



REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 229 Peachtree Street NE | Suite 100 | Atlanta, Georgia 30303 • ph: 404.463.3100 fax: 404.463.3205 • atlantaregional.org

DATE: August 4, 2017

ARC REVIEW CODE: V1708041

TO: Mayor Mike Mason, City of Peachtree Corners
ATTN TO: David Chastant, Planning and Development Director, City of Peachtree Corners
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-17-02PC 4596 Ridgeway Drive

Review Type: Metro River

MRPA Code: RC-17-02PC

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for the construction of a new single-family house on an existing pre-act single-family housing site.

Preliminary Finding: ARC's preliminary finding is that the proposed development, while not consistent with the Chattahoochee Corridor Plan in all respects, will provide a level of land and water resource protection equivalent to an application consistent with the Plan.

Submitting Local Government: City of Peachtree Corners

Land Lot: 318, 319 **District:** 6 **Section:**

Date Opened: August 4, 2017

Deadline for Comments: August 14, 2017

Earliest the Regional Review can be Completed: August 14, 2017

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
FULTON COUNTY

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
CITY OF JOHNS CREEK

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA
CITY OF NORCROSS

If you have questions regarding this review, please contact Andrew Smith at asmith@atlantaregional.org or (470) 378-1645. If ARC does not receive comments from you on or before **August 14, 2017**, we will assume that your agency has no additional comments and will close the review. Comments by e-mail are encouraged. The ARC review website is located at <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

ARC STAFF NOTICE OF REGIONAL REVIEW AND COMMENT FORM

DATE: August 4, 2017

ARC REVIEW CODE: V1708041

TO: ARC Community Development and Natural Resources Managers

FROM: Andrew Smith, Extension: 378-1645

Reviewing staff by Jurisdiction:

Community Development: Smith, Andrew

Natural Resources: Santo, Jim

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Submitting Local Government: City of Peachtree Corners

Date Opened: August 4, 2017

Deadline for Comments: August 14, 2017

Earliest the Regional Review can be Completed: August 14, 2017

Response:

- 1) Proposal is **CONSISTENT** with the following regional development guide listed in the comment section.
- 2) While neither specifically consistent nor inconsistent, the proposal relates to the following regional development guide listed in the comment section.
- 3) The proposal is **INCONSISTENT** with the following regional development guide listed in the comment section.
- 4) The proposal does **NOT** relate to any development guide for which this division is responsible.
- 5) Staff wishes to confer with the applicant for the reasons listed in the comment section.

COMMENTS:

[illegible]

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: Peachtree Corners
2. Owner(s) of Record of Property to be Reviewed:
Name(s): Mark Schaller
Mailing Address: 2595 Hermitage Drive
City: Cumming State: Georgia Zip: 30041
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-330-3374 Fax: 770-271-5753
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): Greg Dean c/o Boundary Zone, Inc.
Mailing Address: 4195 South Lee
City: Buford State: Georgia Zip: 30097
Contact Phone Numbers (w/Area Code):
Daytime Phone: 770-271-5772 Fax: 770-271-5753
Other Numbers: Mobile: 770-330-3374
4. Proposed Land or Water Use:
Name of Development: Riverview Estates
Description of Proposed Use: Single Family Residence
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: 318 & 319 , 6th District, Gwinnett County
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: Riverview Estates
Lot 5, Block C, Unit II, 4596 Ridgegate Drive, Peachtree Corners, GA 30097, 115 Feet
Size of Development (Use as Applicable):
Acres: Inside Corridor: 0.906 Acres - 39,504 square feet
Outside Corridor: 0 Acres
Total: 0.906 Acres - 39,504 square feet
Lots: Inside Corridor: 1
Outside Corridor: 0
Total: 1
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____



6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? _____

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Permit for New Small Residential from Gwinnett County

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	16,541 sf	9,947 sf	6,035 sf	(70) 60	(45) 36.5
D	5,540 sf	3,110 sf	1,559 sf	(50) 56	(30) 28.0
E	17,423 sf	12,467 sf	3,520 sf	(30) 65.8	(15) 20.2
F	_____	_____	_____	(10)_____	(2)_____
Total:	39,504 sf	25,524 sf	11,114 sf	N/A	N/A

This property is on septic and the only location suitable for the drainfields is in the 'E' Category which runs along the street frontage of the property. The land disturbance required for drainfields, plus access to the property, exceeds the maximum amount allowed in 'E' on this property. It has been determined that this required land disturbance constitutes a hardship under Part 1.B.9 of the Chattahoochee Corridor Plan. The project has also been determined to be equivalent to a consistent project, as provided for in Section 120-5-445 (a)(1)(B) of the Metropolitan River Protection Act, which was based on an average weighted runoff coefficient test. As the project has met the average weighted runoff coefficient test, it has been found that, while not consistent with the Plan in all respects, it is equivalent to a fully consistent project and can be built as proposed.

The test and determination are described in the memorandum attached to this application.

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

x Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

x Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

x Written consent of all owners to this application. (Space provided on this form)

x Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

x Description of proposed use(s). (Space provided on this form)

x Existing vegetation plan.

x Proposed grading plan.

x Certified as-builts of all existing land disturbance and impervious surfaces.

x Approved erosion control plan.

x Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☒ Documentation on adjustments, if any.

☒ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☒ Site plan.

☒ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.

☐ Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

Mark Schaller



Signature(s) of Owner(s) of Record

7/27/17

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Greg Dean, RLA



Signature(s) of Applicant(s) or Agent(s)

7/27/17

Date

14. The governing authority of _____ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.




Signature of Chief Elected Official or Official's Designee

7-28-17

Date

Memorandum

Date: August 2, 2017
To: File
From: Jim Santo 
Subject: Equivalent Consistency Calculations for 4596 Ridgeway Drive, Riverview Estates
Subdivision, City of Peachtree Corners

Once a hardship has been established on a property that has been submitted for review, an average weighted runoff coefficient test is used to determine if the proposed project on such a property can be considered equivalent to a consistent project, even though it cannot meet Plan requirements in all respects.

The first step is to calculate the maximum amounts and percentages for each category on the subject property, ignoring any pre-existing conditions (the property is treated as if it were completely undisturbed). Then, based on these numbers, natural areas (the undisturbed areas in each category) are broken out, as well as landscaped areas (disturbed but not impervious) and impervious areas. The amounts in each category are totaled and divided by the total property area, resulting in the average percentages of natural, landscaped and impervious areas for the entire property, not by category. These percentages are then multiplied by the appropriate runoff coefficient: 0.30 for natural, 0.35 for landscaped and 0.95 for impervious. The three resulting numbers are added together and the result is the average weighted runoff coefficient for a maximum consistent project on the subject property.

The process is then repeated for the proposed project on the property, including any existing conditions. If the average weighted runoff coefficient for the proposed project is the same as, or less than, the coefficient for the maximum consistent project, the proposed project is considered to be equivalent to a fully consistent project.

The category areas and the maximum allowable areas and percentages for land disturbance and impervious surface for this site are shown below. All areas are in square feet:

Category	Total Area	Land Disturbance	Impervious Surface
C	16,541	11,579 (70%)	7,443 (45%)
D	5,540	2,770 (50%)	1,662 (30%)
E	17,423	5,227 (30%)	2,614 (15%)
Totals:	39,504	19,576	11,719

Based on these numbers, the natural, landscaped and impervious are calculated by subtracting the maximum disturbed area from the category total (for the "natural" area) and impervious from disturbed (for the "landscaped" area). The impervious is used as is. The resulting numbers (in square feet) for each category and the entire property are:

Category	Natural	Landscaped	Impervious Surface
C	4,962 (16541 – 11579)	4,136 (11579 – 7443)	7,443
D	2,770 (5540 – 2770)	1,108 (2770 - 1662)	1,662
E	12,196 (17243 - 5227)	2,613 (5227 - 2614)	2,614
Totals:	19,928	7,857	11,719

Using the total numbers for the property, the percentages are calculated. The resulting numbers are multiplied by the appropriate runoff coefficient (0.30 for natural areas, 0.35 for landscaped and 0.95 for impervious). The results are added together and the result is the average weighted runoff coefficient for the maximum consistent project:

Natural:	19,928 SF / 39,504 SF Total Area = 0.5045 x 0.30 = 0.1514
Landscaped:	7,857 SF / 39,504 SF Total Area = 0.1989 x 0.35 = 0.0696
Impervious	11,719 SF / 39,504 SF Total Area = 0.2966 x 0.95 = 0.2818
Average weighted runoff coefficient:	0.5028

For the proposed project (including new and pre-existing land disturbance), the areas and percentages breakdown as follows, with all areas in square feet):

Category	Total Area	Land Disturbance	Impervious Surface
C	16,541	9,947 (60%)	6,035 (36.5%)
D	5,540	3,110 (56%)	1,559 (28%)
E	17,423	12,467 (65.8%)	3,520 (20.2%)
Totals:	39,504	25,524	11,114

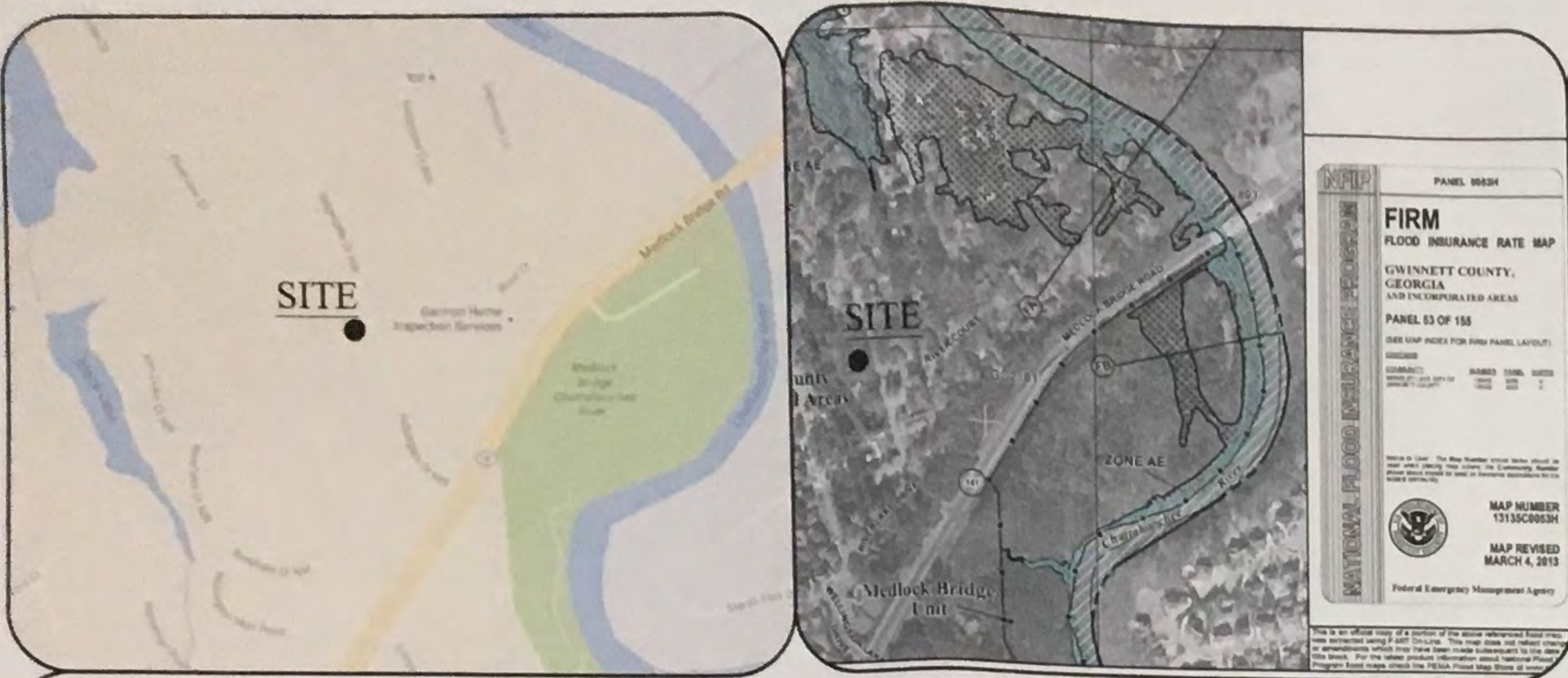
The proposed natural, landscaped and impervious areas for each category (in square feet):

Category	Natural	Landscaped	Impervious Surface
C	6,594 (16541 – 9947)	3,912 (9947 – 6035)	6,035
D	2,430 (5540 – 3110)	1,551 (3110 - 1559)	1,559
E	4,956 (17423 - 12467)	8,947 (12467 - 3520)	3,520
Totals:	13,980	14,410	11,114

The average weighted runoff coefficient for the Proposed Project:

Natural:	13,980 SF / 39,504 SF Total Area	=	0.3539 x 0.30	=	0.1062
Landscaped:	14,410 SF / 39,504 SF Total Area	=	0.3648 x 0.35	=	0.1277
<u>Impervious</u>	<u>11,114 SF / 39,504 SF Total Area</u>	<u>=</u>	<u>0.2813 x 0.95</u>	<u>=</u>	<u>0.2672</u>
					0.5011

Because the coefficient is lower than that for the maximum consistent project (0.5011 vs. 0.5028), this revision meets the average weighted runoff coefficient test.



