APPROPRIATE TREES, ALL EXISTING PIPES WITH THEIR APPROPRIATE EASEMENTS. PROVIDE SOURCE.
EXISTING TOPOGRAPHY IS SHOWN ON THIS PLAN. ALL PROPOSED AND EXISTING IMPERVIOUS ARE SHOWN ON THIS PLAN.
13. LOCATIONS OF ALL PROPOSED STRUCTURES (INCLUDING HOUSES, WALLS, SANITARY, AND STORM DRAINAGE LINES AND STRUCTURES, SEPTIC TANKS AND LINES, POOLS, FENCES, ETC.). SIZE AND TYPE OF CONSTRUCTION SHOULD BE CALLED OUT ON THE PLAN WITH DISTANCES TO LOT LINES FOR ALL ABOVE GROUND STRUCTURES.
SHOWN ON PLAN.
14. HEIGHT OF PROPOSED BUILDINGS AND SQUARE FOOTAGE OF EXISTING AND PROPOSED DWELLING (THE DWELLING MUST MEET THE MINIMUM REQUIREMENTS FOR THE PARCEL'S ZONING DISTRICT).
PROPOSED ADDITION MEETS THE HEIGHT OF EXISTING BUILDING. SQUARE FOOTAGE SHOWN ON THE PLAN.
15. LOCATION OF ZONING BUFFERS, ACCESS EASEMENTS, SEWER EASEMENTS, AND DRAINAGE EASEMENTS, ETC.
N/A
16. LOCATION OF DRIVEWAY (EXISTING AND PROPOSED) AND THE PROPOSED CONSTRUCTION ENTRANCE. DIMENSION FROM ANY IMPROVEMENTS OR THE PROPERTY CORNER. PROPOSED DRIVEWAY APRON(S) MUST BE A MINIMUM OF 10 FEET FROM A CATCH BASIN FIRE HYDRANT, AND THE LOT LINE. DRIVEWAY APRON(S) MUST ALSO BE A MINIMUM OF 25 FEET FROM THE RADIUS RETURN ON CORNER LOTS.
N/A. EXISTING DRIVEWAY TO REMAIN AS CONSTRUCTION EXIT.
17. FLOOD PLAIN NOTE AND FLOOD INSURANCE RATE MAP (F.I.R.M) PANEL NUMBER AND EFFECTIVE DATE:
THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M COMMUNITY PANEL NUMBER(S) 13121C0134G FOR UNINCORPORATED FULTON COUNTY, GEORGIA. (USE SEPTEMBER 18, 2013 MAP).

IF PROPERTY IS LOCATED IN A FLOOD ZONE AS DETERMINED BY FEMA, A CERTIFICATE OF ELEVATION WILL BE REQUIRED. PLAN MUST STATE EXISTING AND MINIMUM PROPOSED FINISHED FLOOR ELEVATIONS FOR THE MAIN FLOOR, BASEMENT, AND GARAGE. ELEVATIONS MUST BE AT LEAST 3 FEET ABOVE THE 100-YEAR ELEVATION. THE HOUSE MUST BE AT LEAST 10 FEET (HORIZONTALLY) AWAY FROM THE 100-YEAR LIMIT.
18. PROVIDE A COMPLETE GRADING PLAN SHOWING PROPOSED CONTOURS, PIPES, RETAINING WALLS, ETC.
SEE PLAN SHEET C-2. NO PROPOSED RETAINING WALLS.
19. IF THE SITE INCLUDES A STORMWATER DETENTION POND OR A NORMALLY WET POND OR LAKE, SUBMITTAL OF A CERTIFICATE OF ELEVATION WILL BE REQUIRED.
N/A
20. RETAINING WALLS OVER FOUR FEET IN HEIGHT REQUIRE A SEPARATE RETAINING WALL PERMIT IN ACCORDANCE WITH THE CITY OF SANDY SPRINGS' DEVELOPMENT REGULATIONS SECTION 103-27(D) AND SECTION 103-107.
N/A
21. DRIVEWAY ENTRANCE TO BE IN ACCORDANCE WITH FULTON COUNTY STANDARD DETAIL 304.
N/A. EXISTING
22. IF THIS PROPERTY IS IN THE CITY OF SANDY SPRINGS' SIDEWALK NETWORK, PROVIDE A FIVE FOOT SIDEWALK WITH A TWO FOOT GROSS STRIP BETWEEN SIDEWALK AND CURB. PROVIDE CURB AND GUTTER IF NONE EXISTS, OR IF THE EXISTING CURB HEIGHT IF LESS THAN FIVE INCHES.
NO EXISTING SIDEWALK. NO PROPOSED SIDEWALK.
23. TWO DRIVEWAY ENTRANCES ARE ALLOWED ONLY ON SINGLE FAMILY RESIDENTIAL LOTS THAT FRONT ON LOCAL STREETS. THE DRIVEWAYS WILL REQUIRE SIGHT DISTANCE CERTIFICATION IN ACCORDANCE WITH THE CITY OF SANDY SPRINGS' DEVELOPMENT REGULATIONS SECTION 103-77(F).
N/A

24 HOUR EMERGENCY CONTACT: MATT HOOT 470-225-0545
GSWCC LEVEL 1A CERTIFICATION NUMBER: 0000070707

General Demolition Scope:

- BE ADVISED THIS IS NOT AN EXHAUSTIVE LIST OF DEMOLITION ITEMS. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND THE COMPLETE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. ANY QUESTIONS, CONCERNS, OR IDEAS CONCERNING THE INTENT OR EXECUTION OF THE DESIGN DOCUMENTS MUST BE BROUGHT TO THE OWNER BEFORE PERFORMING ANY CONSTRUCTION ACTIVITY.
1. PREPARE THE EXISTING HOUSE FOR PROPOSED ADDITION
 2. REMOVE THE REAR CONCRETE PATIO
 3. REMOVE THE WALKWAY ON THE REAR EAST AND FRONT EAST SIDE OF EXISTING HOUSE
 4. REMOVE THE EXISTING WALLS ON THE FRONT EAST SIDE OF THE HOUSE

REMOVAL WORK IN AREA OF CRITICAL ROOT ZONE OF EXISTING TREES TO BE DONE BY HAND OR HAND MACHINERY

General Notes:

1. TOPOGRAPHY IS BASED ON FIELD RUN DATA BY BOSTWICK, DUKE, HARPER & WORTHY INC. LAND SURVEYING ON SEPT 12, 2008.
2. NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
3. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
4. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
6. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

Storm Water Requirements:

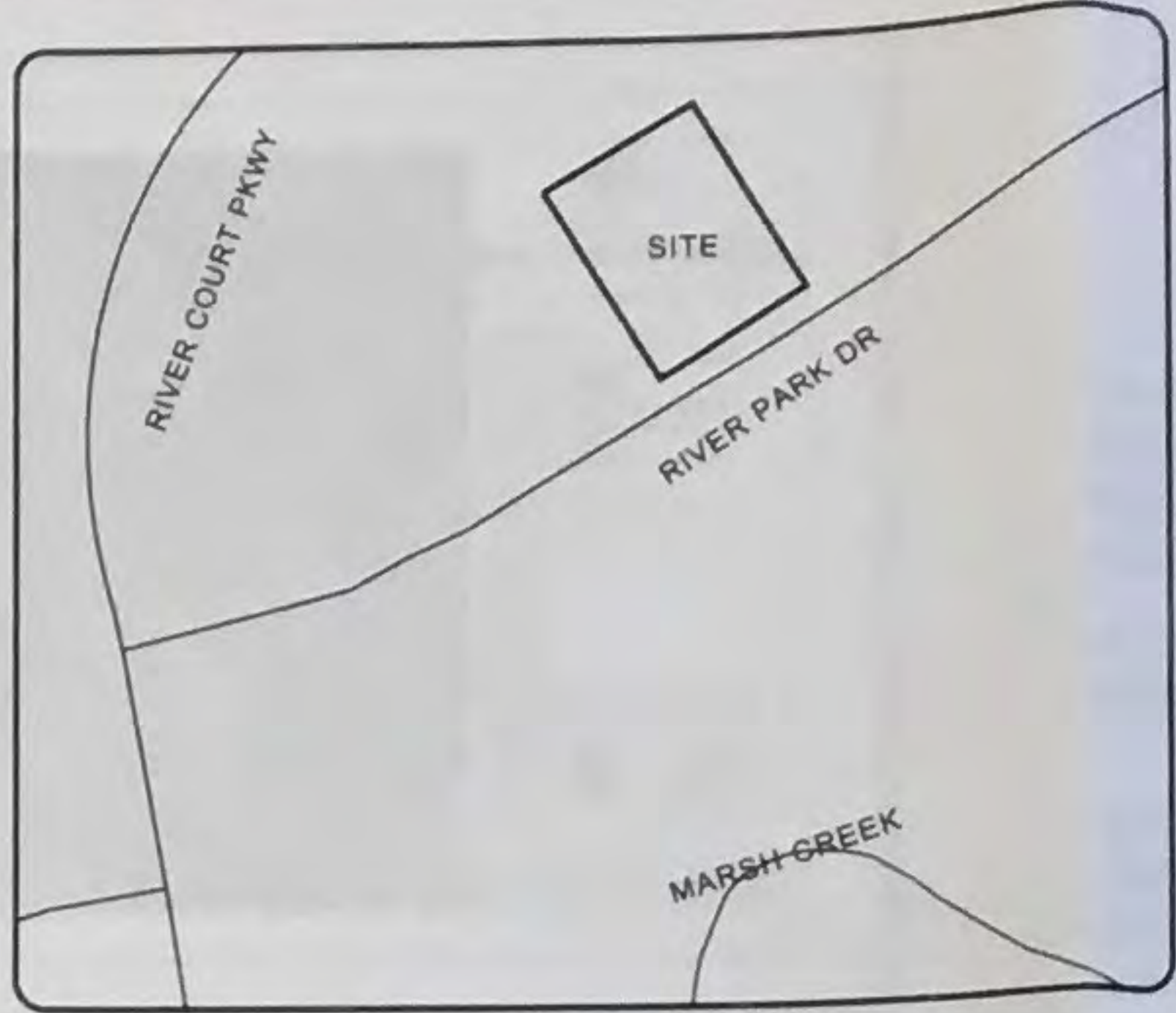
1. ARC APPROVAL, IF REQUIRED. **N/A**
2. LOCATION OF ANY CITY OF SANDY SPRINGS TRIBUTARY BUFFERS, OR STATE WATER BUFFERS, IF APPLICABLE. **N/A**
3. IF LAND DISTURBANCE IS 1,000 SQUARE FEET OR GREATER, PROVIDE STORMWATER MANAGEMENT FACILITIES THAT WILL PROVIDE STORMWATER STORAGE FOR 1.2 INCHES OF RUNOFF FROM ALL IMPERVIOUS SURFACES WITHIN THE SITE. CONFIGURE FACILITY SO THAT THE DESIGNED DISCHARGE DURATION OF THE WOV EXCEEDS 24 HOURS. VOIDS WITHIN STONE INFILTRATION TRENCHES OR SIMILAR SHALL BE CONSIDERED TO BE 40% OF STONE VOLUME. SHOW ON SITE PLAN THE LAYOUT AND DETAILS OF THE STORMWATER MANAGEMENT FACILITIES. PROVIDE SUPPORTING CALCULATIONS WITH THE SITE PLAN.
PROPOSED IMPERVIOUS IS 1,952 SQUARE FEET. SEE SHEET C-3.
4. WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
NEW GRADING DOESN'T AFFECT THE RUNOFF. NOTED ON PLAN SHEET C-2.
5. PROVIDE CALCULATIONS FOR WATER QUALITY. **ON SHEET C-3.**
6. PROVIDE TEST DATA TO INSURE THAT THE SOIL UNDERNEATH ALL WATER QUALITY DEVICES USING INFILTRATION HAS A MINIMUM 0.5 INCHES PER HOUR INFILTRATION RATE. **ON SHEET C-5.**
7. INFILTRATION TYPE BMPs SHOULD BE A MINIMUM OF 10 FEET AWAY FROM PROPERTY LINES AND/OR FOUNDATIONS AND A MINIMUM OF 20 FEET AWAY FROM SEPTIC SYSTEMS, SUBJECT TO FULTON COUNTY HEALTH DEPARTMENT APPROVAL. **N/A**
8. THE MODIFIED TAFT METHOD IS NOT ACCEPTABLE TO DETERMINE INFILTRATION RATES. A PERCOLATION TEST MAY BE USED TO OBTAIN INFILTRATION RATES PROVIDED IT IS PERFORMED USING THE "PORCHET METHOD". **N/A**
9. PROVIDE A GPS (GEORGIA STATE PLANE ZONE WEST) COORDINATE FOR EACH WATER QUALITY BMP ON THE SITE PLAN. **N/A**

Utility and Other Structures Requirements:

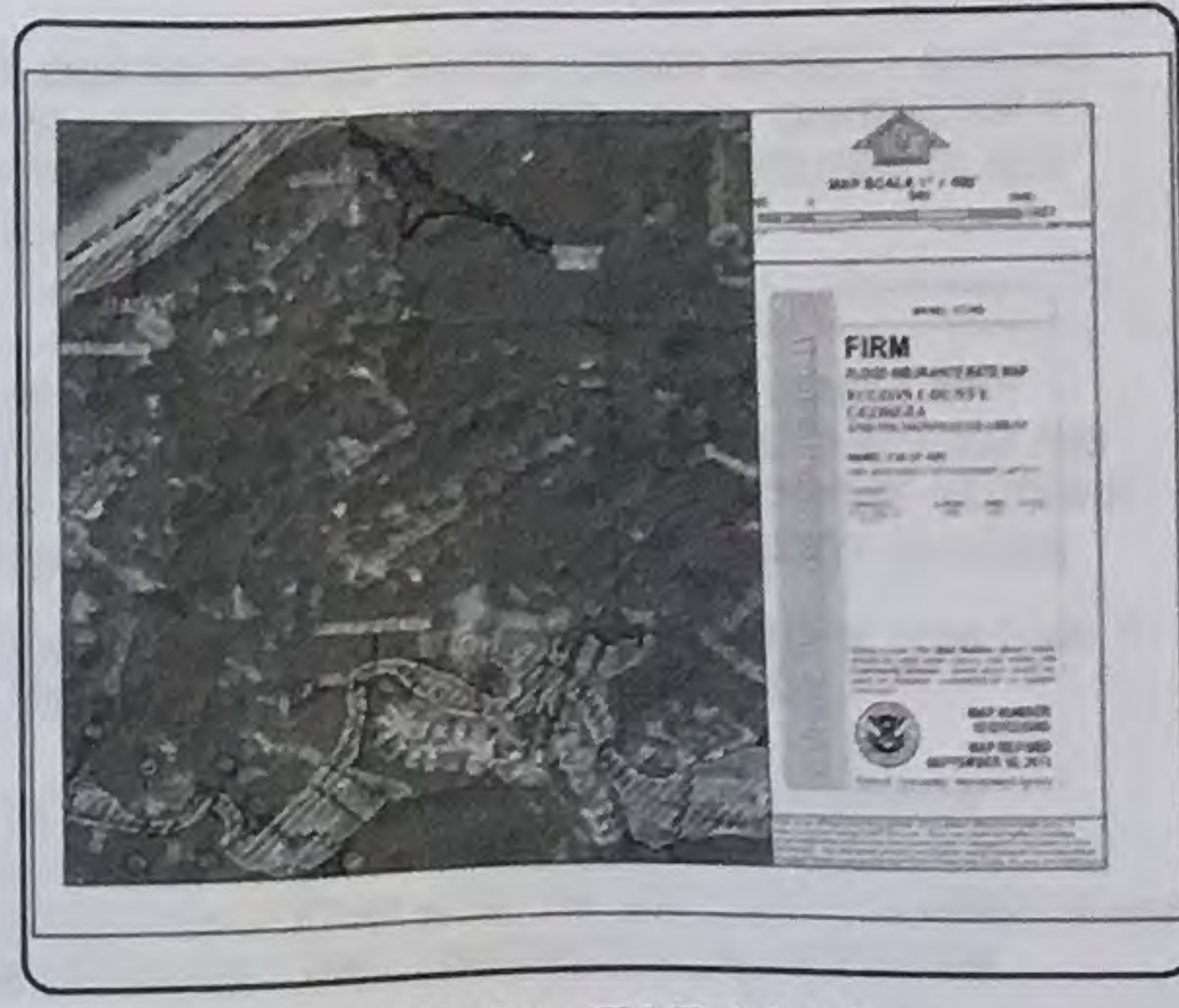
1. PROVIDE LOCATION OF EXISTING SANITARY SEWER LATERAL AND NOTE THAT IT IS TO BE RE-USED. IF A CLEANOUT DOES NOT EXIST IN ACCORDANCE WITH FULTON COUNTY STANDARD DRAWING NUMBER 711, SHOW ON PLAN WHERE ONE IS REQUIRED.
PROPOSED ADDITION DOES NOT REQUIRE SEWER CONNECTION.
2. PROVIDE SANITARY SEWER LINE FROM CLEANOUT TO HOUSE.
EXISTING SEWER LINE TO BE UTILIZED.
3. PROVIDE LOCATION OF EXISTING WATER METER AND NOTE THAT IT IS TO BE RE-USED.
EXISTING WATER METER TO BE UTILIZED.
4. PROVIDE WATER LINE FROM CLEANOUT TO HOUSE.
EXISTING WATER LINE TO BE UTILIZED.
5. IF A POOL IS PROPOSED, THE LOCATION OF THE POOL MUST BE SHOWN ON THE PLAN. PROVIDE DIMENSIONS RELATING THE POOL TO THE HOUSE, OTHER STRUCTURES, AND THE PROPERTY LINES. (NOTE: A POOL PERMIT WILL BE REQUIRED PRIOR TO SFSP APPROVAL. SEE POOL PERMIT CHECKLIST.)
NO POOL IS PROPOSED.
6. IF INSTALLATION OF A SEPTIC SYSTEM IS PROPOSED OR REQUIRED (INCLUDING REPLACEMENTS), THE LOCATION OF THE SYSTEM MUST BE SHOWN ON THE PLAN EXACTLY THE SAME AS THE APPROVED PLANS BY THE FULTON COUNTY HEALTH DEPARTMENT. PROVIDE DIMENSIONS RELATING THE SEPTIC TANK, FIELD LINES, DOSING TANKS (IF APPLICABLE), ETC. TO THE HOUSE, OTHER STRUCTURES AND THE PROPERTY LINES.
N/A
7. HEIGHTS OF ALL RETAINING WALLS WITH SPOT ELEVATIONS ALONG WALL AT TOP AND BOTTOM. WALL HEIGHTS BETWEEN 4 AND 6 FEET WILL REQUIRE AN EXECUTED OWNER CERTIFICATION / INDEMNIFICATION FOR RETAINING WALLS. FOR WALL HEIGHTS 6 FEET AND OVER, PLANS MUST BEAR A STATE OF GEORGIA PROFESSIONAL ENGINEER SEAL SIGNED AND DATED, AND AN EXECUTED ENGINEER CERTIFICATION / INDEMNIFICATION FOR RETAINING WALLS.
THERE ARE NO PROPOSED WALLS ONSITE.
8. IF A FENCE IS PROPOSED, THE LOCATION OF THE FENCE MUST BE SHOWN ON THE PLAN. PROVIDE DIMENSIONS RELATING THE FENCE TO THE HOUSE, OTHER STRUCTURES, AND THE PROPERTY LINES. (NOTE: A FENCE PERMIT MAY BE REQUIRED PRIOR TO SFSP APPROVAL).
N/A

Zoning Requirements:

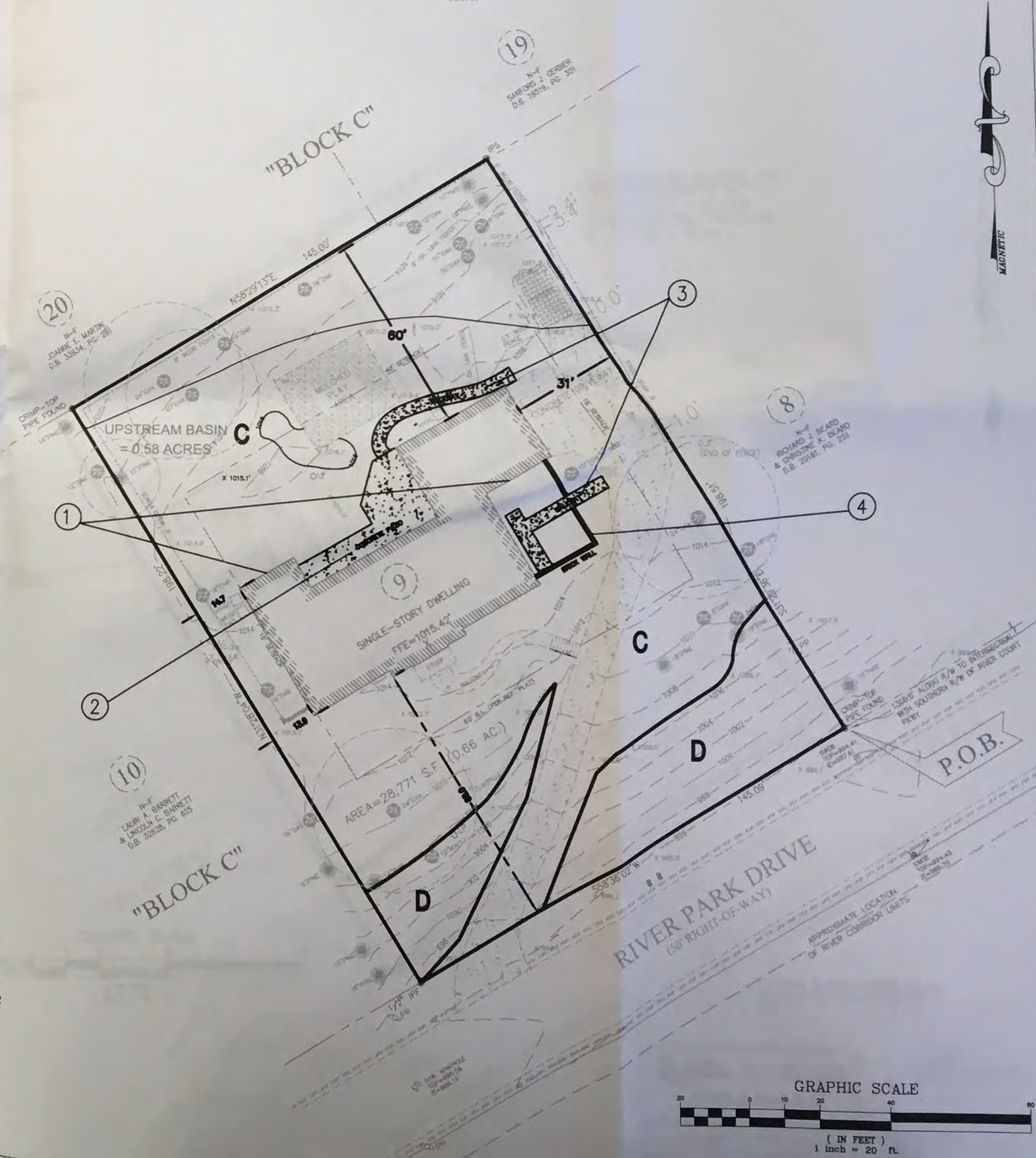
ZONING: R-2A (SINGLE FAMILY DWELLING DISTRICT)
MAX BUILDING HEIGHT = NO HIGHER THAN 40 FT
ALL SETBACKS SHOWN FROM CLOSEST POINT
FRONT = 60 FT
SIDE = 15 FT (ADJACENT TO INTERIOR LOT LINE)
30 FT (ADJACENT TO STREET)
REAR = 40 FT
BUFFERS = NONE
MIN LOT AREA = 27,000 SF
MIN LOT WIDTH = 120 FT
MIN LOT FRONTAGE = 35 FT ADJOINING A STREET
MIN HEATED FLOOR AREA = 1,700 SQ FT ADJOINING ON GROUND LEVEL FOR LESS THAN 2 STORIES, 1,800 SQ FT FOR 2 STORIES OR MORE 2 STORIES WITH 1,050 SQ FT ON THE GROUND FLOOR.
OFF STREET PARKING = 2 PER DWELLING UNIT



Location Map
N.T.S.