Vicinity Map(NTS)

FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF GWINNETT COUNTY (CITY OF DULUTH), GEORGIA PANEL # 13135C0053H, EFFECTIVE 03/04/2013

ZONING: R-100

MIN. FRONTAGE 100 FT
MINIMUM LOT AREA: 25,500 SF (SEPTIC)
R-100 SETBACKS
AS PER PLAT
FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MIN. F.A.R.: 1,400 SF
MAX. COVERAGE: N/A
MIN. 2 PARKING SPACES PER DWELLING

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

MARK SCHALLER
4596 RIDGEGATE DRIVE
DULUTH, GEORGIA 30097

24-HR EMERGENCY CONTACT

LEWIS REEVES
404.219.2151

GENERAL NOTES:

- TOTAL AREA: 0.907 ACRES / 39,502 SQUARE FEET
- BOUNDARY REFERENCE: DB 54153, PG 591, PB U, PG 163
- FIELDWORK PERFORMED ON 09/20/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275.563 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND ANGULAR ERROR OF 01 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPOUND RULE
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF ATLANTA AS SHOWN ON PANEL 13135C0053H, EFFECTIVE 03/04/2013
- PROJECT NARRATIVE:
SITE LOCATION:
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

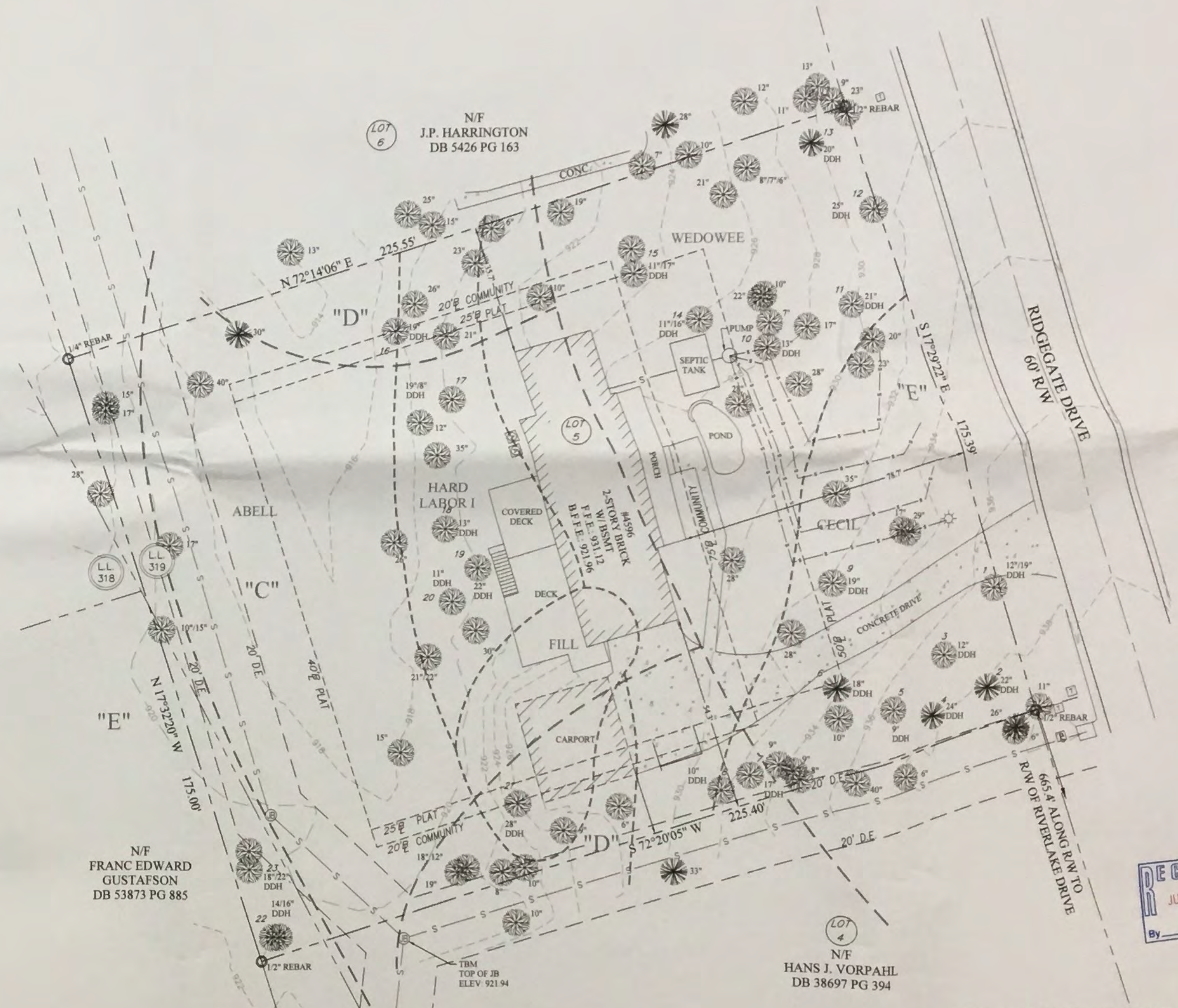
PRE-CONSTRUCTION LOT AREA SUMMARY

LOT AREA	Sq. Ft.
EXISTING HOUSE	39,502
EXISTING DRIVE	2,223
EXISTING PORCH	293
EXISTING WALK	248
EXISTING CARPORT	749
EXISTING DECK W/ STAIRS	899
EXISTING POND	188
TOTAL COVERAGE	6,637
	16.8%

Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
5	39,502		11,579	2,770	5,227		7,445	1,661	2,613		

Lot Number	Area	Existing Disturbed Area					Existing Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
5	39,502		6,929	2,063	10,750		3,175	1,325	2,136		
Remaining Total			4,650	707	-5,523	SF*	4,270	336	477	SF*	

*DEFICITS IN ALLOCATIONS WILL HAVE TO BE PURCHASED AND TRANSFERRED FROM THE DEVELOPER TO THE LOT OWNER PRIOR TO ANY DEVELOPMENT AND/OR ISSUANCE OF BUILDING PERMIT.



THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

EXISTING CONDITIONS SURVEY

PREPARED FOR: MARK SCHALLER
LOT 5, BLOCK C, UNIT 2, RIVERVIEW ESTATES SUBDIVISION
LAND LOTS 318 & 319, 6TH DISTRICT
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097



PROJECT
17747.02

SHEET
1 OF 7

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECOMMENDATION BY THE SURVEYOR NAMING SAID PERSON.

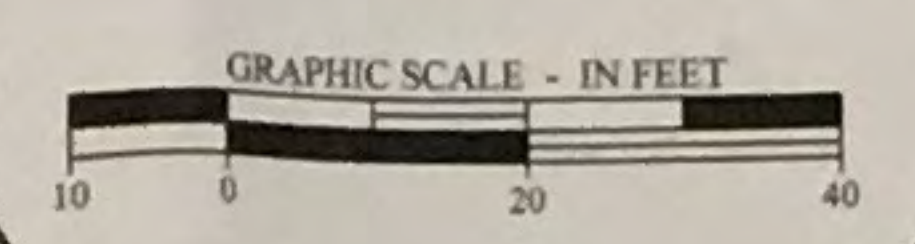
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TOTAL AREA: 0.907 ACRES / 39,502 SQUARE FEET
BOUNDARY REFERENCE: DB 54153, PG 591, PB U, PG 163
FIELDWORK PERFORMED ON 09/20/2016

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275.563 FEET

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND ANGULAR ERROR OF 01 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPOUND RULE



- LEGEND:
- PROPERTY CORNER FOUND (AS NOTED)
 - 1/2" REBAR WITH CAP SET LSF# 839
 - R/W MONUMENT
 - FIRE HYDRANT
 - WATER VALVE
 - POWER POLE
 - YARD DRAINS
 - SIGN
 - POWER METER
 - AC UNIT
 - LIGHT POLE
 - GUY WIRE
 - MANHOLE
 - CLEAN OUT
 - GAS METER
 - GAS VALVE
 - CABLE BOX
 - TELEPHONE BOX
 - W- WATER LINE
 - U- OVERHEAD UTILITY LINE
 - S- SEWER LINE
 - G- GAS LINE
 - C- CABLE LINE
 - T- TELEPHONE LINE
 - F- FENCE LINE
 - SF- SILT FENCE
 - O- TREE PROTECTION
 - HW HAY BALES
 - FW FLOW WELL LINE
 - NW NOW OR FORMERLY
 - R/W RIGHT-OF-WAY
 - BSL BUILDING SETBACK LINE
 - CNTL CANTILEVER
 - CRZ CRITICAL ROOT ZONE
 - S.R.P. STRUCTURAL ROOT PLATE
 - (TYP)
 - L.L. LAND LOT
 - CONC CONCRETE
 - BOP EDGE OF PAVEMENT
 - BB- CONTOUR LINE
 - F.F.E. FINISH FLOOR ELEVATION
 - B.F.E. BASEMENT FLOOR ELEVATION
 - G.F.E. GARAGE FLOOR ELEVATION
 - G.E. GROUND ELEVATION
 - TOP OF WALL ELEVATION
 - BOTTOM OF WALL ELEVATION
 - TOP OF FOOTER ELEVATION
 - SILT FENCE
 - DRAINAGE ARROW

- TREE LEGEND
- HARDWOOD TREE
 - SPRING TREE
 - TREE TO BE REMOVED
 - SPECIMEN TREE TO BE REMOVED



BOUNDARY zone inc.

LAND SURVEYING SERVICES
LANDSCAPE ARCHITECTURE
LAND PLANNING

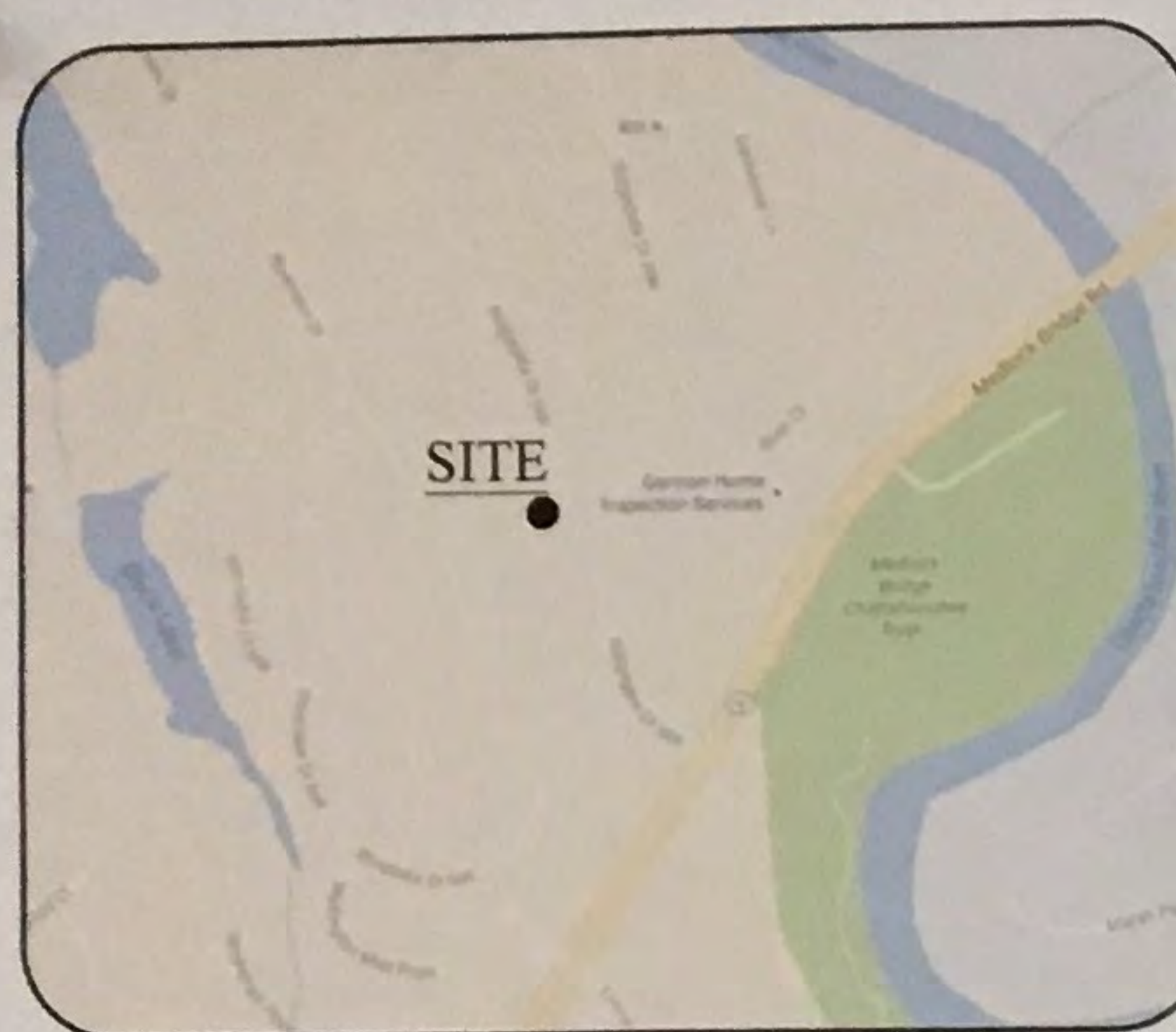
SURVEYING ♦ LANDSCAPE ARCHITECTURE ♦ LAND PLANNING
WWW.BOUNDARYZONE.COM ♦ (770) 271-5772 ♦ (919) 363-9226