FEMA F.I.R.M Map



Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC;**
211 Fraser Street
Marietta, Georgia 30060
678-324-8410
www.crescentvieweng.com

Prepared For
Sawhorse Design & Build
690 Miami Circle Suite 700
Atlanta, GA 30324

Existing Conditions/Demolition					REVISIONS	
DATE	SCALE	AS SHOWN	PZ	CHECKED	DATE	BY
8-30-17						



Construction Plans for
105 River Park Drive
Land Lots 127, 17th District
City of Sandy Springs, Fulton County, Georgia

Site Notes:

- THE SITE CONTAINS: 0.66 ACRES 28,771 SQ. FT.
TOTAL DISTURBED AREA: 0.11
STREET ADDRESS: 710 BROOKWOODS TRAIL, SANDY SPRINGS, GA 30342
ZONING: R-2A (SINGLE FAMILY DWELLING DISTRICT)
MAX BUILDING HEIGHT = NO HIGHER THAN 40 FT
LOT AREA = 27,000 SQ. FT.
LOT WIDTH = 120 FT
FRONT = 60 FT
SIDE = 15 FT ADJ TO INTERIOR LOT LINE 30 FT ADJ TO STREET
REAR = 40 FT
- SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY BOSTWICK, DUKE, HARPER & WORTHY INC. LAND SURVEYING, DATED SEPT 12, 2008.
- NO PORTION OF THIS SITE IS LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121G0134 G DATED SEPTEMBER 10, 2013 FOR FULTON COUNTY, GEORGIA AND INCORPORATED AREAS.
- THE HOUSE FOOTPRINT IS PER THE ARCHITECTURAL DRAWINGS AND REPRESENT THE OUTSIDE EDGE OF THE VENEER. THE FOOTPRINT DOES NOT REPRESENT THE ROOF GUTTER LINE OR THE OUTSIDE EDGE OF THE FOOTINGS.
- THESE DRAWINGS AND THEIR REPRODUCTIONS ARE THE PROPERTY OF THE ENGINEER, AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS ENGINEER.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON LAYOUT BY A REGISTERED LAND SURVEYOR THAT WILL ENSURE THE STRUCTURE IS BUILT WITHIN THE SETBACK LINES.
- THIS PLAN DOES NOT CONSTITUTE AN APPROVAL OF A RETAINING WALL DESIGN.
- CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE.
- OWNER TO EXECUTE AN AGREEMENT FROM CITY OF SANDY SPRINGS COMMUNITY DEVELOPMENT BEFORE ANY DECK STRUCTURES CAN BE BUILT IN ANY PRIVATE EASEMENTS.
- THE HOUSE SHALL BE CONSTRUCTED OF MATERIALS CONSISTING OF BRICK, ROCK, TRUE STUCCO, CEMENTOUS PLANKS, AND CEMENTOUS SHANKS.

City of Sandy Springs Notes:

- THIS SITE IS APPROXIMATELY 1,700 FT AWAY FROM THE CHATTAHOOCHEE RIVER. THEREFORE, THIS PROPERTY IS INSIDE THE 2000 FT CORRIDOR.
- THIS PROPERTY IS NOT LOCATED IN ANY OVERLAY DISTRICT
- THERE IS AN EXISTING STRUCTURES ON SITE.
- BUILDING HEIGHT SHALL NOT EXCEED 40 FT
- NEW WALL HEIGHTS BETWEEN 4 AND 6 FT WILL REQUIRE A WALL INDEMNIFICATION AGREEMENT FROM THE OWNER/BUILDER OR PLANS BEARING A PROFESSIONAL SEAL AND SIGNATURE OF AN ENGINEER HAVING REGISTRATION ON THE STATE OF GEORGIA. FOR WALL HEIGHTS 6 FT AND OVER, PLANS MUST BEAR A PROFESSIONAL SEAL AND SIGNATURE OF AN ENGINEER HAVING REGISTRATION IN GEORGIA, BY OTHERS.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.

MRPA Vulnerability Chart:

MRPA Vulnerability Calculation		
Area No.	C	D
Total Area	24,873	3,898
Impervious Max Percentage	45%	30%
Impervious Allowable	11,193	1,169
New Impervious Area	9,158	0
Disturbed Max Percentage	70%	50%
Disturbed Allowable	17,411	1,949
New Disturbed Area	16,340	0

I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION

CERTIFIED BY George H. Baltz III 8-30-17
DATE

24 HOUR EMERGENCY CONTACT: MATT HOOT 470-225-0545
GSWCC LEVEL 1A CERTIFICATION NUMBER: 0000070707

Construction Narrative:

THE PROPOSED PLAN CALLS FOR THE CONSTRUCTION OF A NEW ADDITION ON THE FRONT RIGHT SIDE AND ON THE REAR LEFT SIDE OF THE EXISTING BUILDING. ALSO, ADDING NEW REAR PATIO AND STEP PADS IN THE REAR TO A SINGLE FAMILY HOME.

Lot Coverage:

Proposed Impervious Area	SF
EXISTING HOUSE	3705
EXISTING DRIVEWAY	3179
EXISTING FRONT WALKWAY, STAIRS	225
EXISTING FRONT STUCCO	60
EXISTING HVAC AND MECH PAD	27
EXISTING WALLS TO REMAIN	10
PROPOSED REAR PATIO	396
PROPOSED REAR CONCRETE PADS	54
PROPOSED ADDITION	1512
Proposed Impervious Area - TOTAL	9158
Lot Coverage	31.83%

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR FOR EFFECTIVE EROSION IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

CONTACT THE CITY OF SANDY SPRINGS' DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL ON LINE TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY.

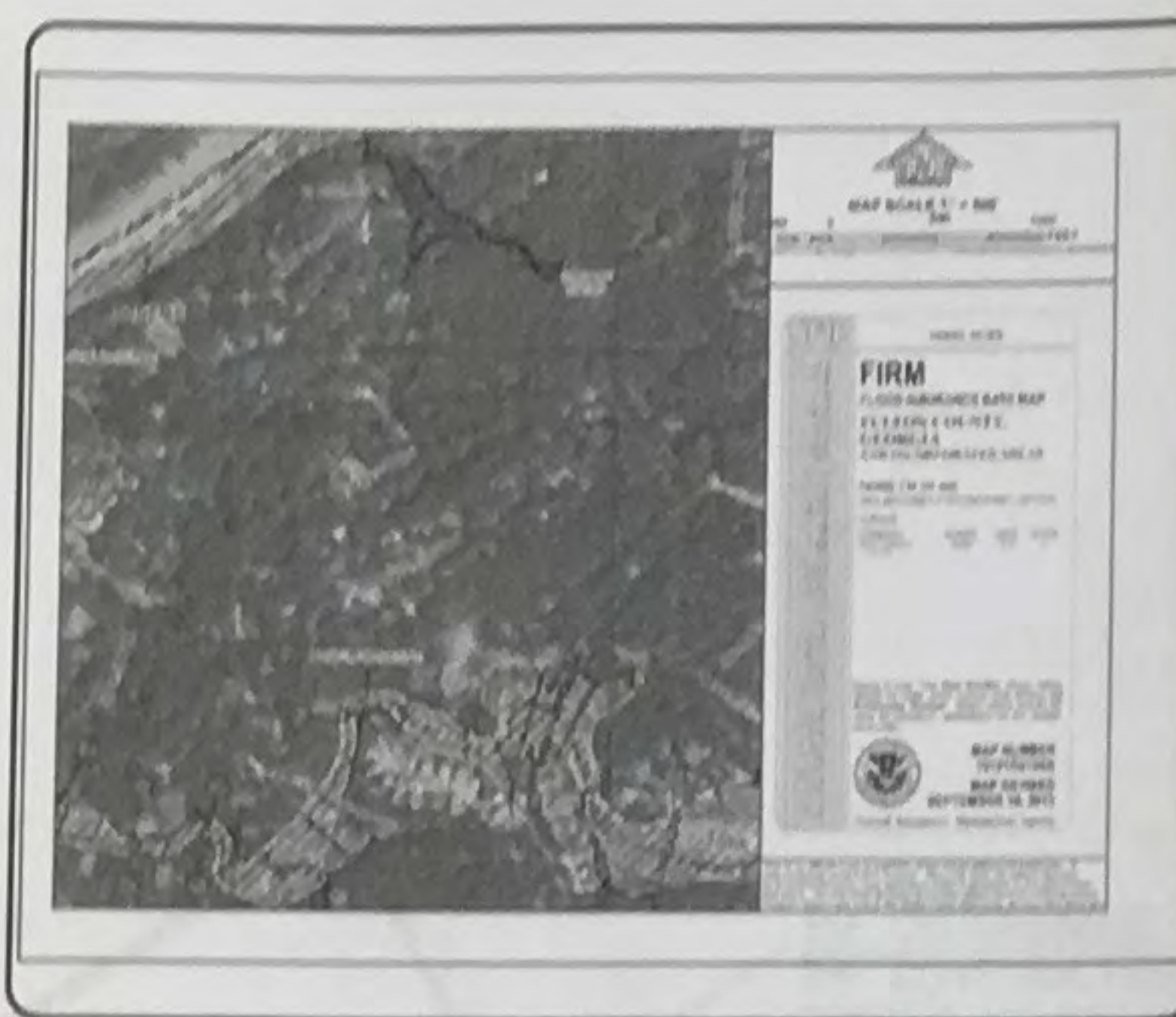
TOTAL SITE AREA = 0.66 ACRES
TOTAL PROPOSED DISTURBED AREA = 0.11 ACRES (FOR PROPOSED ONSITE WORK)

Construction Activity Schedule

REGULATION OF INITIAL EROSION CONTROL & TREE PROT. MEASURES
CONSTRUCT TEMP. BMP'S
GRADING OPERATIONS / ADDITION CONSTRUCTION
TEMPORARY GRASSING
MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES
FINAL LANDSCAPING, GRASSING, ETC.
BMP REMOVAL

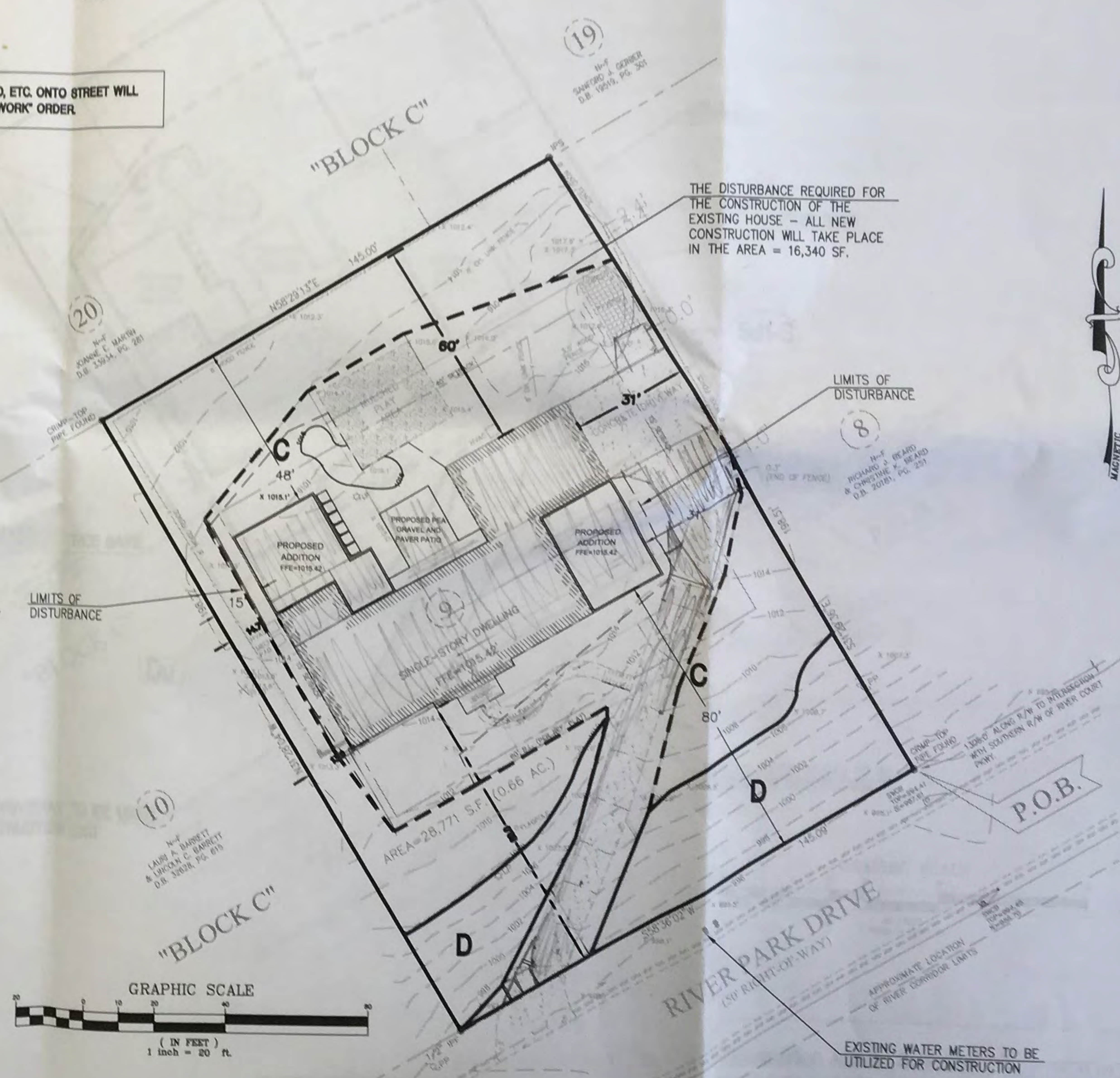


Location Map
NTS.