BLUFORD
4195 SOUTH LEE STREET, SUITE 1
BLUFORD, GEORGIA 30514

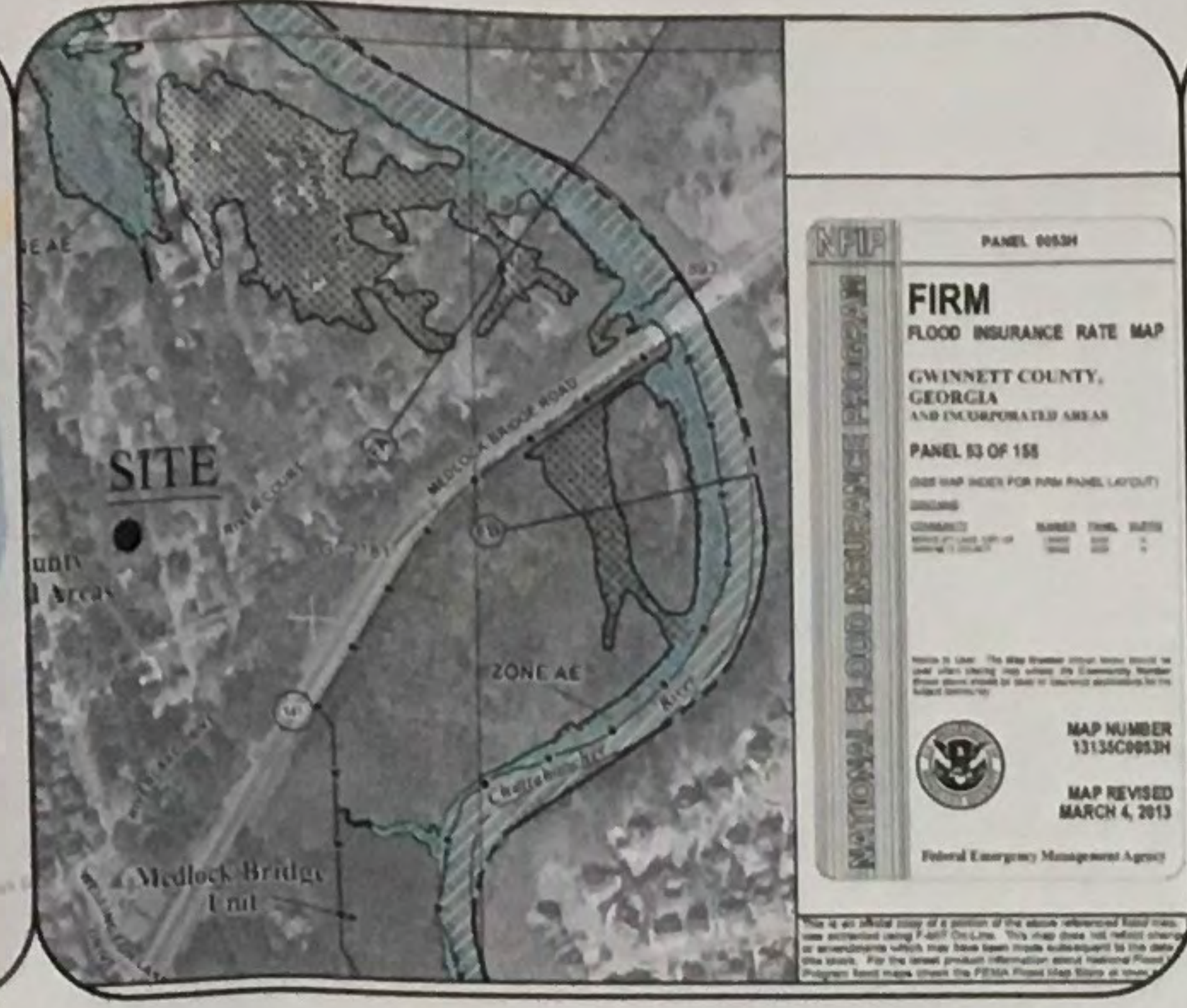
ATLANTA
255 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303

MARIETTA
1875 THE EXCHANGE, SUITE 100
MARIETTA, GA 30067

RALEIGH
2804 COUNSEL DRIVE, APT. 4
NORTH CAROLINA 27603



Vicinity Map (NTS)



FIRM Panel Vignette (NTS)

ZONING: R-100

MIN. FRONTAGE 100 FT
MINIMUM LOT AREA: 25,500 SF (SEPTIC)

R-100 SETBACKS
AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MIN. F.A.R.: 1.450 SF
MAX. COVERAGE: N/A
MIN. 2 PARKING SPACES PER DWELLING

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OWNER

MARK SCHALLER
4596 RIDGEGATE DRIVE
DULUTH, GEORGIA 30097

24-HR EMERGENCY CONTACT

LEWIS REEVES
404.219.2151

NOTE:

ANY DEMOLITION WITHIN THE CRITICAL ROOT ZONES TO BE DONE BY HAND.
NO HEAVY MACHINERY ALLOWED IN THE C.R.Z. AREAS.

UTILITIES

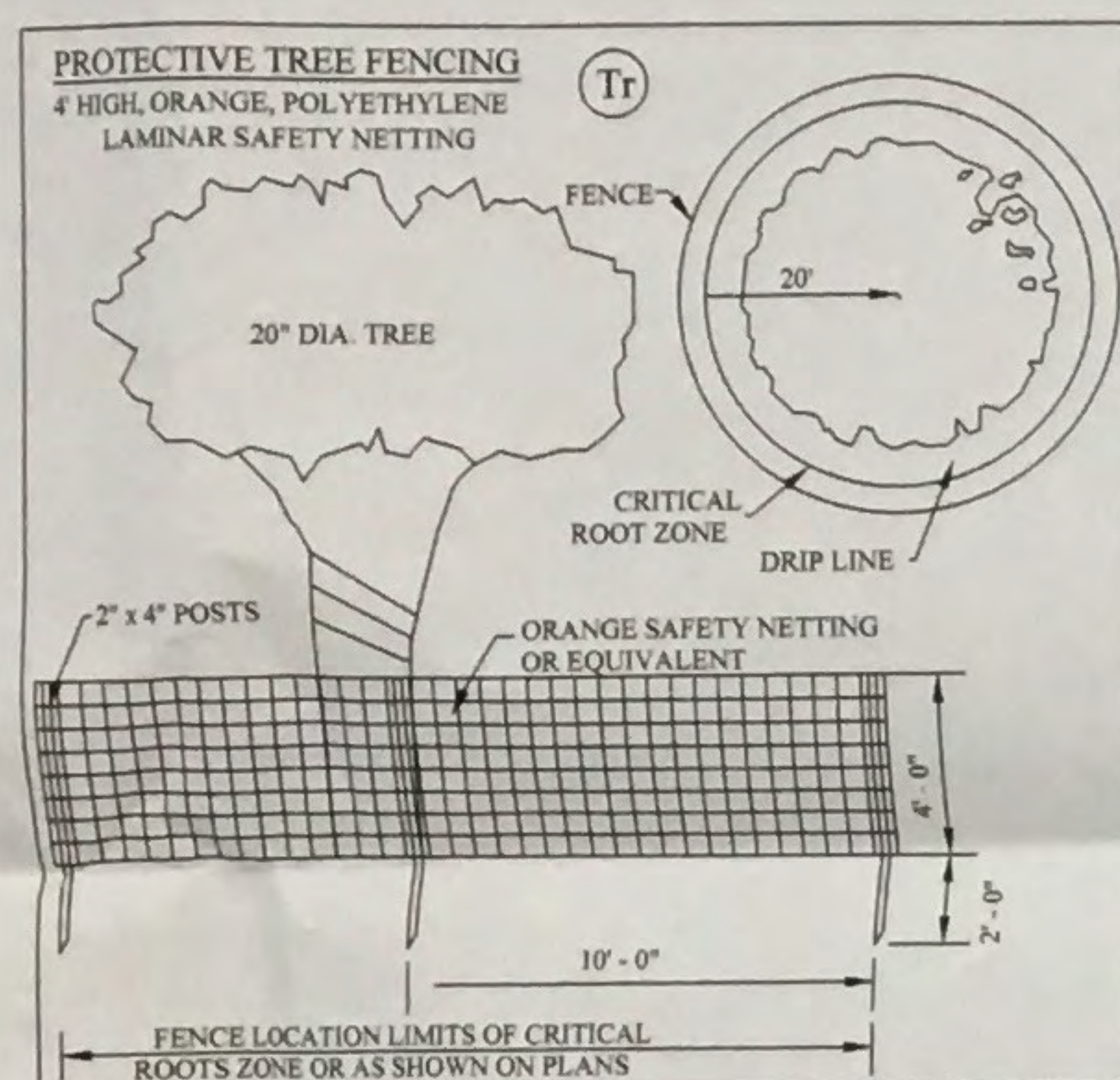
CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

USE EXISTING WATER, GAS CONNECTIONS.

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

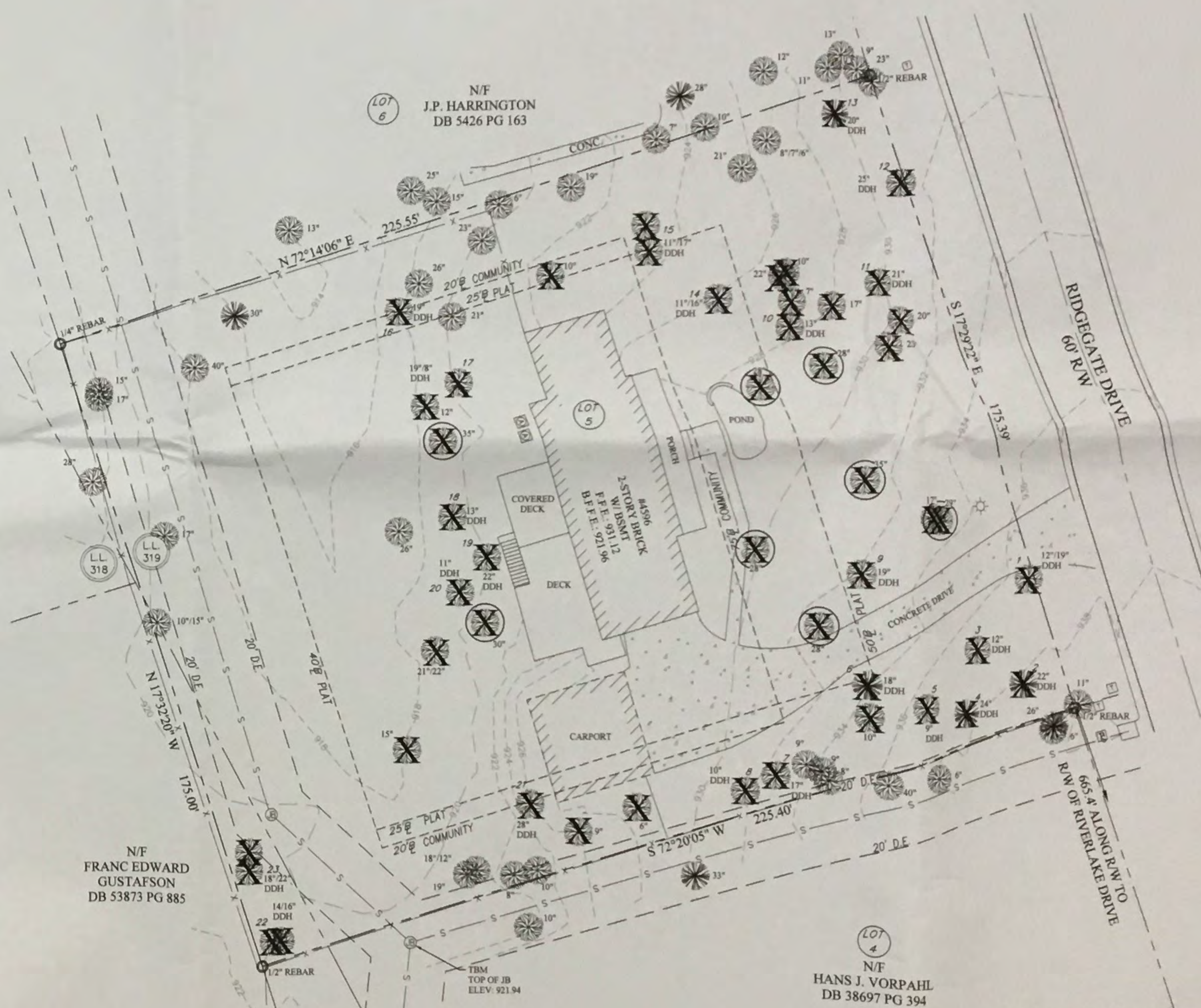
GENERAL NOTES:

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- BOUNDARY REFERENCE: DB 54153, PG 591, PB U, PG 163
- FIELDWORK PERFORMED ON 09/20/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275,563 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
- FLOOD HAZARD STATEMENT
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF ATLANTA AS SHOWN ON PANEL 13135C0053H, EFFECTIVE 03/04/2013
- PROJECT NARRATIVE
SITE LOCATION
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
9. SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
10. DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
11. CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
12. NO NEW STORM DRAIN PIPES ARE PROPOSED
13. THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
14. THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE



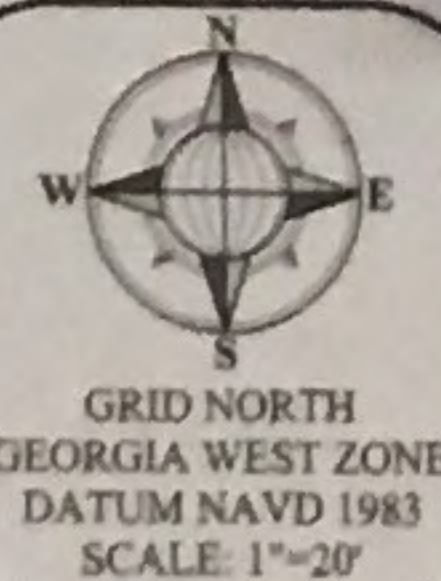
SPECIMEN TREE REMOVAL TABLE			
TREE QTY	DBH IN	TREE UNITS	RECOMPENSE UNITS
TOTAL	8		160.4
	4	28	17.2
	1	29	18.4
	1	30	19.6
	2	35	26.8

160 RECOMPENSE UNITS / 0.5 UNITS PER REPLACEMENT TREE OF 2" CAL. = 320 TREES
320 TREES x \$250 PER TREE = \$80,000



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699



DATE	REVISION
09/20/2016	1. INITIAL SETTING
09/20/2016	2. REVISION TO ADD CHATTAHOOCHEE RIVER CORRIDOR
09/20/2016	3. REVISION TO ADD CHATTAHOOCHEE RIVER CORRIDOR
09/20/2016	4. REVISION TO ADD CHATTAHOOCHEE RIVER CORRIDOR
09/20/2016	5. REVISION TO ADD CHATTAHOOCHEE RIVER CORRIDOR
09/20/2016	6. REVISION TO ADD CHATTAHOOCHEE RIVER CORRIDOR
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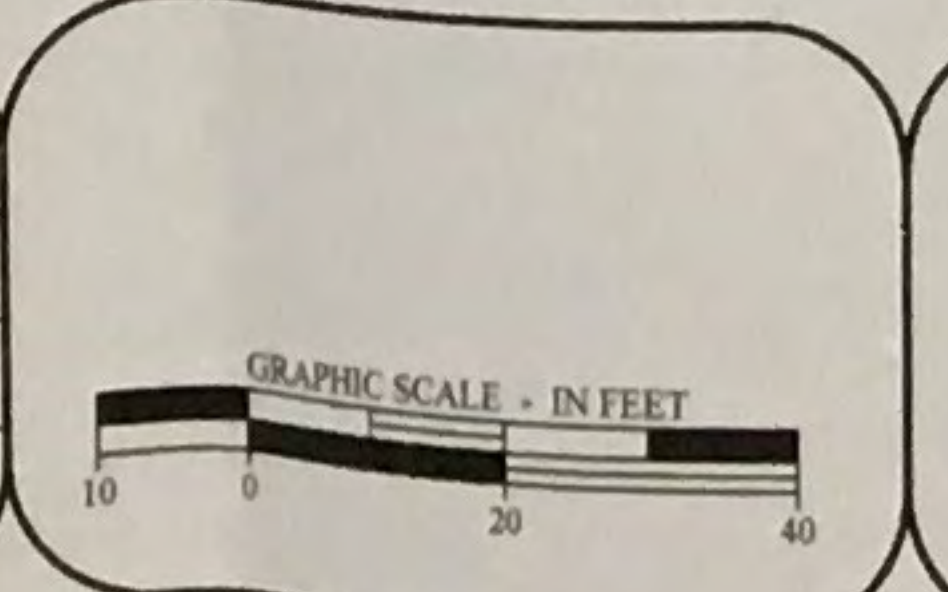
SPECIMEN TREE SURVEY
PREPARED FOR: MARK SCHALLER
LOT 5, BLOCK C, UNIT 2, RIVERVIEW ESTATES SUBDIVISION
LAND LOTS 318 & 319, 6TH DISTRICT
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
DATE 5/2/2017



PROJECT
17747.02
SHEET
2 OF 7

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMED SAID PERSON.
© COPYRIGHT 2014 - BOUNDARY ZONE, INC.
THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.

TOTAL AREA: 0.907 ACRES / 39,502 SQUARE FEET
BOUNDARY REFERENCE: DB 54153, PG 591, PB U, PG 163
FIELDWORK PERFORMED ON 09/20/2016
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275,563 FEET
THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE



- LEGEND:**
- PROPERTY CORNER
 - FOUND (AS NOTED)
 - 12" REBAR WITH CAP
 - SET LSH# 139
 - R/W MONUMENT
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - POWER POLE
 - YARD DRAINS
 - SIGN
 - POWER METER
 - POWER BOX
 - A/C UNIT
 - LIGHT POLE
 - GUY WIRE
 - MANHOLE
 - CLEAN OUT
 - GAS METER
 - GAS VALVE
 - CABLE BOX
 - TELEPHONE BOX
 - W- WATER LINE
 - U- OVERHEAD UTILITY LINE
 - N/T- NOW OR FORMERLY
 - R/W- RIGHT-OF-WAY
 - BSL- BUILDING SETBACK LINE
 - CNTL- CANTILEVER
 - C.R.Z- CRITICAL ROOT ZONE
 - S.R.P- STRUCTURAL ROOT PLATE (TYP.)
 - LL- LAND LOT
 - HAY BALES
 - FLOW WELL LINE
 - N/T- NOW OR FORMERLY
 - RIGHT-OF-WAY
 - BUILDING SETBACK LINE
 - CANTILEVER
 - C.R.Z- CRITICAL ROOT ZONE
 - S.R.P- STRUCTURAL ROOT PLATE (TYP.)
 - LL- LAND LOT

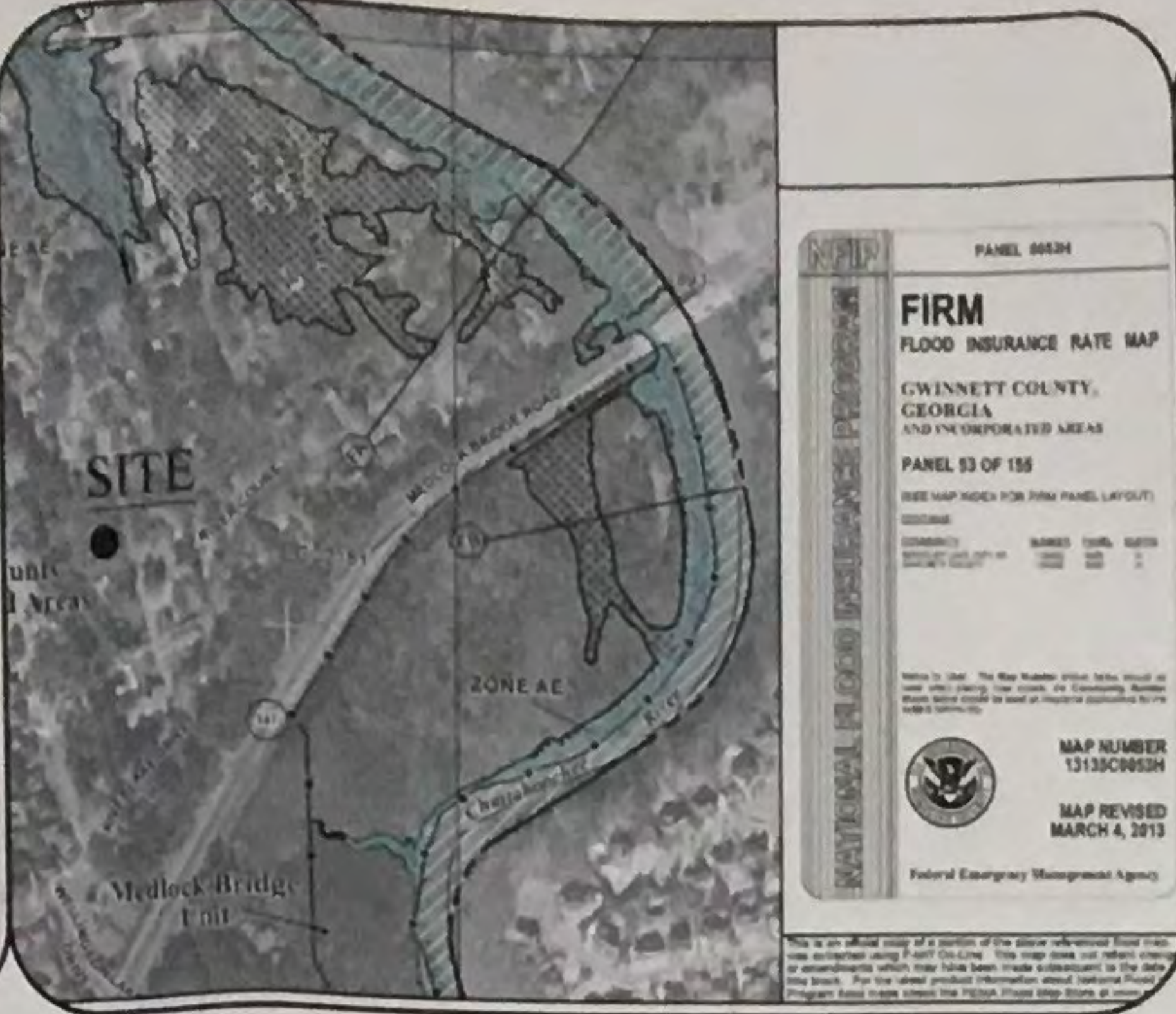
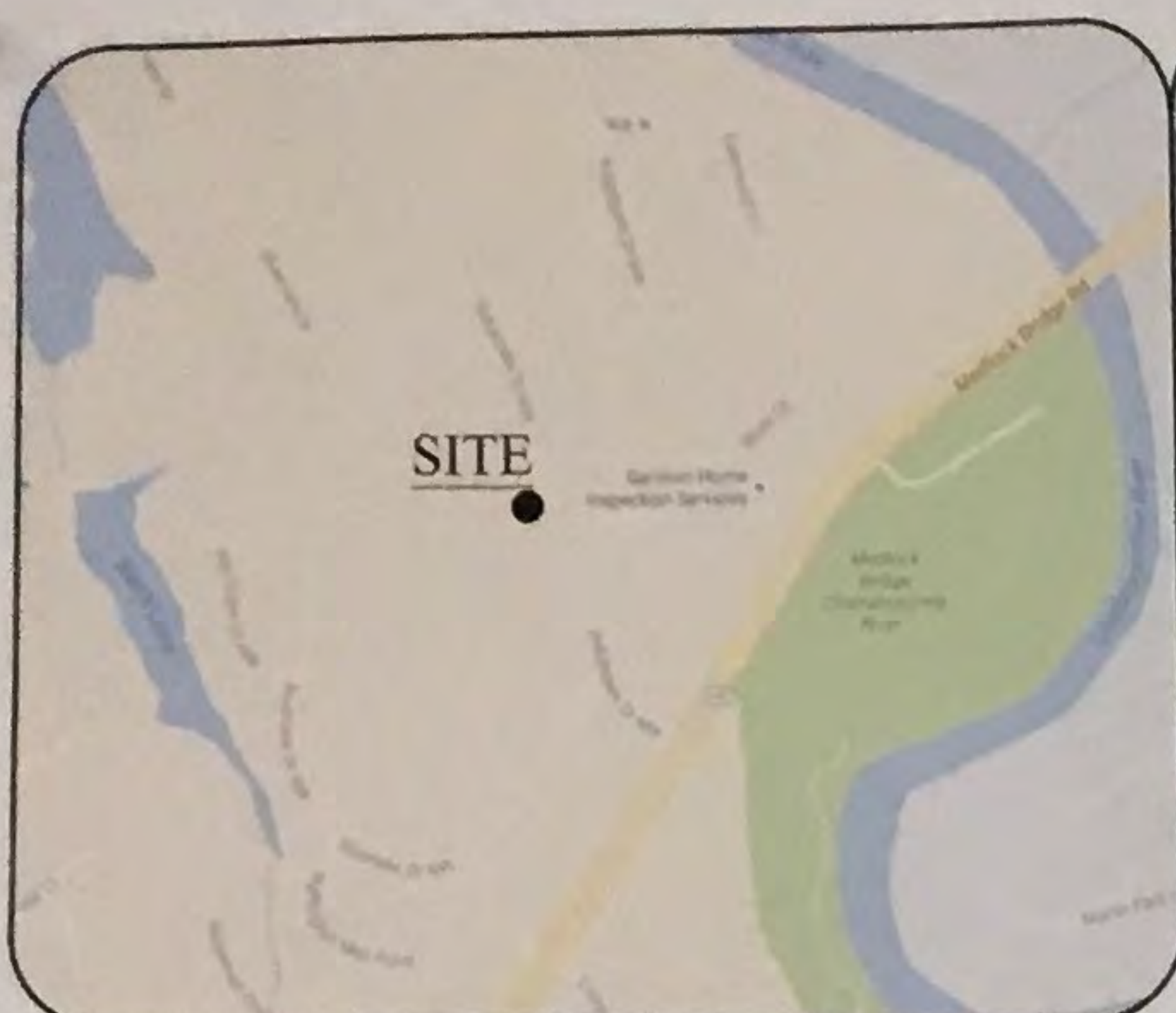
- CONC- CONCRETE
- BOP- EDGE OF PAVEMENT
- BB- CONTOUR LINE
- F.F.E- FINISH FLOOR ELEVATION
- B.F.E- BASEMENT FLOOR ELEVATION
- G.F.E- GARAGE FLOOR ELEVATION
- GL- GROUND ELEVATION
- SE- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BTM- BOTTOM OF WALL ELEVATION
- TF- TOP OF FOOTER ELEVATION
- SF- SILT FENCE
- DRAINAGE ARROW

- TREE LEGEND**
- HARDWOOD TREE
 - SP- SPECIMEN TREE TO BE REMOVED
 - SP- SPECIMEN TREE TO BE REMOVED



BOUNDARY zone inc.
LAND SURVEYING SERVICES
LANDSCAPE ARCHITECTURE
LAND PLANNING
SURVEYING & LANDSCAPE ARCHITECTURE & LAND PLANNING
WWW.BOUNDARYZONE.COM • (770) 271-5772 • (919) 363-9226

RECORD
4105 SOUTH LEE STREET, SUITE 1
BUNNELL, GEORGIA 30814
ATLANTA
215 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303
MARITTA
1870 THE ENCHANCE, SUITE 100
MARITTA, GA 30259
RALEIGH
2584 CANNON DRIVE, APTN
NORTH CAROLINA 27603



Vicinity Map^(NTS)

FIRM Panel Vignette^(NTS)

ZONING: R-100

MIN. FRONTAGE 100 FT
MINIMUM LOT AREA: 25,500 SF (SEPTIC)
R-100 SETBACKS
AS PER PLAT
FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MIN. F.A.R.: 1.400 SF
MAX. COVERAGE N/A
MIN. 2 PARKING SPACES PER DWELLING
THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.
OWNER
MARK SCHALLER
4596 RIDGEGATE DRIVE
DULUTH, GEORGIA 30097

24-HR EMERGENCY CONTACT

- LEWIS REEVES**
404.219.2151
- EROSION CONTROL SEDIMENT NOTES:**
1. DISTURBED AREA EQUALS 480 SQ. FT. / 0.01 AC.
 2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
 3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL TO TREAT THE SEDIMENT SOURCE.
 4. ANY DISTURBED AREA LEFT IDLE FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING. DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
 6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
 7. SILT FENCE SHALL MEET REQUIREMENTS OF SECTION 171 - TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION.

NOTE:

ANY DEMOLITION WITHIN THE CRITICAL ROOT ZONES TO BE DONE BY HAND.
NO HEAVY MACHINERY ALLOWED IN THE C.R.Z. AREAS.

UTILITIES

CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

GENERAL NOTES:

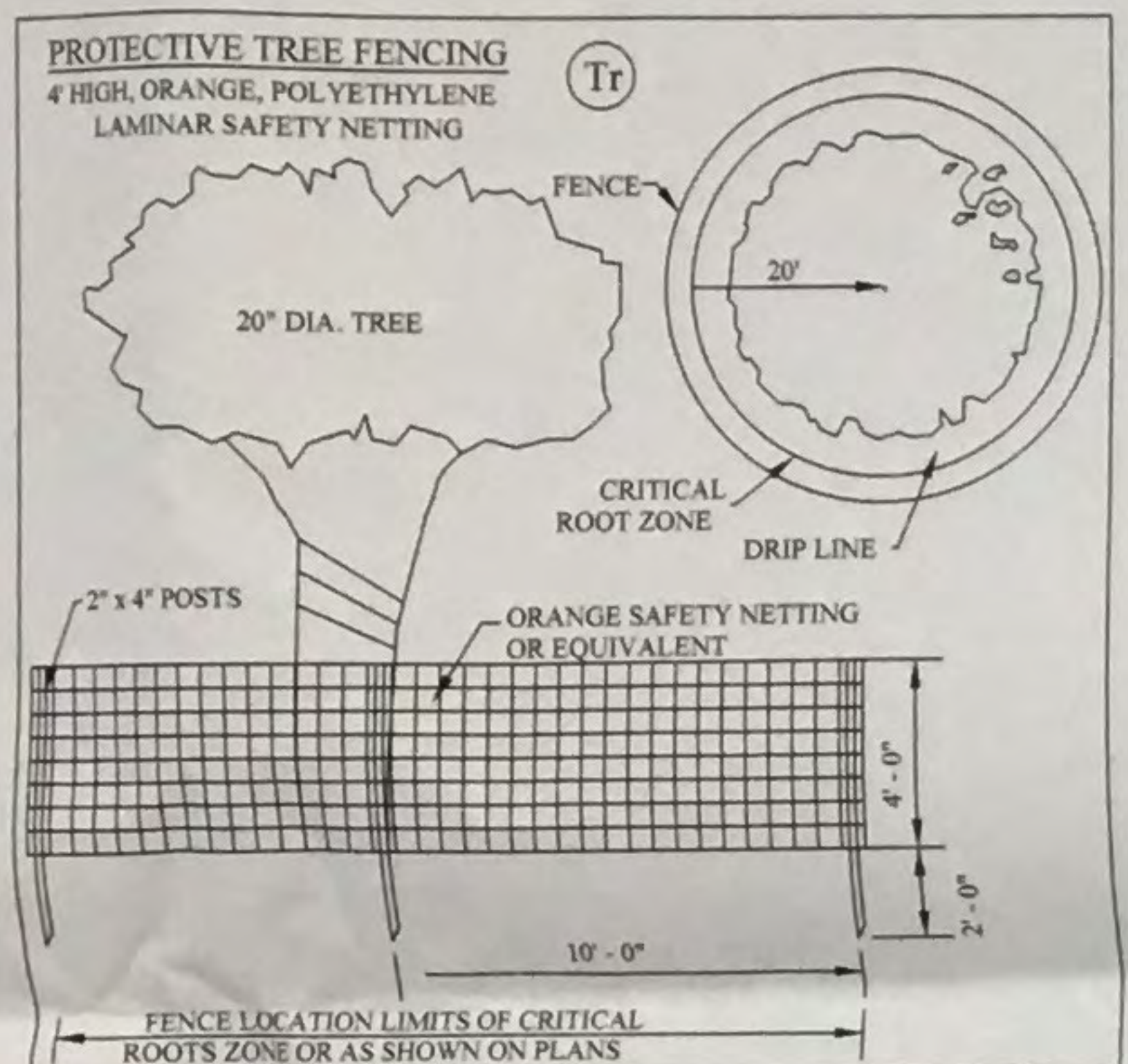
1. TOTAL AREA: 0.997 ACRES / 39,502 SQUARE FEET
2. BOUNDARY REFERENCE: DB 54153, PG 591, PB 1, PG 143
3. FIELDWORK PERFORMED ON 09/20/2016
4. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275.563 FEET
5. THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
6. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND AN ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
7. FLOOD HAZARD STATEMENT
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF ATLANTA AS SHOWN ON PANEL 13135C0053H, EFFECTIVE 03/04/2013
8. PROJECT NARRATIVE
SITE LOCATION:
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL
9. SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
10. DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
11. CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
12. NO NEW STORM DRAIN PIPES ARE PROPOSED
13. THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
14. THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

DEMOLITION LEGEND

(Co)	CONSTRUCTION EXIT
(Cw)	CONCRETE WASHDOWN
(Di)	DEMOLISH EXISTING HOUSE AND GARAGE
(D2)	REMOVE EXISTING DRIVEWAY
(D3)	REMOVE EXISTING DECK AND PATIO
(SA)	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
(Du)	DUST CONTROL AREA AND WASH STATION

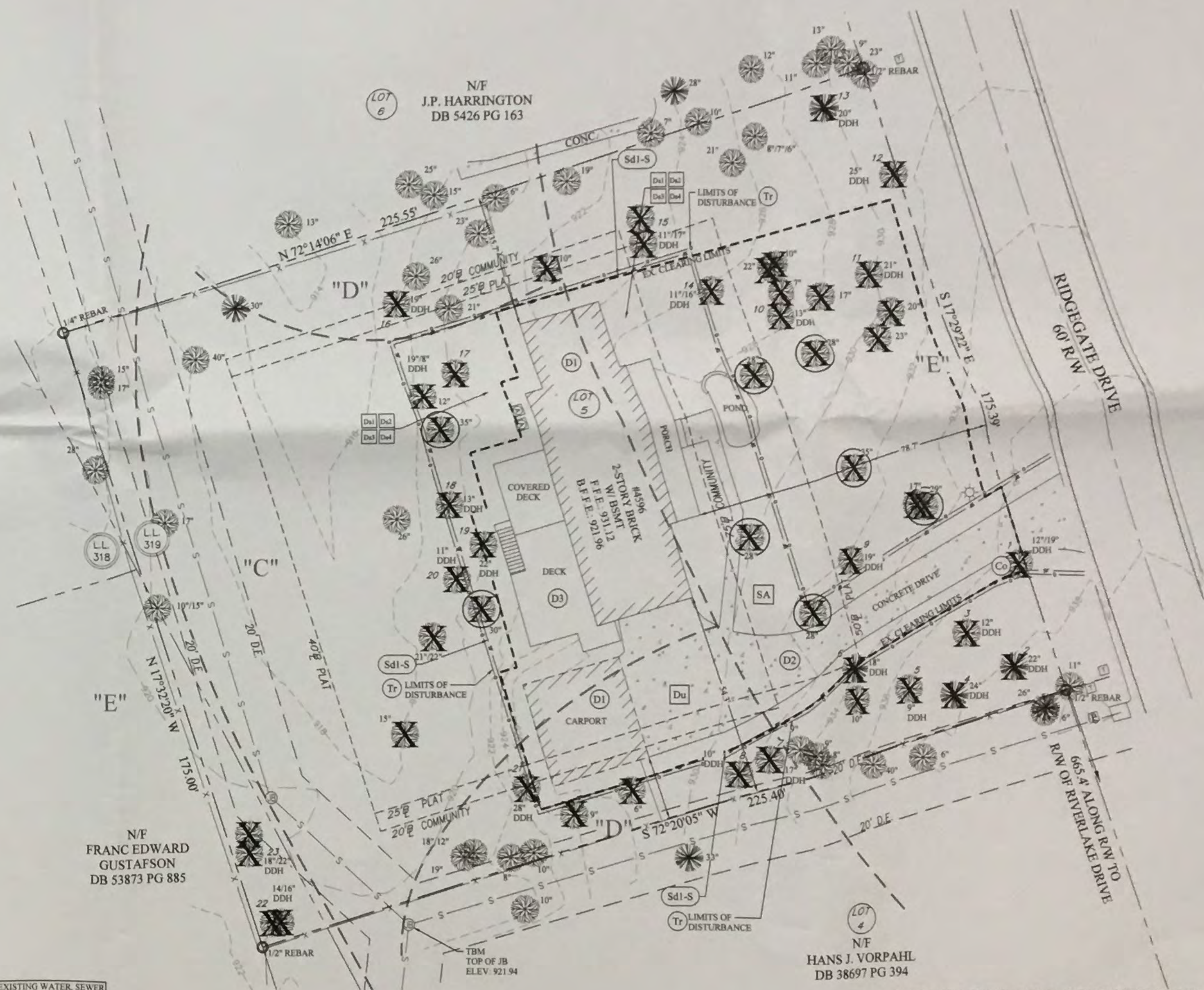
Lot Number	Area	Allowable Disturbed Area					Allowable Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
5	39,502		11,582	2,768	5,226			7,445	1,661	2,613	
Lot Number	Area	Existing Disturbed Area					Existing Impervious Area				
		B Zone	C Zone	D Zone	E Zone	F Zone	B Zone	C Zone	D Zone	E Zone	F Zone
5	39,502		4,165	1,721	9,853			3,175	1,325	2,136	
Remaining Total			7,417	1,047	-4,627	5F*		4,270	336	477	5F*

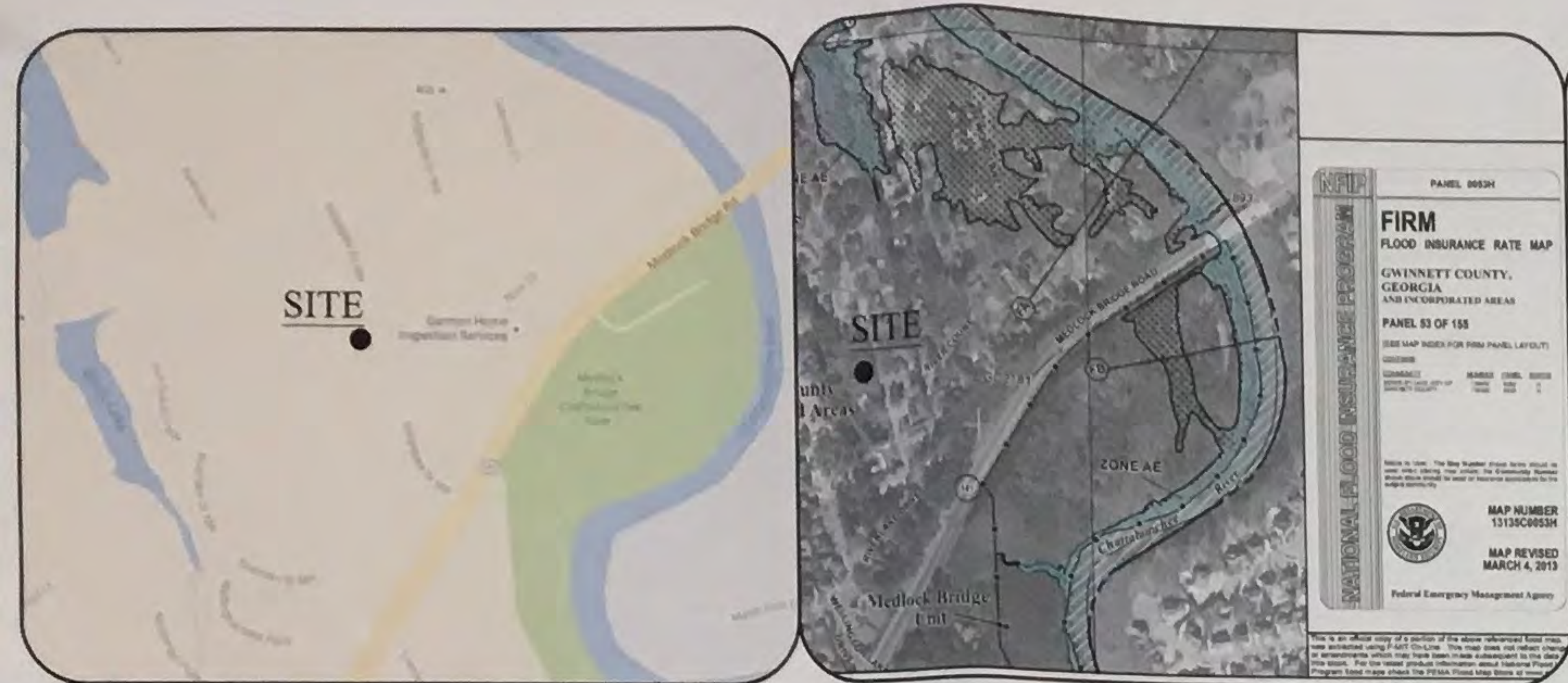
*DEFICITS IN ALLOCATIONS WILL HAVE TO BE PURCHASED AND TRANSFERRED FROM THE DEVELOPER TO THE LOT OWNER PRIOR TO ANY DEVELOPMENT AND/OR ISSUANCE OF BUILDING PERMIT.