FEMA F.I.R.M Map

ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL
RESULT IN AN IMMEDIATE "STOP WORK" ORDER



GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
GEORGE H. BALTZ III
CERTIFICATION NUMBER: 0000045830
ISSUED: 08/25/2007 EXPIRES: 08/25/2019
NUMBER

SIGNED George H. Baltz III
EXPIRATION 8-25-18
NUMBER

Prepared By:
CRESCENT VIEW
ENGINEERING, LLC
211 Fraser Street
Marietta, Georgia 30060
678-324-8410
www.crescentvieweng.com

Prepared For
Sawhorse Design & Build
690 Miami Circle Suite 700
Atlanta, GA 30324

Site Plan

DATE: 8-30-17
SCALE: AS SHOWN
DRAWN: PZ
CHECKED: GHB

Construction Plans for
105 River Park Drive
Land Lots 127, 17th District
City of Sandy Springs, Fulton County, Georgia

CVE File # 17-272
Sheet No.
C-1

Grading Notes:

1. EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
2. INITIAL BMP'S MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. SEDIMENT BMP'S MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
3. MAXIMUM GRADED SLOPES ALLOWED 2H:1V.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
6. CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
7. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
8. ALL STORMWATER INFRASTRUCTURE ON THIS SITE (OUT OF THE R/W) ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.
9. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
10. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES SHOWN TO BE PRESERVED.
11. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY (ONSITE AND OUTSIDE OF THE STREAM BUFFERS). CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES, (ONSITE AND OUTSIDE OF THE STREAM BUFFERS).
12. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
13. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND COUNTY STANDARDS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
15. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
16. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
17. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SOIL COMPACTION ON SITE. THE SOIL COMPACTION IS TO BE AT THE CONTRACTOR'S SPECIFICATIONS FOR THE LOT. THE CIVIL ENGINEER IS NOT RESPONSIBLE FOR ANY COMPACTION REQUIREMENTS OR RESULTS ON THE SITE.

ES&PC Notes:

1. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOW OF MUD ONTO PUBLIC STREETS.
2. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
4. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SEDIMENT PONDS ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
6. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
7. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN 14 DAYS.
8. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
9. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS.
10. PERSON RESPONSIBLE FOR EROSION CONTROL MEASURES IS: 24 HOUR EMERGENCY CONTACT: ZVI BEKERMANN 404-354-8806
11. CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
12. SEDIMENTATION & EROSION CONTROL MEASURES TO BE INSPECTED DAILY.
13. EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL, AND SHALL COMPLY WITH THE STANDARDS/SPECIFICATIONS IN "THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
14. SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE THIRD THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.
15. BUILDUP TO VERIFY ALL ELEVATIONS BEFORE ANY CONSTRUCTION.
16. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
17. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
18. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS. THE EROSION CONTROL MEASURE CAN BE DESIGNED BY A LEVEL 19 (BLUE CARD) GSWCC CERTIFIED CONTRACTOR, UNLESS THE BMP HAS A HYDRAULIC COMPONENT. FOR ALL BMP DESIGN WITH A HYDRAULIC COMPONENT, THE BMP MUST BE DESIGNED BY A LEVEL 2 (GOLD CARD) GSWCC CERTIFIED DESIGNER.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR FOR EFFECTIVE EROSION IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

SYMBOL	DESCRIPTION
	BENCHMARK WITH TOPOGRAPHIC DATUM
	FINISHED SPOT ELEVATION
	STRUCTURE IDENTIFICATION THE FIRST TWO LETTERS ABBREVIATE THE STRUCTURE TYPE. THE NUMBER IDENTIFIES THE STRUCTURE. SEE PROFILE SHEET FOR DETAILS.
	FINISHED CONTOUR ELEVATION
	EXISTING CONTOUR ELEVATION
	SURFACE DRAINAGE DIRECTION

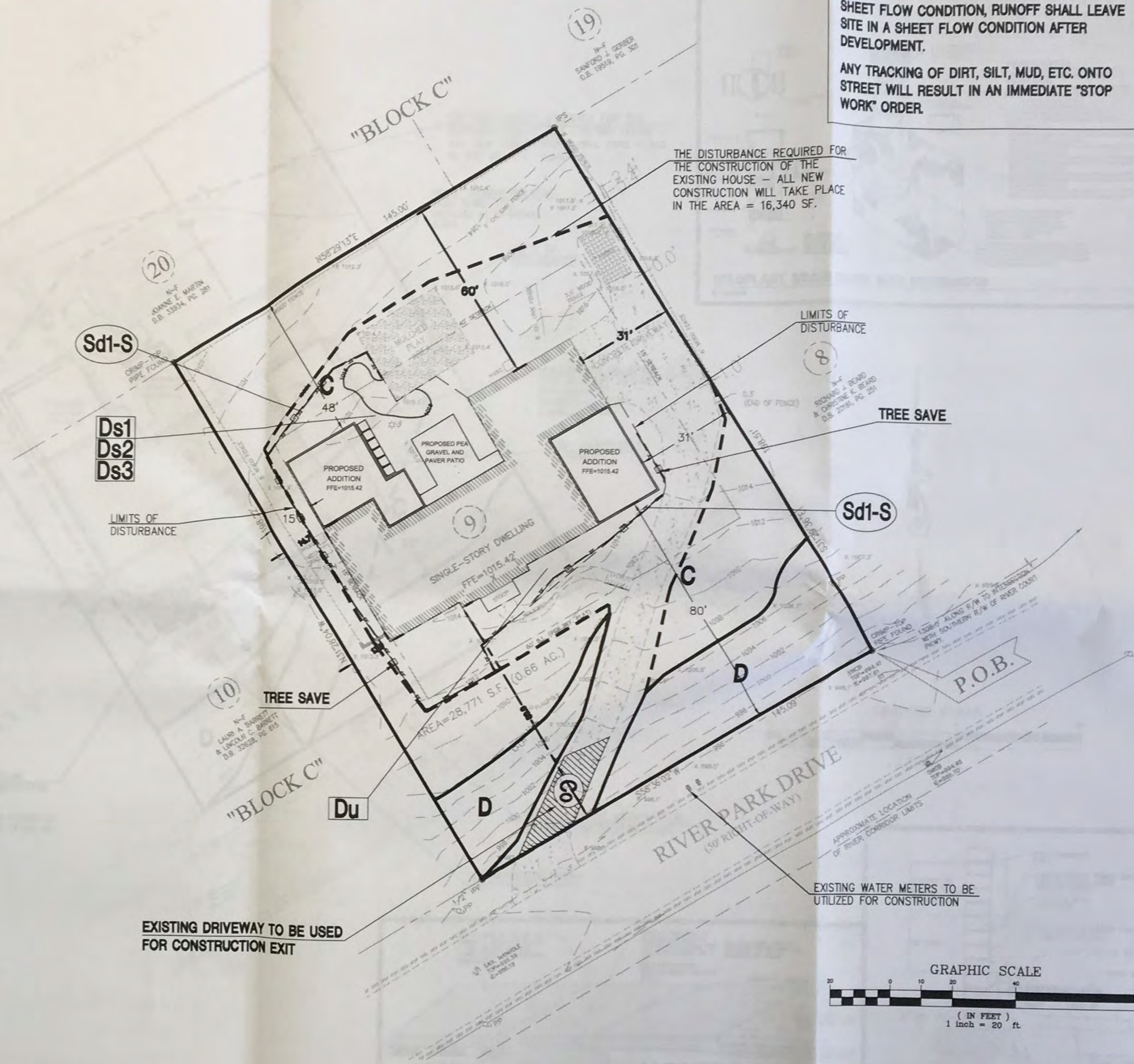
Sediment Storage Calculations:

SILT FENCE PROVIDED = 256 LINEAR FEET
 SEDIMENT STORAGE REQUIRED = 7.58 CU YD
 SEDIMENT STORAGE PROVIDED = 12.80 CU YD



Know what's below.
Call before you dig.

24 HOUR EMERGENCY CONTACT: MATT HOOT 470-225-0545
 GSWCC LEVEL 1A CERTIFICATION NUMBER: 0000070707



WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.

ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE 'STOP WORK' ORDER.

THE DISTURBANCE REQUIRED FOR THE CONSTRUCTION OF THE EXISTING HOUSE - ALL NEW CONSTRUCTION WILL TAKE PLACE IN THE AREA = 16,340 SF.

LIMITS OF DISTURBANCE

TREE SAVE

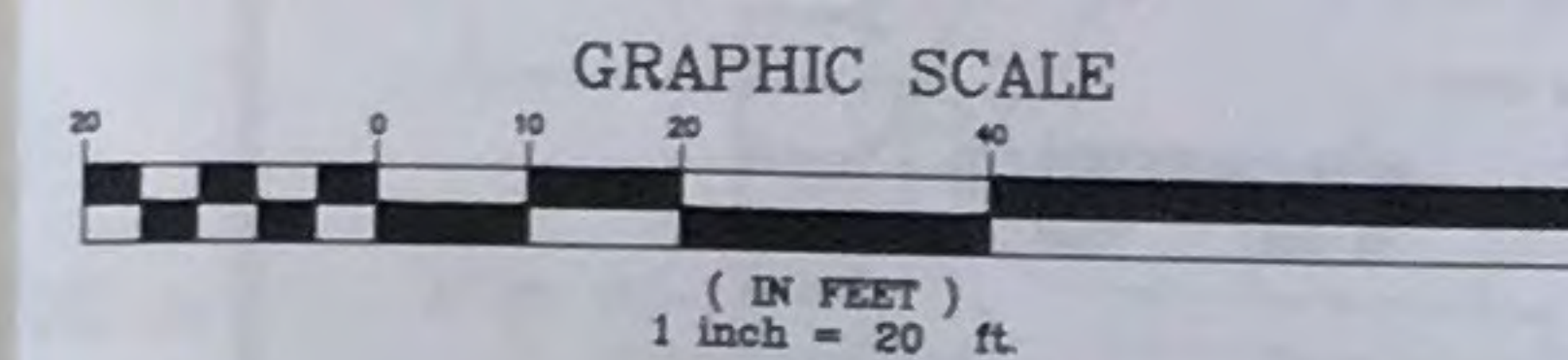
Sd1-S

TREE SAVE

Du

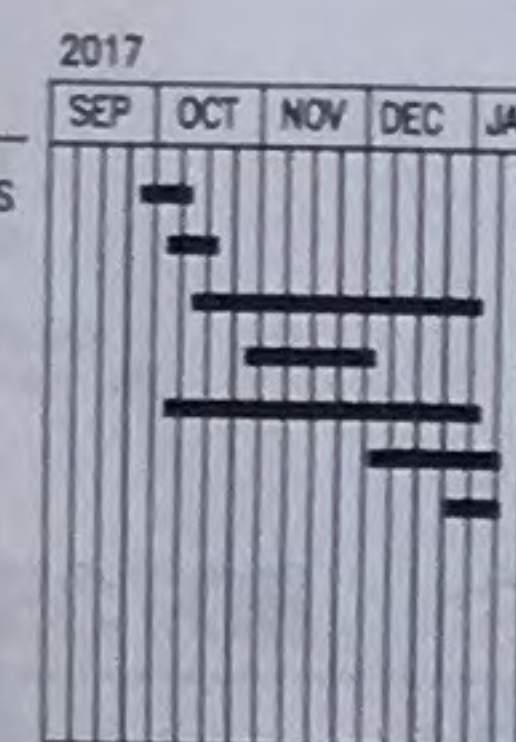
EXISTING DRIVEWAY TO BE USED FOR CONSTRUCTION EXIT

EXISTING WATER METERS TO BE UTILIZED FOR CONSTRUCTION



Construction Activity Schedule

INSTALLATION OF INITIAL EROSION CONTROL & TREE PROT. MEASURES
 CONSTRUCT TEMP. BMP'S
 GRADING OPERATIONS
 TEMPORARY GRASSING
 MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES
 FINAL LANDSCAPING, GRASSING, ETC.
 BMP REMOVAL

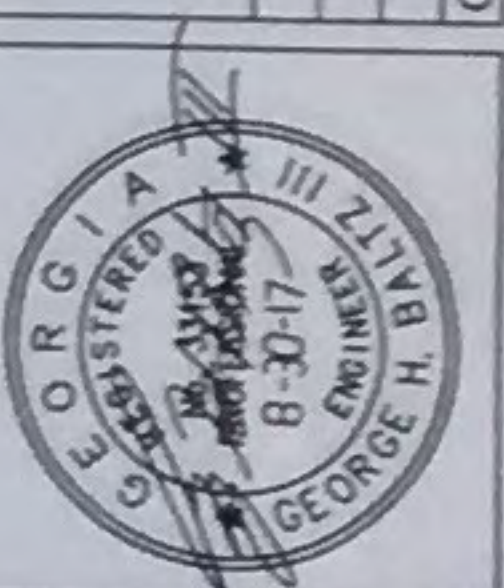


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Prepared For
Sawhorse Design & Build
680 Miami Circle Suite 700
Atlanta, GA 30324

ES&PC plan

DATE	SCALE	AS SHOWN	REVISIONS
8-30-17	AS SHOWN	PZ	GHV
DRAWN			
CHECKED			



Construction Plans for
105 River Park Drive
Land Lots 127, 17th District
City of Sandy Springs, Fulton County, Georgia

CVE Pl# 17-272

Sheet No.
C-2

Lot Coverage:

Proposed Impervious Area	
EXISTING HOUSE	SF
EXISTING DRIVEWAY	3705
EXISTING FRONT WALKWAY, STAIRS	3179
EXISTING FRONT STOOP	225
EXISTING HVAC AND MECH PAD	60
PROPOSED REAR PATIO	27
PROPOSED REAR CONCRETE PADS	386
PROPOSED ADDITION	54
Proposed Impervious Area - TOTAL	1512
Lot Coverage	9148
	31.80%

NOTE: NEW IMPERVIOUS TOTAL = 386 + 54 + 1,512 = 1,952 SQFT

Water Quality Calculations Per GSWMM

Water Quality Volume	Drainage Basin =	0.58	Acres	
	Impervious Area =	0.04	Acres	
	I = % impervious =	8	%	1952 sf of new impervious
$R_v = 0.05 + I \cdot (0.009)$	$R_v =$	0.122		
$WQ_v = 1.2 \cdot R_v \cdot (DA^{.4356})^{.12}$	$WQ_v =$	308	cu. ft.	

Stone Storage Infiltration Trench Calculations

Required Water Quality Volume = 308 CF

All WQ Volume to be provided in Infiltration Trench w/ 40% void Ratio

Required WQ Volume / 0.40 = 770.6 CF

Infiltration Trench Calculations

Length = 18.0 FT

Width = 12.0 FT

Height = 4.0 FT

Required Volume = 770.6 CF

Provided Volume = 864.0 CF

Provided Volume is Greater than Required Volume

Water Quality Description.

TOTAL PROPOSED IMPERVIOUS AREA OF TREATED SITE = 1,952 SQUARE FEET. THE REQUIRED WATER QUALITY VOLUME = 1.2" OF 1,952 SQUARE FEET OR 308 CUBIC FEET. THE WATER QUALITY TO BE PROVIDED IN AN UNDERGROUND STONE STORAGE TRENCH LOCATED IN THE FRONT OF THE PROPERTY. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO). THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH (WITH THE STONE) IS 770.6 CUBIC FEET. THE WATER QUALITY VOLUME PROVIDED BY THE TRENCH IS 864.0 CUBIC FEET. THE TRENCH EXCEEDS THE REQUIRED WATER QUALITY VOLUME. THE STORAGE STRUCTURE SHOULD BE LOCATED IN A LAWN OR OTHER PERVIOUS AREAS AS SHOWN ON THIS PLAN.

THIS PRODUCT STORES THE FIRST 1.2 INCH OF STORMWATER FROM A RAIN EVENT ONSITE AND PROMOTES GROUNDWATER RECHARGE. A SIMILAR PRODUCT THAT PROVIDES SIMILAR STORAGE IS ACCEPTABLE.

Stone Trench Installation Notes

VEGETATION
THE LANDSCAPED AREA ABOVE THE SURFACE OF TRENCH CAN BE LANDSCAPED WITH SOD OR MAY BE COVERED WITH AN ENGINEERED SOIL MIX, AND PLANTED WITH MANAGED TURF OR OTHER HERBACEOUS VEGETATION. THE STONE STORAGE IS FOR STORAGE ONLY AND CAN BE GRADED ABOVE PER THE GRADING PLAN WITH A MINIMUM COVER OF 6".

MAINTENANCE
MONTHLY

- ENSURE THAT CONTRIBUTING AREA, FACILITY AND INLETS ARE CLEAR OF DEBRIS.
- ENSURE THAT THE CONTRIBUTING AREA IS STABILIZED.
- REMOVE SEDIMENT AND OIL/GREASE FROM PRETREATMENT DEVICES, AS WELL AS OVERTFLOW STRUCTURES.
- MOW GRASS FILTER STRIPS SHOULD BE MOWED AS NECESSARY. REMOVE GRASS CLIPPINGS.

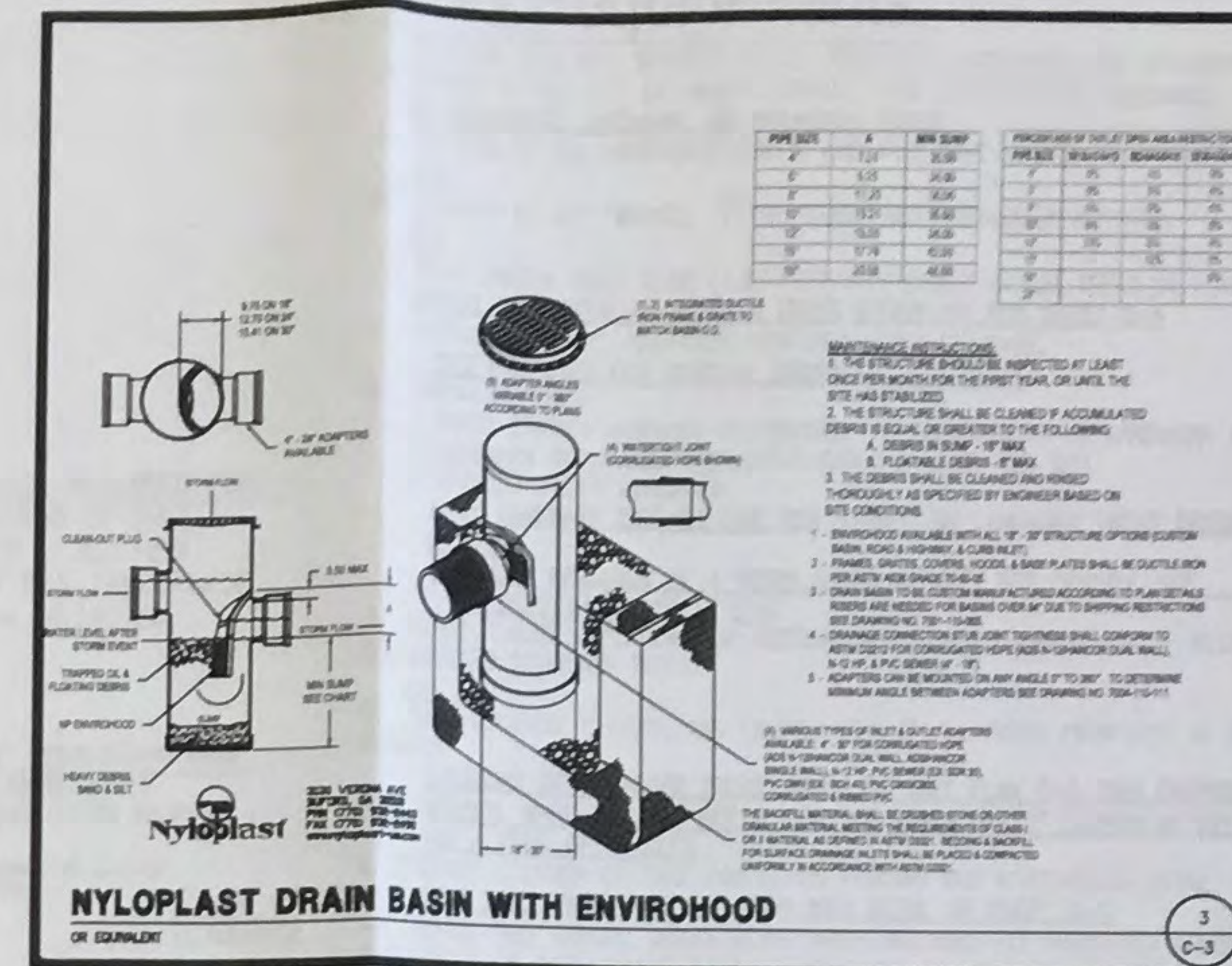
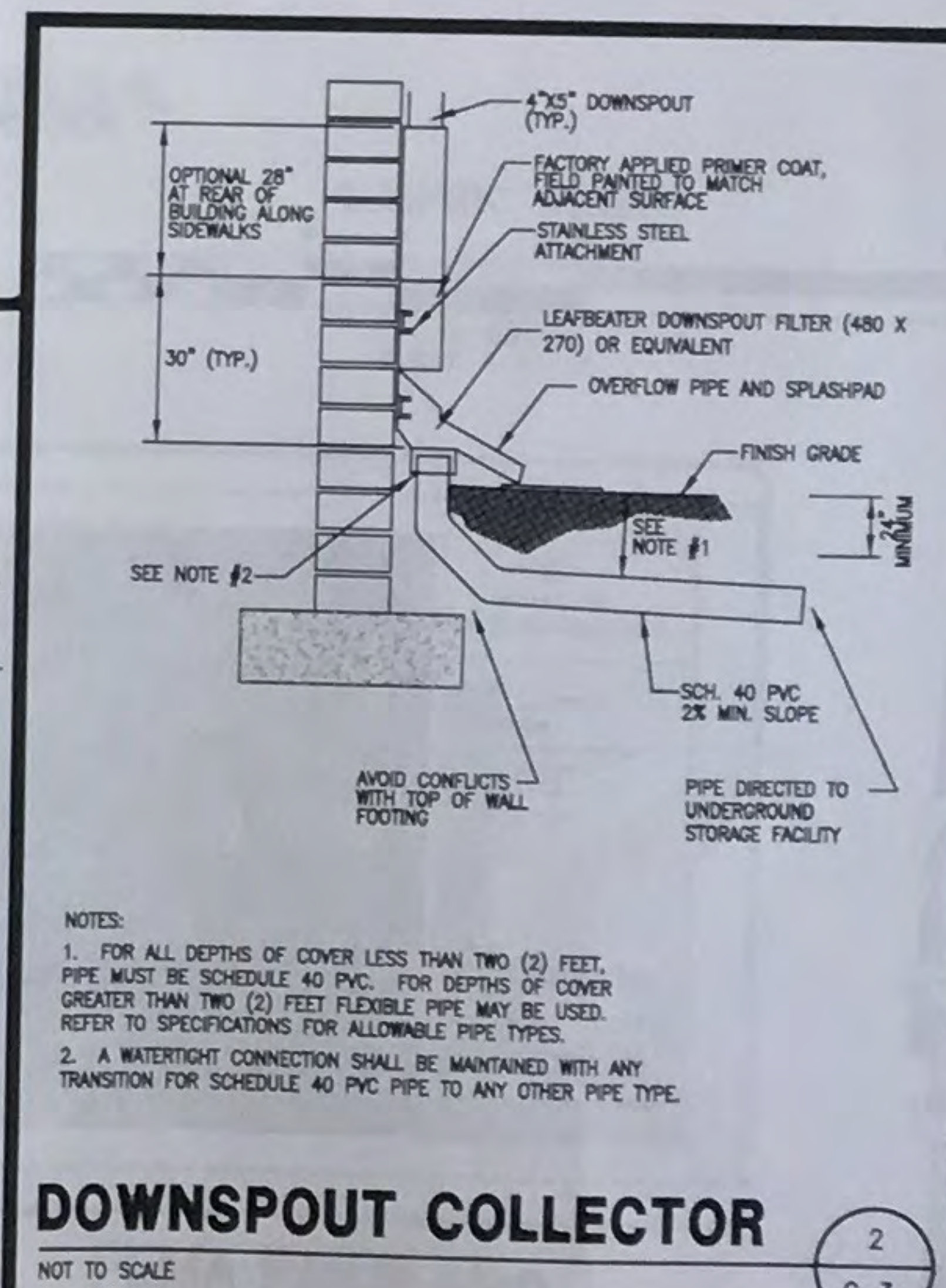
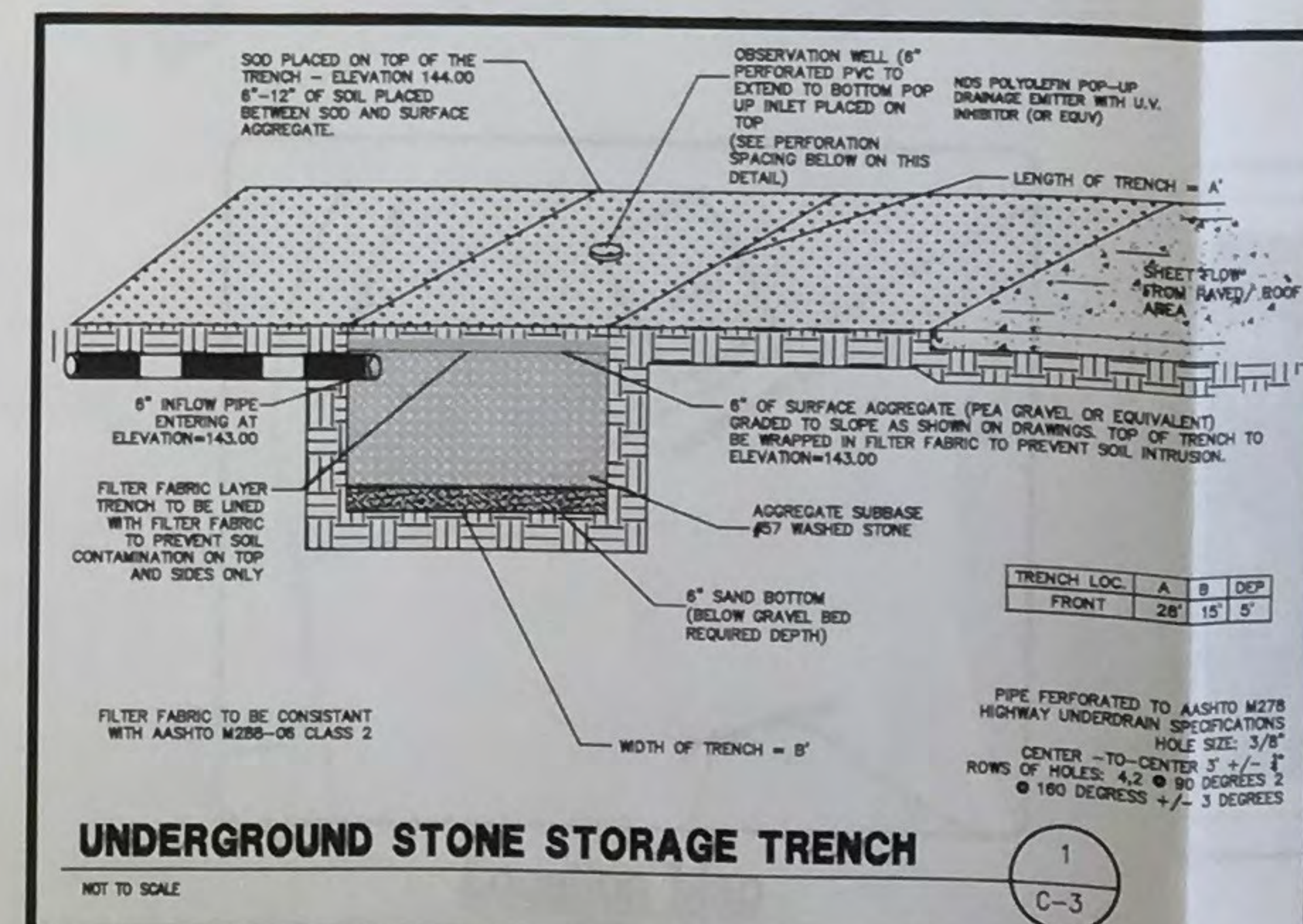
SEMIANNUAL INSPECTION