EROSION & SEDIMENT CONTROL PRACTICES

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN ±5% AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.





Vicinity Map (NTS)

ZONING: R-100

MIN. FRONTAGE 100 FT
MINIMUM LOT AREA: 25,500 SF (SEPTIC)

R-100 SETBACKS AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 20 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MIN F.A.R.: 1.400 SF
MAX COVERAGE: N/A
MIN. 2 PARKING SPACES PER DWELLING

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

MARK SCHALLER
4596 RIDGEGATE DRIVE
DULUTH, GEORGIA 30097

24-HR EMERGENCY CONTACT

LEWIS REEVES
404.219.2151

RESIDENTIAL DRAINAGE PLAN

THIS HOUSE LOCATION / RESIDENTIAL DRAINAGE PLAN HAS BEEN REVIEWED FOR GENERAL COMPLIANCE WITH THE ZONING RESOLUTION AND DEVELOPMENT REGULATIONS OF GWINNETT COUNTY, GEORGIA, AND IS APPROVED FOR ISSUANCE OF A BUILDING PERMIT FOR THE RESIDENTIAL STRUCTURE AND OTHER IMPROVEMENTS SHOWN HEREON. NO FRAMING INSPECTION WILL BE APPROVED UNTIL A CERTIFICATION OF THE ELEVATION OF THE LOWEST FLOOR, AS BUILT, PREPARED BY A REGISTERED LAND SURVEYOR OF PROFESSIONAL ENGINEER, HAS BEEN RECEIVED BY THE DEPARTMENT. THIS APPROVAL IS GRANTED WITH THE PROVISION THAT NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR THE COMPLETION OF CONSTRUCTION UNTIL CONFORMANCE TO THIS HOUSE LOCATION / RESIDENTIAL DRAINAGE PLAN HAS BEEN FIELD VERIFIED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT OF HAS BEEN VERIFIED BY A FOUNDATION SURVEY PREPARED BY A REGISTERED LAND SURVEYOR.

DEPARTMENT OF PUBLIC UTILITIES DATE

THIS PLAT HAS BEEN CALCULATED FOR A CLOSURE BY ROCHESTER & ASSOCIATES, INC. (LAND SURVEYOR JOSH W. TRAWICK, GA # 2974)

OWNER: CARLOS ZAYAS
LOT ADDRESS: 355 LEE MILLER COURT
SUWANEE, GEORGIA 30024
355 LEE MILLER COURT
SUWANEE, GEORGIA 30024
(770)-807-4355

RDP PREPARED BY:
BOUNDARY ZONE, INC.
4195 SOUTH LEE STREET, SUITE 1
BUPORD, GA 30518
OFFICE: 770-271-5772

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS PER F.E.M.A. FLOOD INSURANCE RATE MAPS OF GWINNETT COUNTY, GEORGIA, COMMUNITY PANEL # 13135C0053H, EFFECTIVE 03/04/2013
TOTAL LOT AREA 11,869 S.F.
AREA LOCATED OUTSIDE FLOOD PLAIN LIMITS 11,869 S.F.

FIELD RUN BOUNDARY INFORMATION WAS PREPARED BY:
BOUNDARY ZONE, INC.
DATED: 10-12-2014

SITE AREA: 11,869 S.F.
0.272 AC.

NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS. NO TREES ARE TO BE REMOVED FROM THIS SITE DURING CONSTRUCTION.

A SEPARATE BUILDING PERMIT MUST BE OBTAINED PRIOR TO THE APPROVAL OF A RDP FOR EACH SITE. RETAINING WALL (WHICH EITHER EXCEEDS 4 FEET IN HEIGHT OR WHICH HAS A BACKFILL SLOPE GREATER THAN 1 FOOT RISE IN 3 HORIZONTAL) AND FOR EACH RETAINING WALL ATTACHED TO THE HOUSE (WHICH EXCEEDS 6 FEET IN HEIGHT) IN ACCORDANCE WITH GWINNETT COUNTY CONSTRUCTION CODE SECTION 103.1.1. A CERTIFICATE OF COMPLETION SHALL BE ISSUED BY GWINNETT COUNTY BUILDING INSPECTIONS SECTION FOR ALL WALLS PERTINENT TO THE PROJECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY USABLE STRUCTURE ON THE SITE.

SITE NOTES:

- PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE SITE DEVELOPMENT INSPECTOR.
- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF GWINNETT COUNTY.
- CONSTRUCTION EXIST PAD AGORIGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1.
- NO GRADED SLOPES SHALL EXCEED 2H:1V.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHALL BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.

TOTAL AREA: 0.907 ACRES / 39,502 SQUARE FEET
BOUNDARY REFERENCE: DB 54153, PG 591, PG 163
FIELDWORK PERFORMED ON 09/20/2014

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 273.563 FEET

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND WAS ADJUSTED USING COMPASS RULE

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RESURVEYING BY THE SURVEYOR NAMING SAID PERSON

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GRAPHIC SCALE - IN FEET

GENERAL NOTES:

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- FLOOD HAZARD STATEMENT: THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF ATLANTA AS SHOWN ON PANEL 13135C0053H, EFFECTIVE 03/04/2013
- PROJECT NARRATIVE: SITE LOCATION: 4596 RIDGEGATE DRIVE, PEACHTREE CORNERS, GEORGIA 30097

- CONSTRUCTION OF A SINGLE FAMILY RESIDENCE SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

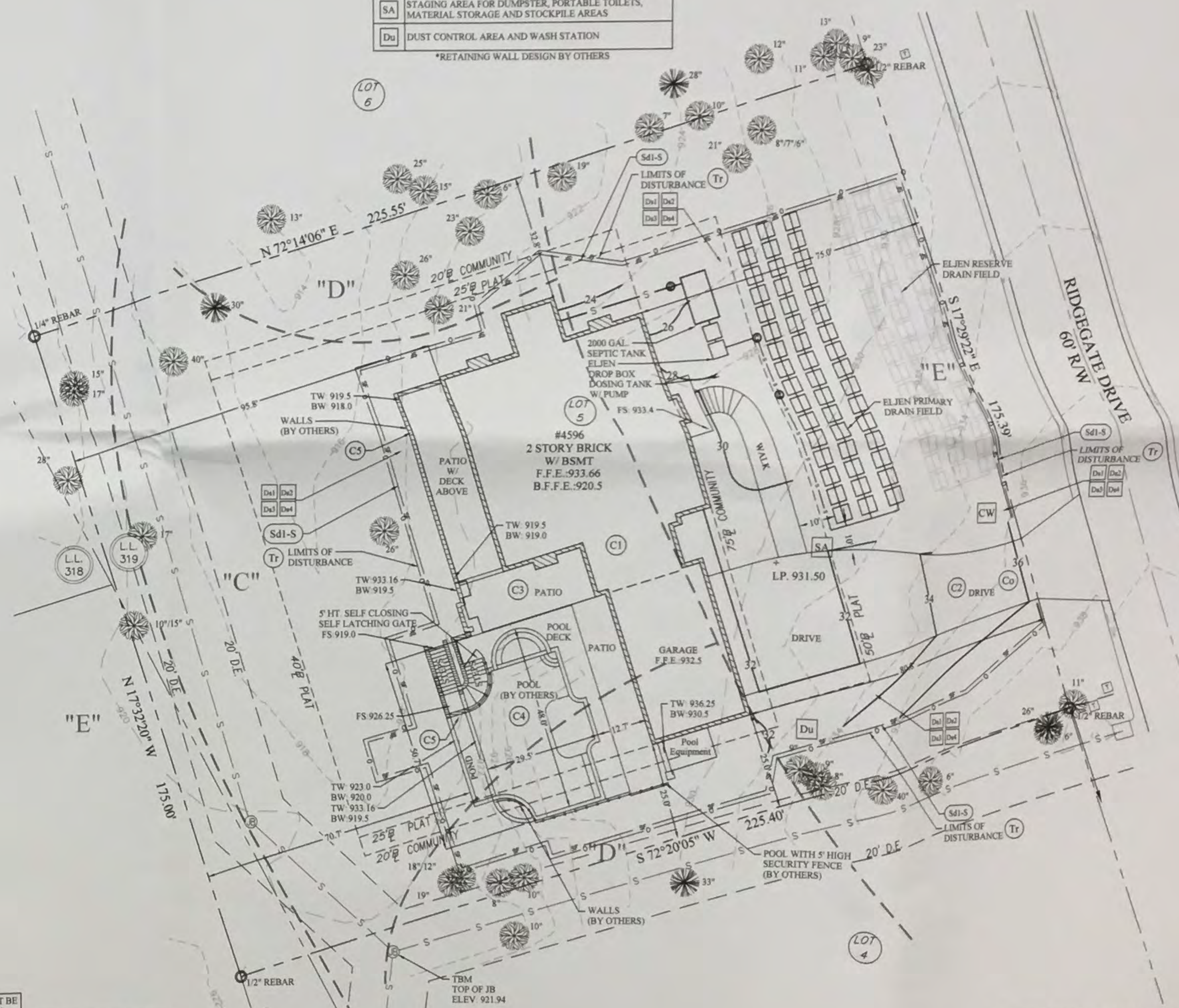
POST-CONSTRUCTION LOT AREA SUMMARY

AREA	Sq. Ft.
LOT AREA	39,502
PROPOSED HOUSE	4,529
PROPOSED DRIVE	2,351
PROPOSED DECK	250
PROPOSED PORCH	81
PROPOSED WALKS	577
PROPOSED PATIO	1,557
PROPOSED POOL DECK	594
PROPOSED POOL & EQUIP.	1,494
PROPOSED WALLS	181
TOTAL COVERAGE	11,614
	29.4%

CONSTRUCTION LEGEND

Cx	CONSTRUCTION EXIT
Cw	CONCRETE WASHDOWN
C1	CONSTRUCTION OF NEW HOUSE
C2	CONSTRUCTION OF CONCRETE DRIVEWAY
C3	CONSTRUCTION OF CONCRETE PATIO
C4	CONSTRUCTION OF SWIMMING POOL
C5	CONSTRUCTION OF RETAINING WALL*
SA	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
Dx	DUST CONTROL AREA AND WASH STATION

*RETAINING WALL DESIGN BY OTHERS



EROSION & SEDIMENT CONTROL PRACTICES

- DS1 DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER
- DS2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS
- DS3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS
- DS4 DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN 48 HOURS AND PLANTED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS

NOTE:

ANY DEMOLITION WITHIN THE CRITICAL ROOT ZONES TO BE DONE BY HAND. NO HEAVY MACHINERY ALLOWED IN THE C.R.Z. AREAS.

UTILITIES

CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE PROTECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.

ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED

USE EXISTING WATER, SEWER AND GAS CONNECTIONS

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

LEGEND:

- PROPERTY CORNER
- FOUND (AS NOTED)
- 1/2" REBAR WITH CAP
- SET (3" IF 1/2")
- KN MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN

- POWER METER
- AC UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX

- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION

- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- TOP OF FOOTER ELEVATION
- EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION

TREE LEGEND

- HARDWOOD TREE
- PINE TREE
- TREE TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED



BOUNDARY zone, inc.
LAND SURVEYING SERVICES
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SURVEYING • LANDSCAPE ARCHITECTURE • LAND PLANNING
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BUPORD
4195 SOUTH LEE STREET, SUITE 1
BUPORD, GEORGIA 30518
ATLANTA
231 PEACHTREE STREET, SUITE 400
ATLANTA, GEORGIA 30309
NABETTA
1870 THE EXCHANGE, SUITE 100
MADEIRA, CA 94069
RALEIGH
22545 CANTON DRIVE, APT. 200
NORTH CAROLINA 27613

PROJECT
17747.02

SHEET
4 OF 7

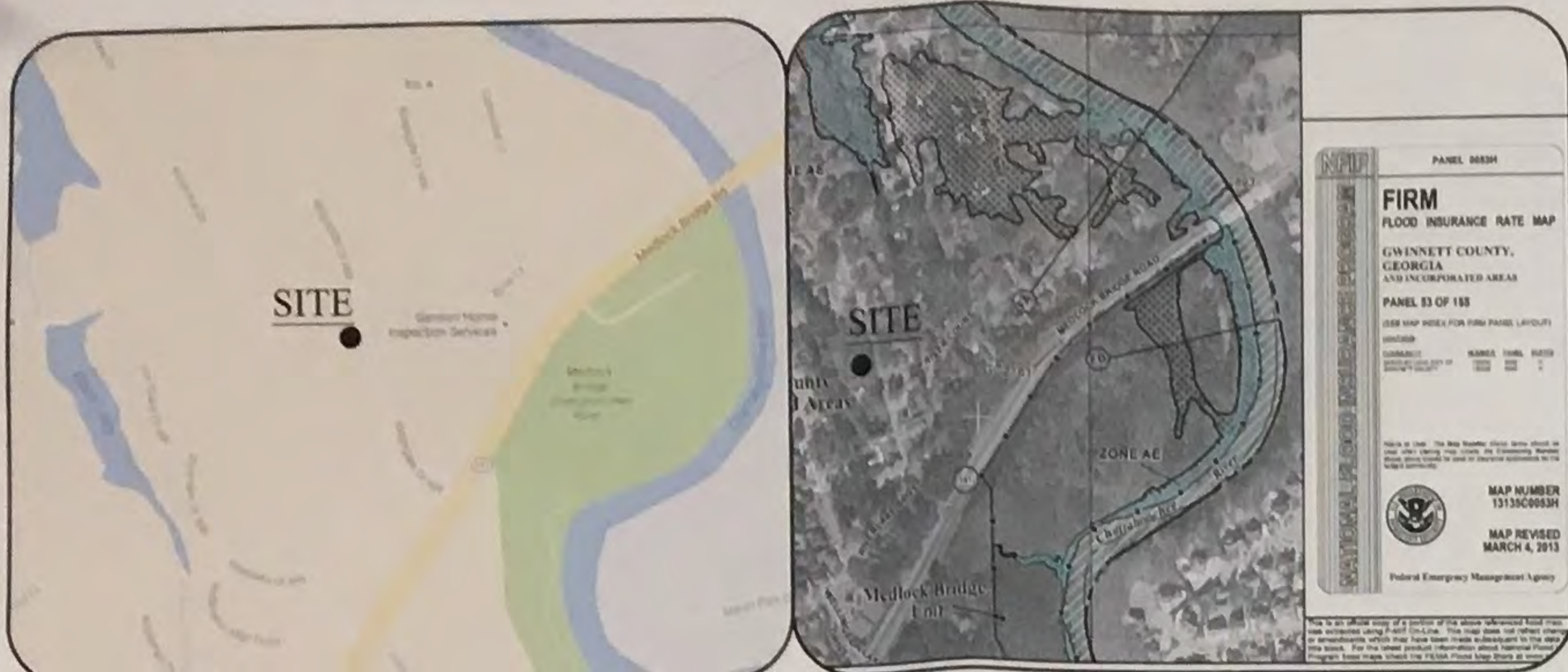
SITE PLAN

PREPARED FOR: MARK SCHALLER
LOT 5, BLOCK C, UNIT 2, RIVERVIEW ESTATES SUBDIVISION
LAND LOTS 318 & 319, 6TH DISTRICT
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
DATE: 5/2/2017



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL #13699



Vicinity Map (NTS)

ZONING: R-100

MIN. FRONTAGE 100 FT
MINIMUM LOT AREA: 25,000 SF (SEPTIC)

R-100 SETBACKS AS PER PLAT

FRONT: 50 FT (COUNTY), 75 FT (COMMUNITY)
SIDE: 25 FT (COUNTY), 30 FT (COMMUNITY)
REAR: 40 FT
BUILDING HEIGHT: 35 FT
MIN. F.A.R.: 1.40 SF
MAX. COVERAGE: N/A
MIN. 2 PARKING SPACES PER DWELLING

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

OWNER

MARK SCHALLER
4596 RIDGEGATE DRIVE
DULUTH, GEORGIA 30097

24-HR EMERGENCY CONTACT

LEWIS REEVES
404.219.2151

FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:

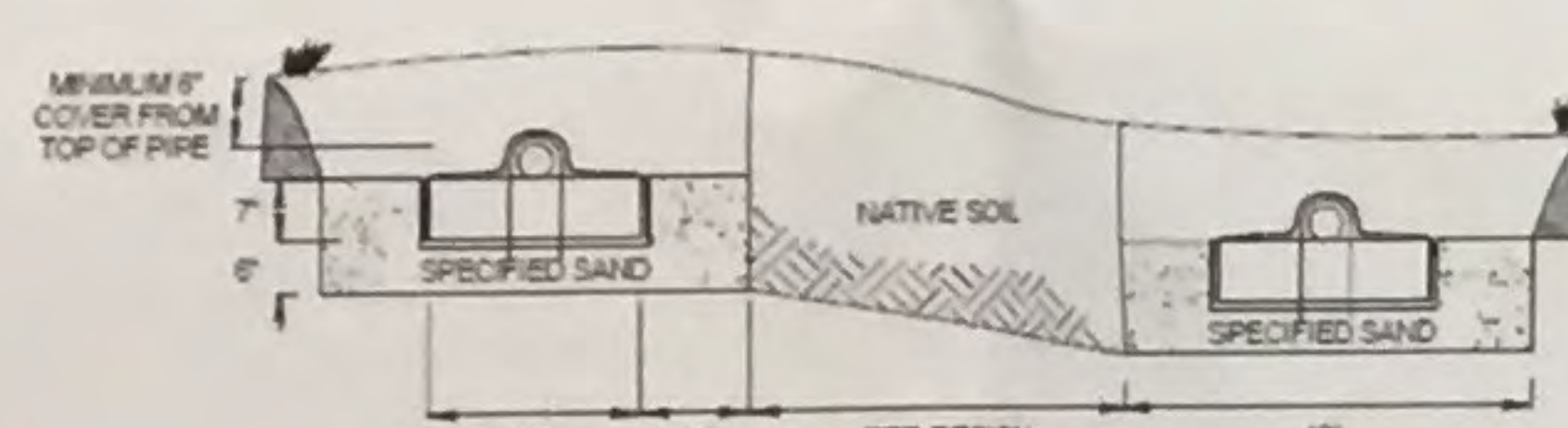
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE FIRM MAP OF GWINNETT COUNTY (CITY OF DULUTH), GEORGIA PANEL #13135C0053H, EFFECTIVE 03/04/2013

Specified Sand
To ensure proper system operation, the system must be installed using ASTM C33 sand with less than 10% passing a #100 sieve and less than 5% passing a #200 sieve. Listed below is a chart outlining the sieve requirements for the Specified Sand. Ask your material supplier for a sieve analysis to verify that your material meets the required specifications.

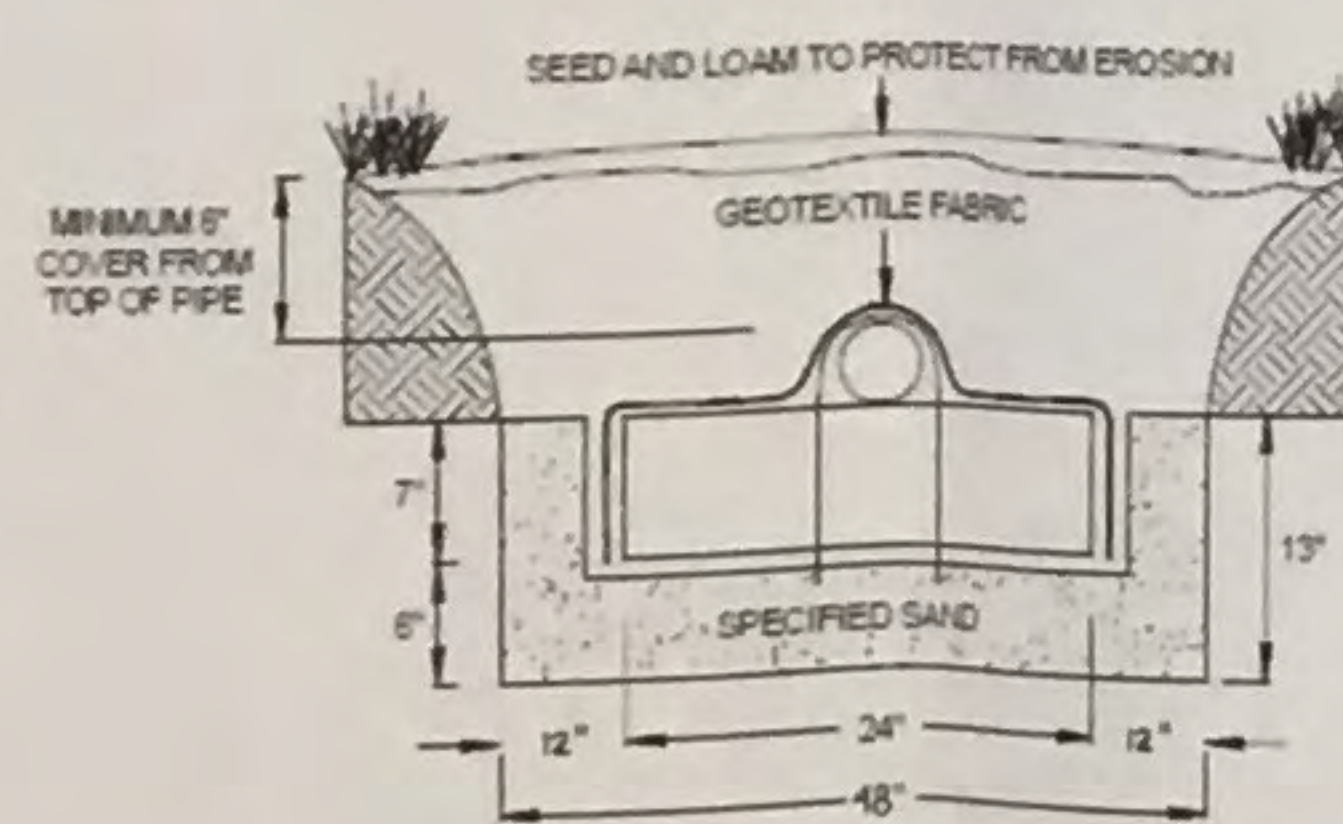
TABLE 1: SPECIFIED SAND SIEVE REQUIREMENTS

Sieve Size	Sieve Square Opening Size	Specification Percent Passing (Wet Sieve)
3/8 inch	9.52 mm	100
No. 4	4.75 mm	95 - 100
No. 8	2.36 mm	80 - 100
No. 30	590 µm	25 - 60
No. 50	297 µm	5 - 30
No. 100	149 µm	0 - 10
No. 200	75 µm	0 - 5

GEORGIA - FIGURE 10: SECTION VIEW - 600 GPD - TRENCH SYSTEM - SLOPING SITE



GEORGIA - FIGURE 7: TYPICAL A42 GSF CROSS SECTION



A42 MODULE (L x W x H) 48" x 24" x 7"

All Systems are required to have a Minimum of:

- 6 inches of Specified Sand at the edges of the GSF module
- 6 inches of Specified Sand at the beginning and end of each GSF Trench
- 6 inches of Specified Sand directly below the GSF module
- 6 - 12 inches of native soil fill over the pipe

GENERAL NOTES:

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- BOUNDARY REFERENCE: DB 54153, PG 591, PB U, PG 163
- FIELDWORK PERFORMED ON 09/20/2016
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275.563 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,835 FEET, AND AN ANGULAR ERROR OF 0.3 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
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- PROJECT NARRATIVE: SITE LOCATION: 4596 RIDGEGATE DRIVE, PEACHTREE CORNERS, GEORGIA 30097

CONSTRUCTION OF A SINGLE FAMILY RESIDENCE
SEE ARCHITECTURAL PLANS FOR MORE DETAIL

EROSION & SEDIMENT CONTROL PRACTICES

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
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- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN 45% AND PLANTED WITHIN 14 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

CONSTRUCTION LEGEND

(Co)	CONSTRUCTION EXIT
(Cw)	CONCRETE WASHDOWN
(Ci)	CONSTRUCTION OF NEW HOUSE
(C2)	CONSTRUCTION OF CONCRETE DRIVEWAY
(C3)	CONSTRUCTION OF CONCRETE PATIO
(C4)	CONSTRUCTION OF SWIMMING POOL
(C5)	CONSTRUCTION OF RETAINING WALL*
(SA)	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
(Du)	DUST CONTROL AREA AND WASH STATION