- CHECK OBSERVATION WELLS FOLLOWING 3 DAYS OF DRY WEATHER. FAILURE TO PERCOLATE WITHIN THIS TIME PERIOD INDICATES CLOGGING.
- INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE.
- REMOVE TREES THAT START TO GROW IN THE VICINITY OF THE TRENCH. REPLACE PEA GRAVEL/TOPSOIL/GRASSING AND TOP SURFACE FILTER FABRIC (WHEN CLOGGED).

AS NEEDED

- PERFORM TOTAL REHABILITATION OF THE TRENCH TO MAINTAIN DESIGN STORAGE CAPACITY.
- EXCAVATE TRENCH WALLS TO EXPOSE CLEAN SOIL UPON FAILURE.

24 HOUR EMERGENCY CONTACT: MATT HOOT 470-225-0545
GSWCC LEVEL 1A CERTIFICATION NUMBER: 0000070707



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Prepared For
Sawhorse Design & Build
690 Miami Circle Suite 700

Stormwater Plan

DATE	8-30-17	REVISIONS	
SCALE	AS SHOWN		
DRAWN	PZ		



Construction Plans for
105 River Park Drive
Land Lots 127, 17th District
City of Sandy Springs, Fulton County, Georgia

CVE PI #	17-272
----------	--------

Sheet No.
C-3

1. CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT AT (770)730-5660 TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION, OR DEMOLITION.

2. CANOPY COVERAGE - EXISTING/PROPOSED TO REMAIN
- NOTE - SPECIFIC SPECIES WERE NOT PROVIDED BY SURVEY, THEREFORE THE SMALLER CANOPY COVERAGE FOR TREE TYPE HARDWOOD AND POPLAR WAS SELECTED TO PROVIDE A CONSERVATIVE ESTIMATION, WITH EXCEPTION OF LANDMARK TREES, WHICH WERE GIVEN THE 1000 SF CANOPY COVERAGE ESTIMATION.
- | | |
|--|--------------|
| (1) LANDMARK HARDWOOD TREE AT 1000 SQFT EACH | = 0 SQFT |
| (4) NON-LANDMARK HARDWOOD TREES AT 500 SQFT EACH | = 3,500 SQFT |
| (6) PINE TREES AT 1000 SQ FT EACH | = 3,000 SQFT |

= 6,500 SQFT TOTAL EXISTING CANOPY TO REMAIN

- REMOVAL OF ZERO (0) SPECIMEN TREES = 0 SF OF EXISTING CANOPY TO BE REMOVED.
REQUIRED RECOMPENSE/REPLACEMENT = PER CITY ARBORIST, REQUIRED REPLACEMENT IS TWO (2) LARGE REPLACEMENT TREES/2,000 SF CANOPY PER EACH LANDMARK TREE REMOVED
0 LANDMARK TREES TO BE REMOVED = 0 LARGE REPLACEMENT TREES/ 2,000 SQ FT OF REPLACEMENT CANOPY REQUIRED
REPLACEMENT TREES/ REPLACEMENT CANOPY COVERAGE:
= 0 SQFT PROPOSED CANOPY

TOTAL PROPOSED CANOPY
 PROPOSED EXISTING CANOPY TO REMAIN = 6,500 SQFT
PROPOSED RECOMPENSE/REPLACEMENT CANOPY = 4,000 SQFT
 TOTAL PROPOSED CANOPY (EXISTING + PROPOSED REPLACEMENT) = 10,500 SQ FT
 REQUIRED CANOPY = 10,070 SQFT (REQUIREMENT MET)

TOTAL SITE AREA = 0.66 ACRES

TOTAL PROPOSED DISTURBED AREA = 0.11 ACRES (FOR PROPOSED ONSITE WORK)

DEFINITIONS OF THE CATEGORIES ABOVE, PROVIDED BY CITY OF SANDY SPRINGS

BOUNDARY TREE - A TREE 10 INCHES (DBH) OR LARGER LOCATED ON A PROPERTY ADJACENT TO PERMITTING PROPERTY, WHOSE CRITICAL ROOT ZONE OR CANOPY EXTENDS INTO THAT PERMITTING PROPERTY.

"SETBACK TREE" - A TREE 18 INCHES (DBH) OR LARGER LOCATED IN THE MINIMUM REQUIRED YARDS/SETBACKS OF ANY PROPERTY

"LANDMARK TREE" -

- (1)-HARDWOOD TREE 27 INCHES (DBH) OR LARGER;
(2)-PINE TREE 30 INCHES (DBH) OR LARGER, PROVIDED THAT SAID PINE TREE IS NOT LOCATED WITHIN 30 FEET OF ANY STRUCTURE; OR
(3)-DOGWOOD OR REDBUD TREE TEN INCHES (DBH) OR LARGER BEING IN FAIR OR BETTER CONDITION.

"PROTECTED TREE" - A TREE 18 INCHES (DBH) OR LARGER, OTHER THAN A LANDMARK TREE OR BUFFER TREE, IN FAIR OR BETTER CONDITION.

NOTE - THE TREE INVENTORY IS PER DEFINITIONS PROVIDED BY CITY OF SANDY SPRINGS TREE ORDINANCE TREES 18 INCHES AND LARGER

AREA	DBH (IN INCHES)	TYPE	REMOVE	ONSITE	SETBACK TREE	BOUNDARY TREE	LANDMARK TREE	PROTECTED TREE
ONSITE	18	PINE		Y	Y			
ONSITE	18	OAK		Y	Y			
ONSITE	24	OAK		Y	Y			
ONSITE	20	OAK		Y	Y			
ONSITE	19	OAK		Y	Y			
ONSITE	24	OAK		Y	Y			
ONSITE	18	PINE		Y	Y			
ONSITE	18	PINE		Y	Y			
ONSITE	24	OAK		Y	Y			
ONSITE	24	OAK		Y	Y			
ONSITE	18	FRUIT	Y					

NOTE: EXISTING CANOPY IS ONLY CALCULATED FROM EXISTING TREES TO REMAIN THAT ARE 18" OR GREATER. PER ORDINANCE NO. 2015-04-06.

SITE DATA	SF
LOT SIZE	28,771
REQUIRED CANOPY AREA (35%)	10069.85

REQUIRED REPLACEMENT FOR LANDMARK TREE & CANOPY COVERAGE	DBH (IN INCHES)	CANOPY (SF)	# OF TREES
LANDMARK: 2 LARGE REPLACEMENT TREES/ 2,000 SF OF CANOPY PER EACH LANDMARK TREE REMOVED. 0 LANDMARK TREES REMOVED = 0 LARGE REPLACEMENT TREES/0,000 SF OF REPLACEMENT CANOPY REQUIRED.	0.00	0	0
ADDITIONAL REPLACEMENT TREES - REQUIRED TO MEET MIN. CANOPY AREA	15.00	4,000	4
TOTAL PROPOSED REPLACEMENT CANOPY	15.00	4000	4

EXISTING ON SITE DATA	DBH (IN INCHES)	CANOPY (SF)	# OF TREES
TOTAL EXISTING ONSITE CANOPY	225.00	7000	11
TOTAL EXISTING ONSITE CANOPY AFTER CLEARING	207.00	6500	10

PROPOSED CANOPY	DBH (IN INCHES)	CANOPY (SF)	# OF TREES
EXISTING ONSITE CANOPY AFTER CLEARING	207.00	6500	10
REPLACEMENT CANOPY	15.00	4000	4
TOTAL PROPOSED CANOPY (EXISTING + REPLACEMENT)	222.00	10,500	14
TOTAL REQUIRED CANOPY		10,070	

PROPOSED CANOPY > REQUIRED CANOPY

 WHITE OAK (QUERCUS ALBA) 3" DBH - 2 QTY

 NUTTAL OAK (QUERCUS NUTTALLII) 3" DBH - 2 QTY

A site location map showing the intersection of River Court Pkwy and River Park Dr. A rectangular area is labeled 'SITE'. Marsh Creek is shown at the bottom of the map.

1. LOCATION, SIZE AND SPECIES OF ALL PROTECTED, LANDMARK, AND BOUNDARY TREES
AS DEFINED BY THE CITY OF SANDY SPRINGS' TREE CONSERVATION ORDINANCE.
NO PROTECTED, LANDMARK, OR BOUNDARY TREES.
2. LOCATION OF ALL LANDSCAPE STRIPS AND TREE SAVE AREAS.
N/A
3. LOCATION OF ANY "WATERS OF THE STATE" AND ASSOCIATED BUFFERS.
N/A
4. SHOW CRITICAL ROOT ZONE (1.25 FEET/INCH (DBH)) OF ALL TREES IN 1 ABOVE.
CRITICAL ROOT ZONE OF EXISTING TREES SHOWN ON THIS SHEET C-4

7. INDICATE ALL TREES PROPOSED FOR PROTECTION/REMOVAL.
1 TREE PROPOSED FOR REMOVAL SHOWN ON SHEET C-4
6. LANDMARK TREES:
 A. SANDY SPRINGS ARBORIST DETERMINES THE SURVIVABILITY OF LANDMARK TREES.
 B. LANDMARK REPLACEMENT OF COMPARABLE SPECIES AND SIZE.
 C. PROVIDE CANOPY MITIGATION.
A. NO LANDMARK TREE ON SITE PER SURVEY, NO LANDMARK TREES DESTROYED
B. N/A
C. CANOPY MITIGATION OF 4 TREES ADDED TO MEET SITE DENSITY. SEE
CALCULATIONS ON SHEET C-4
7. FUNDS PLACED IN ESCROW FOR REMOVAL AND REPLACEMENT COSTS, IF REQUIRED FOR ALL IMPACTED BOUNDARY TREES.

8. ^{N/A} SHOW LOCATION, SPECIES, AND CALIPER SIZE OF ALL TREES PROPOSED TO BE PLANTED

LOCATIONS OF PROPOSED TREES SHOWN ON TREE PLAN C-5. TWO PROPOSED SPECIES, WHITE OAK AND NUTTAL OAK. ALL TREES ARE 3" CALIPER IN SIZE. THERE ARE A TOTAL OF 4 TREES.

9. PROVIDE LOCATION OF TREE PROTECTION FENCING AND APPROPRIATE DETAIL.
TREE SAVE FENCE NOTED ON PLAN WITH DETAIL ON SHEET C-5.
10. PROVIDE TREE CANOPY CALCULATIONS WHICH INCLUDES (1) PROTECTED CANOPY (MEASURED); (2) REPLACEMENT CANOPY (ATTRIBUTED BY SPECIES); AND (3) SANDY SPRINGS TREE BANK CONTRIBUTION.
- SEE SHEET C-4 FOR CALCULATIONS

NEW DOWNSPOT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STONE STORAGE TRENCH

NEW CLEANOUT (TYP) AS NEEDED

NEW 3" WHITE OAK (TYP) 2 TOTAL

OBSERVATION WELL / OVERFLOW
TRENCH OUTLET- 6" PERFORATED PVC
TO EXTEND TO BOTTOM.

**EXISTING DRIVEWAY TO BE USED
FOR CONSTRUCTION EXIT**

EXISTING WATER METERS TO BE
UTILIZED FOR CONSTRUCTION

STORMWATER FLOW ARROW

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft

Prepared For
Sawhorse Design & Build

Construction Plans for
105 River Park Drive
Land Lots 127, 17th District
City of Sandy Springs, Fulton County, Georgia

CVE PI #	17-27
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Sheet No. _____

C-4

APPLICATION OF MULCH

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SAWDUST APPLIED TO DEPTH OF 2 - 3 INCHES

Ds1

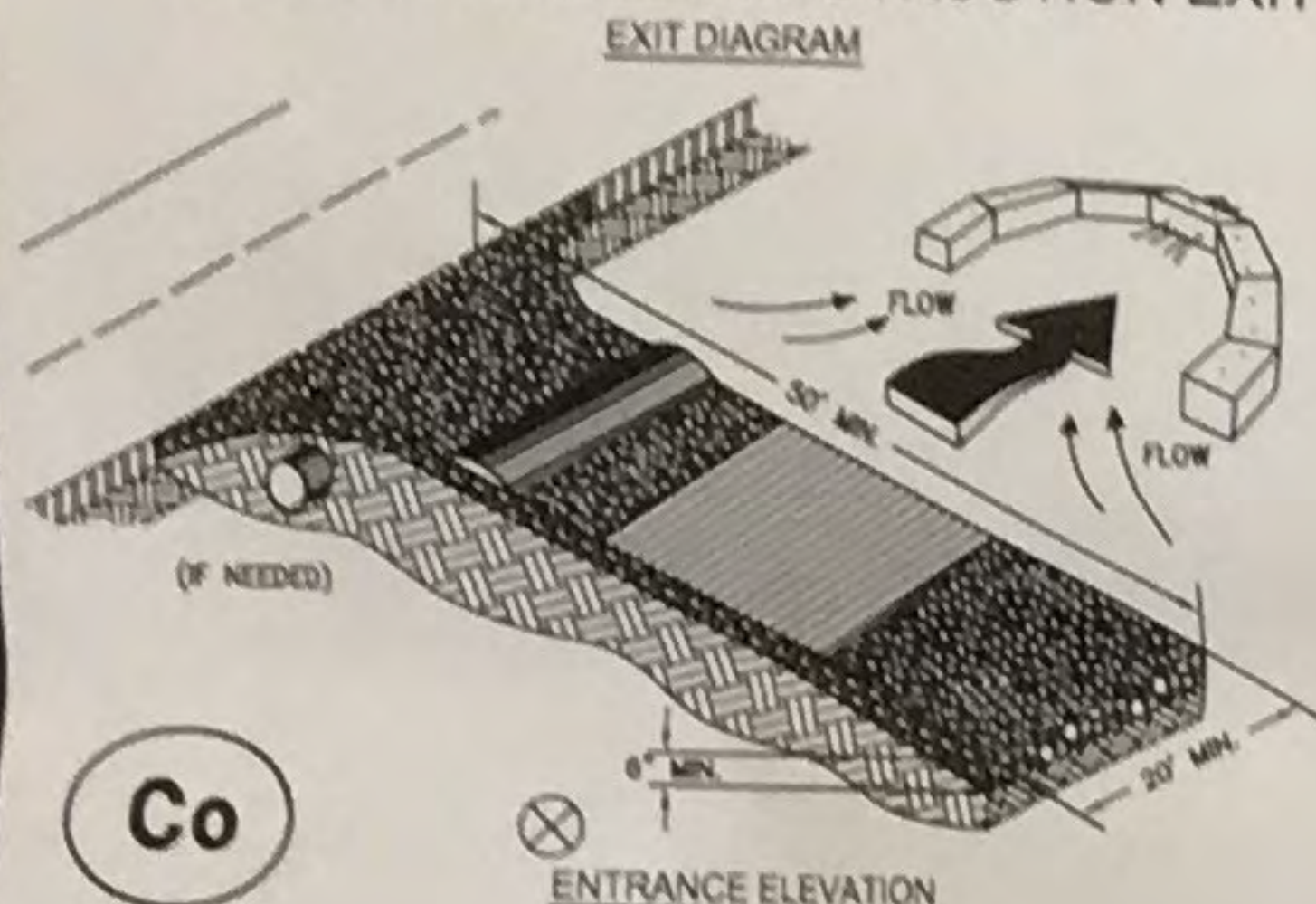
PLANTS, PLANTING RATES, & PLANTING DATES FOR TEMPORARY COVER OR COMPARISON CROPS		PLANTS, PLANTING RATES, & PLANTING DATES FOR PERMANENT COVER	
SPECIES	BROADCAST RATES 2/-PLS 2/ PER ACRE	SPECIES	BROADCAST RATES 2/-PLS 2/ PER ACRE
BARLEY (HORDEUM VULGARE)	3 bu. 3.3 lb. (144 lb.)	BARLEY (HORDEUM VULGARE)	3 bu. 3.3 lb. (144 lb.)
ALONE	1/2 bu. 0.6 lb. (24 lb.)	ALONE	1/2 bu. 0.6 lb. (24 lb.)
IN MIXTURES		IN MIXTURES	
LESPEDEZA, ANNUAL (LESPEDEZA STRATA)	40 bu. 0.9 lb. (36 lb.)	LESPEDEZA, ANNUAL (LESPEDEZA STRATA)	40 bu. 0.9 lb. (36 lb.)
ALONE	10 bu. 0.2 lb. (4 lb.)	ALONE	10 bu. 0.2 lb. (4 lb.)
IN MIXTURES		IN MIXTURES	
LOWGRASS, WEEPING (PANDANUS CURVULA)	4 bu. 0.1 lb. (4 lb.)	LOWGRASS, WEEPING (PANDANUS CURVULA)	4 bu. 0.1 lb. (4 lb.)
ALONE	2 bu. 0.05 lb. (2 lb.)	ALONE	2 bu. 0.05 lb. (2 lb.)
IN MIXTURES		IN MIXTURES	
MILLET, BROWN TOP (PANICUM PARCICULATUM)	40 bu. 0.9 lb. (36 lb.)	MILLET, BROWN TOP (PANICUM PARCICULATUM)	40 bu. 0.9 lb. (36 lb.)
ALONE	10 bu. 0.2 lb. (4 lb.)	ALONE	10 bu. 0.2 lb. (4 lb.)
IN MIXTURES		IN MIXTURES	

TEMPORARY GRASSING

NOT TO SCALE

Ds2

CRUSHED STONE CONSTRUCTION EXIT



- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNDESIRABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION #2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 8".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DO NOT ALLOW DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRAKES AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRAKE DESIGN MAY CONSIST OF ANY MATERIAL, SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Cumberland
Geotechnical Engineering & Environmental Engineering

September 18, 2017
CUMBERLAND VIEW ENGINEERING, LLC
1003 Kammell Drive
Marietta, Georgia 30060

Attention: Mr. Trey Dells, P.E.
Subject: Letter of Infiltration Test Results
105 River Park Drive
Sandy Springs, Georgia
Project Number 2017026

Dear Mr. Dells:

Cumberland Engineering Consultants (CEC) has completed the authorized infiltration testing for the residence located at 105 River Park Drive in Sandy Springs, Georgia. This letter briefly discusses our understanding of the project, describes the engineering consulting services provided by CEC, and presents our test result.

SITE AND PROJECT INFORMATION

We understand that the existing single-family home at 105 River Park Drive in Sandy Springs, Georgia will be renovated and expanded. As part of this expansion, a below-grade Water Quality Area is planned in the front of the lot to retain the initial rainfall runoff. The Water Quality Area will consist of a rectangular trench of stepped 48" concrete with dimensions of 21 feet long by 15 feet wide by 4 feet deep. The approximate location elevation of the trench will be 1006.42 feet-eal with a 4-inch sand base extending down to elevation 1005.92 feet-eal.

FIELD SERVICES

The site was visited on Friday, September 15, 2016 to perform one (1) infiltration test located within the footprint of the Water Quality Area. The infiltration test was performed in general accordance with the Permeability Method outlined in the City of Atlanta Department of Public Works Appendix C dated April 2014. The test was designated as T-1 and its location is indicated on the attached Test Location Plan.

The infiltration borehole was advanced by manually forcing a sharpened steel auger bucket to a depth of 4 feet below the existing site grade (existing elevation approximately 1012 feet-eal). Remedial soils were encountered throughout the borehole. The remedial soil was generally described as red clayey silty sand with roots.

887 Cumberland Avenue • Marietta, Georgia 30157 (770) 595-0150 • www.cumberlandview.com

Page 2

DUST CONTROL ON DISTURBED AREAS

SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS. CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED.

TEMPORARY METHODS: Ds1-MULCHING, Ds2-TACKIFIERS AND BINDERES, Ds3-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION
PERMANENT METHODS: Ds3-PERMANENT VEGETATION, Ds4-SODDING

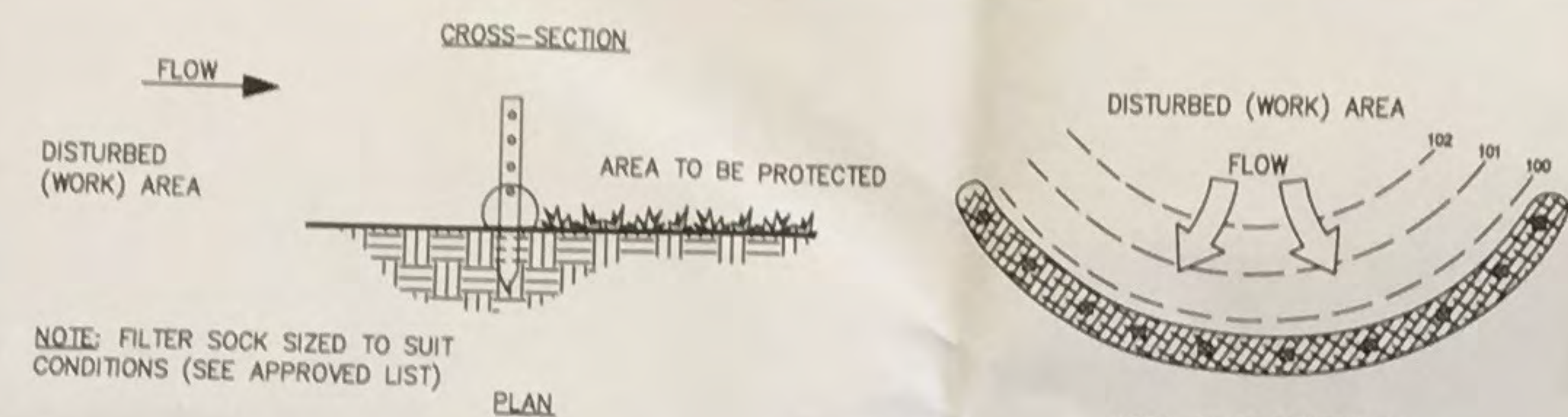
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PLANTS, PLANTING RATES, & PLANTING DATES FOR TEMPORARY COVER OR COMPARISON CROPS		PLANTS, PLANTING RATES, & PLANTING DATES FOR PERMANENT COVER	
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IN MIXTURES		IN MIXTURES	
LOWGRASS, WEEPING (PANDANUS CURVULA)	4 bu. 0.1 lb. (4 lb.)	LOWGRASS, WEEPING (PANDANUS CURVULA)	4 bu. 0.1 lb. (4 lb.)
ALONE	2 bu. 0.05 lb. (2 lb.)	ALONE	2 bu. 0.05 lb. (2 lb.)
IN MIXTURES		IN MIXTURES	
MILLET, BROWN TOP (PANICUM PARCICULATUM)	40 bu. 0.9 lb. (36 lb.)	MILLET, BROWN TOP (PANICUM PARCICULATUM)	40 bu. 0.9 lb. (36 lb.)
ALONE	10 bu. 0.2 lb. (4 lb.)	ALONE	10 bu. 0.2 lb. (4 lb.)
IN MIXTURES		IN MIXTURES	

PERMANENT GRASSING

NOT TO SCALE

Ds3



LAND SLOPE PERCENT	MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK FEET
<2	100
2-5	100
5-10	100
10-20	100
>20	100

IN AREAS WHERE THE SLOPE IS GREATER THAN 20% A FLAT AREA LENGTH OF 10 FT BETWEEN THE TOE OF THE SLOPE TO THE COMPOST FILTER SOCK SHOULD BE PROVIDED.

MATERIAL TYPE	MULTI-FILAMENT POLYPROPYLENE	MULTI-FILAMENT POLYPROPYLENE
CHARACTERISTIC	PHOTODEGRADABLE	PHOTODEGRADABLE
MESH OPENING	3/8 IN (10MM)	1/8 IN (3MM)
TENSILE STRENGTH ASTM 5030-95	44 PSI (3.09 KG/CM ²)	202 PSI (14.2 KG/CM ²)
% ORIGINAL STRENGTH FROM ULTRAVIOLET EXPOSURE (ASTM D-155)	100% AT 1000 HR	100% AT 1000 HR

COMPOSITE FILTER SOCK

NOT TO SCALE

Sd1-S

24 HOUR EMERGENCY CONTACT: MATT HOOT 470-225-0545
GSWCC LEVEL 1A CERTIFICATION NUMBER: 0000070707

EROSION AND SEDIMENT CONTROL LEGEND

(FOR DETAILS SEE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, FIFTH EDITION)

STRUCTURAL PRACTICES

(C) CONSTRUCTION EXIT

(R) RETAINING WALL

(Sd1-A) SEDIMENT BARRIER-TYPE A

(Sd1-B) SEDIMENT BARRIER-TYPE B

(Sd1-C) SEDIMENT BARRIER-TYPE C

(Sd2-P) INLET SEDIMENT TRAP

(Sd2-P) CATCH BASIN SEDIMENT TRAP (PIGS IN A BLANKET)

VEGETATIVE MEASURES

(D1) DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

(D2) DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

(D3) DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

(D4) DISTURBED AREA STABILIZATION (WITH SODDING)

SILT FENCE MAINTENANCE AND REMOVAL: THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE UNTIL THE PROJECT IS VEGETATED OR ACCEPTED. FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DEGRADED TO SUCH AN EXTENT THAT IT REDUCES THE EFFECTIVENESS OF THE FABRIC.

FERTILIZER REQUIREMENTS

TOP OF SPECIES	YEAR	ANALYSIS OF EQUIVALENT N-P-K	RATE	TOP N (LBS/ACRE)
1. COOL SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac.	10-100 lb./ac. 1/2/ 30
2. COOL SEASON GRASSES AND LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac.	0-50 lb./ac. 1/ -
3. WARM SEASON GRASSES	FIRST SECOND MAINTENANCE	10-10-10 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac.	- -
4. PINE SEEDLING	FIRST	20-10-5	ONE 21-GRAM PELLETT PER SEEDLING PLACED IN THE GROWING HOLE	-
5. SHRUBS	FIRST MAINTENANCE	9-10-10 10-10-10	700 lb./ac. 700 lb./ac. 4/	-
6. TEMPORARY COVER CROPS SEEDS ALONE	FIRST	10-10-10	500 lb./ac.	30 lb./ac. 5/
7. WARM SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac.	50-100 lb./ac. 2/ 30 lb./ac.
8. WARM SEASON GRASSES AND LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac.	50 lb./ac. 6/ -

- 1) APPLY IN SPRING FOLLOWING SEEDING.
- 2) APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
- 3) APPLY IN 3 SPLIT APPLICATIONS.
- 4) APPLY WHEN PLANTS ARE PRUNED.
- 5) APPLY TO GRASS SPECIES ONLY.
- 6) APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

LIME APPLICATION REQUIREMENT - 2 TONS/ACRE

80% PASS THROUGH 10 - MESH SIEVE
50% PASS THROUGH 40 - MESH SIEVE
25% PASS THROUGH 20 - MESH SIEVE

FERTILIZERS

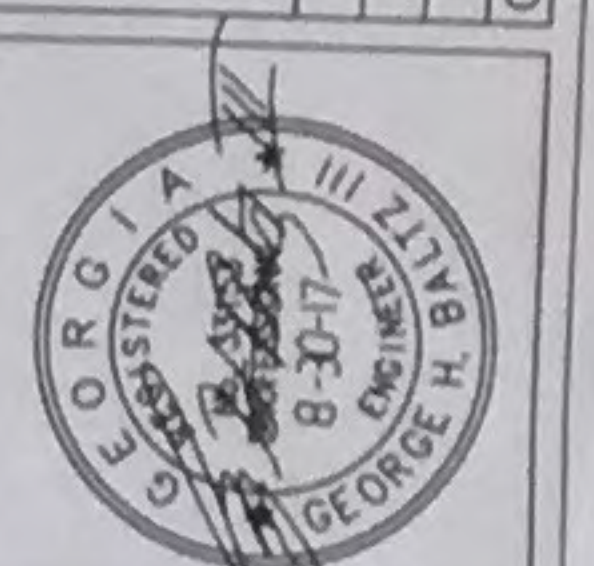
NOT TO SCALE

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Details

DATE	8-30-17	AS SHOWN	PZ	CHECKED
SCALE	AS SHOWN			
DRAWN	AS SHOWN			
CHECKED	AS SHOWN			

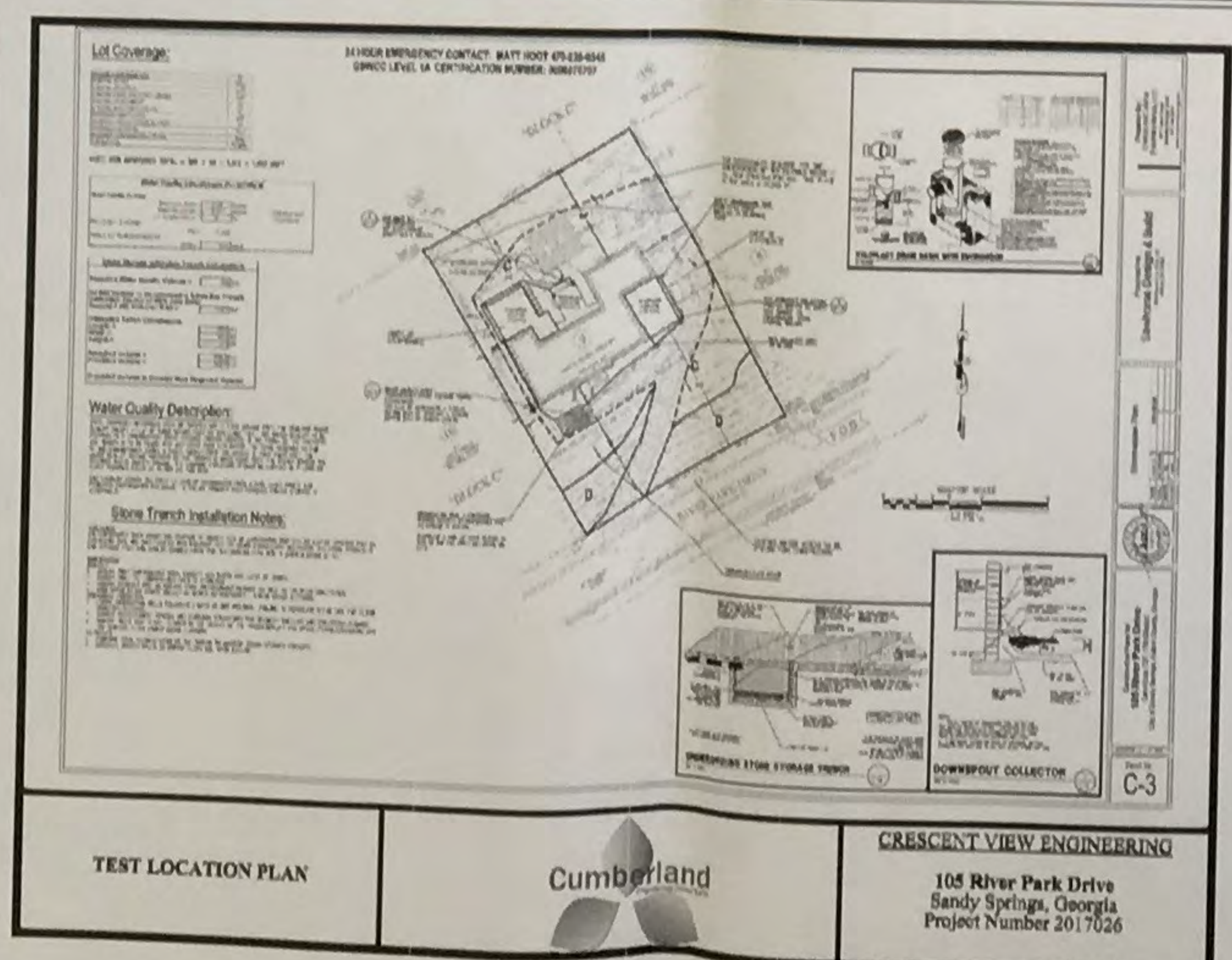


Construction Plans for
105 River Park Drive
Land Lots 127, 17th District
City of Sandy Springs, Fulton County, Georgia

CVE PI # 17-272

Sheet No.

C-5



TEST LOCATION PLAN

Cumberland

CRESCENT VIEW ENGINEERING

105 River Park Drive
Sandy Springs, Georgia
Project Number 2017026