*RETAINING WALL DESIGN BY OTHERS

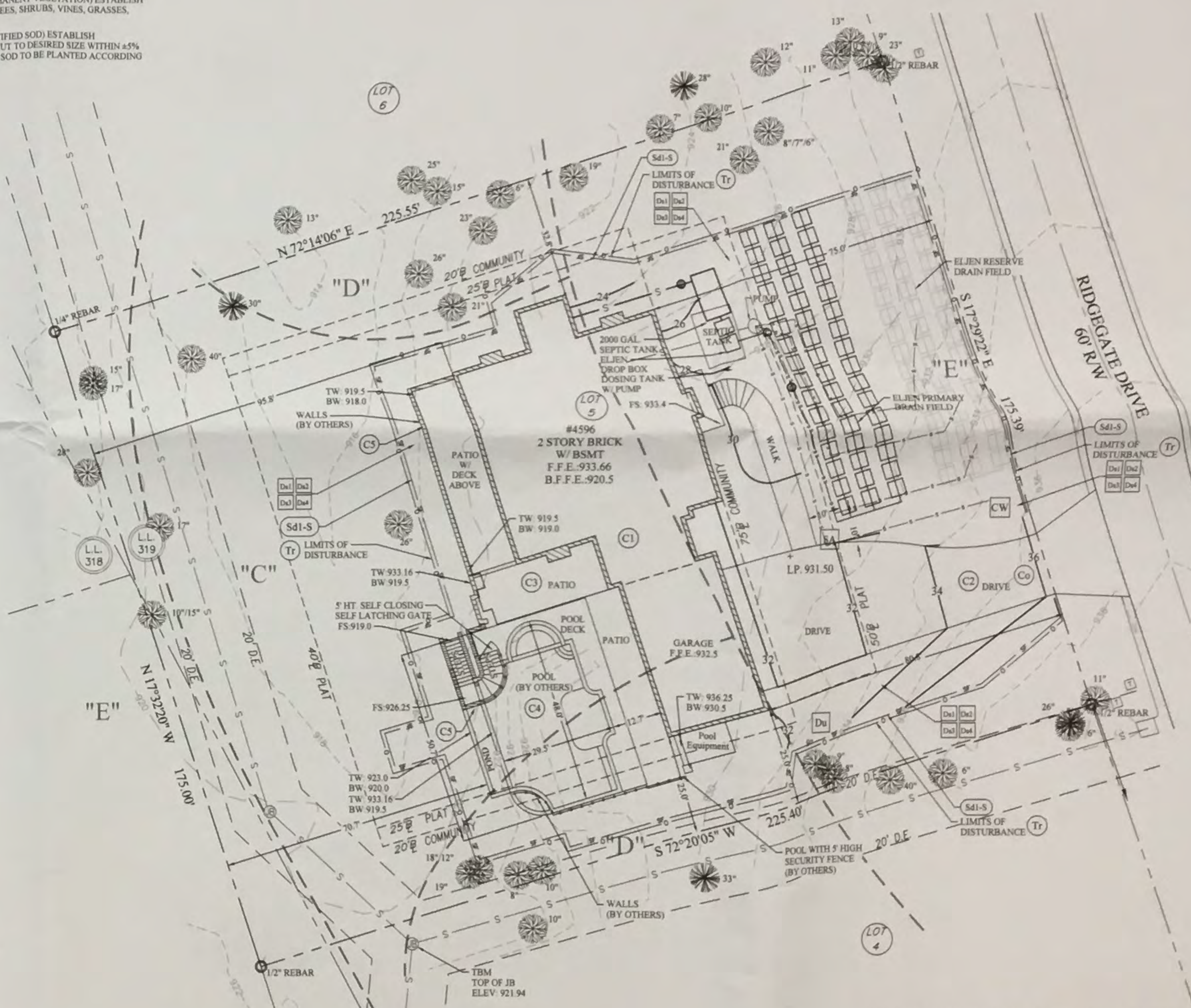
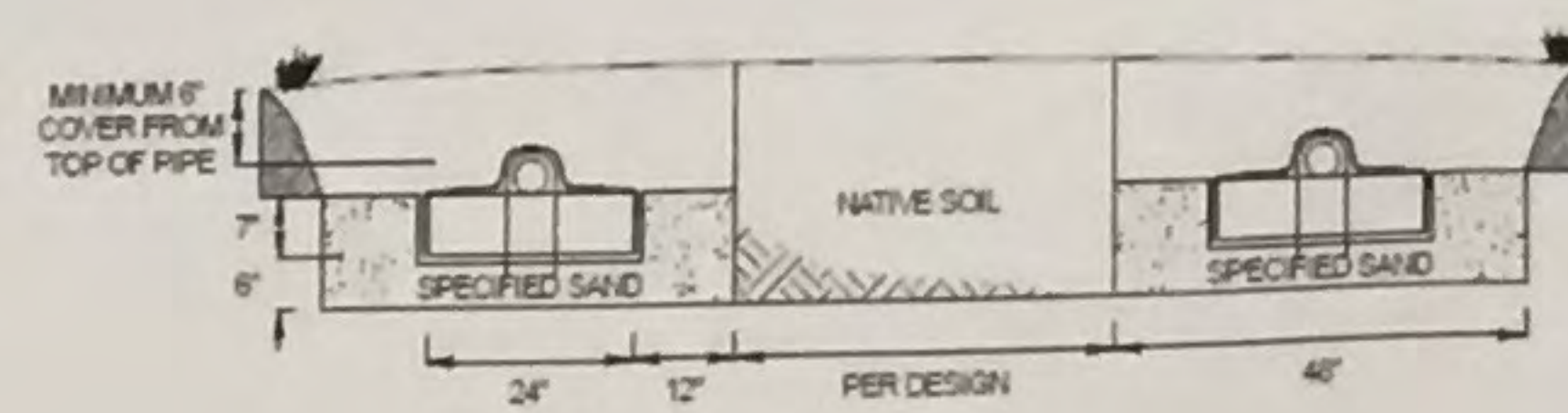
MAIN SEPTIC GSF SYSTEM:

(1)	MAIN SEPTIC GSF SYSTEM: ---Eljen units 4' x 2' w---	(2)	Desc
(a)	HOUSE SIZE	6	BEDROOMS
(b)	SOIL PERMEABILITY MIN/IN	60	MIN/IN
(c)	SEPARATION DISTANCE TO LIMITING LAYER - 2 FT		
(d)	TRENCH WIDTH - 4 FT		
(e)	DESIGN FLOW - 150 GPD X (a) BEDROOMS =	900	GPD
(f)	AS PER APPENDIX A AND APPLICATION RATE		
(g)	MINIMUM NUMBER OF UNITS REQUIRED	48	A42 MODULES
(h)	APPLICATION RATE	0.896	GPD/SF
(i)	NUMBER OF TRENCHES	3	
(j)	MINIMUM BOTTOM AREA FOR THE TRENCH		
(k)	DESIGN FLOW + APPLICATION RATE = (e) GPD + (h) GPD/SQ.FT.	1005	SF
(l)	TRENCH WIDTH	4	FT
(m)	TRENCH LENGTH		
(n)	MINIMUM BOTTOM AREA (g) + TRENCH WIDTH (l) x NUMBER OF TRENCHES (i)	84	LF
(o)	NUMBER OF MODULES PER ROW		
(p)	(d) MODULES / (f) ROWS	16	Mod/Row
(q)	SPACING OF A42S INSIDE THE TRENCH =		
(r)	(i) - 5 FT (6" SAND AT EACH END OF TRENCH + 1 unit) + (p) - 1	5.27	LF
(s)	EDGE TO EDGE SPACING = CENTER TO CENTER SPACING - 4	1.27	FT
(t)	AREA = TRENCH BOTTOM AREA (WIDTH (l) x LENGTH (j)) + TRENCHES (i)	1008	SF

DOSING DESIGN CRITERIA: DOSING VOLUME MUST BE SET TO DELIVER A MAXIMUM OF 3.5 GALLONS PER A42 MODULE PER DOSING CYCLE WITH LOW HEAD HIGH VOLUME PUMPS PREFERRED. HIGHER FLOW RATES AND A SHORT DOSE CYCLE PUSH THE EFFLUENT DOWN THE LINE AND THUS DISPERSE THE EFFLUENT OVER A LARGER AREA. A VALVE ON THE FORCE MAIN IS RECOMMENDED TO SET THE FLOW RATE SO THAT THE ORIFICES ON THE OUTLET PIPES ARE SUBMERGED AND THE D-BOX DOES NOT OVERFLOW. ADJUSTMENT OF THE FLOW RATE IS LIKELY NEEDED IF A ROW OF MODULES ARE RESTED THUS CHANGING THE NUMBER OR OUTLETS. FEWER OUTLETS IN THE D-BOX FORCE MORE EFFLUENT DOWN EACH LINE AND IMPROVE LINEAR LOADING. HEAD LOSS AND DRAIN BACK VOLUME MUST BE CONSIDERED IN CHOOSING THE PUMP SIZE AND FORCE MAIN DIAMETER.

USE THESE CALCULATIONS FOR THE RESERVE SYSTEM

GEORGIA - FIGURE 9: SECTION VIEW - 600 GPD - TRENCH SYSTEM - LEVEL SITE



PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

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GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

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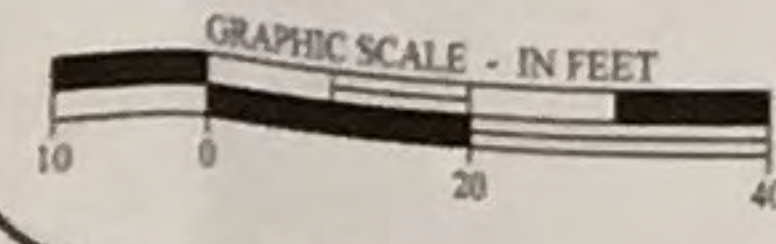
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LEGEND:

- PROPERTY CORNER
- 1/2" REBAR WITH CAP
- SET L598 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- AC UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- LAND LOT

- CONC. CONCRETE
- BOF. EDGE OF PAVEMENT
- CONTOUR LINE
- F.F.E. FINISH FLOOR ELEVATION
- B.F.E. BASEMENT FLOOR ELEVATION
- G.F.E. GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION

- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW

TREE LEGEND:

- HARDWOOD TREE
- PIKE TREE
- TREE TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED



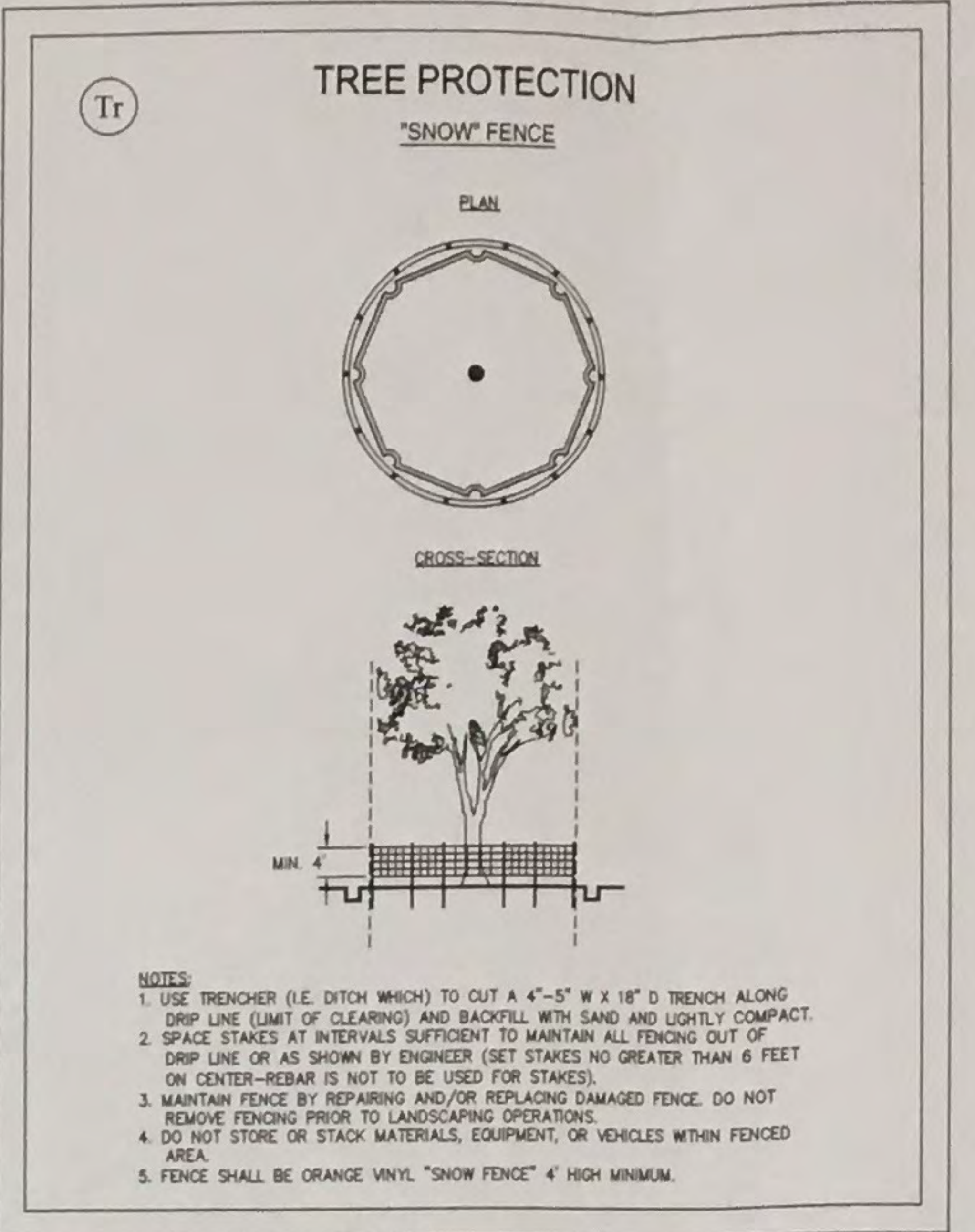
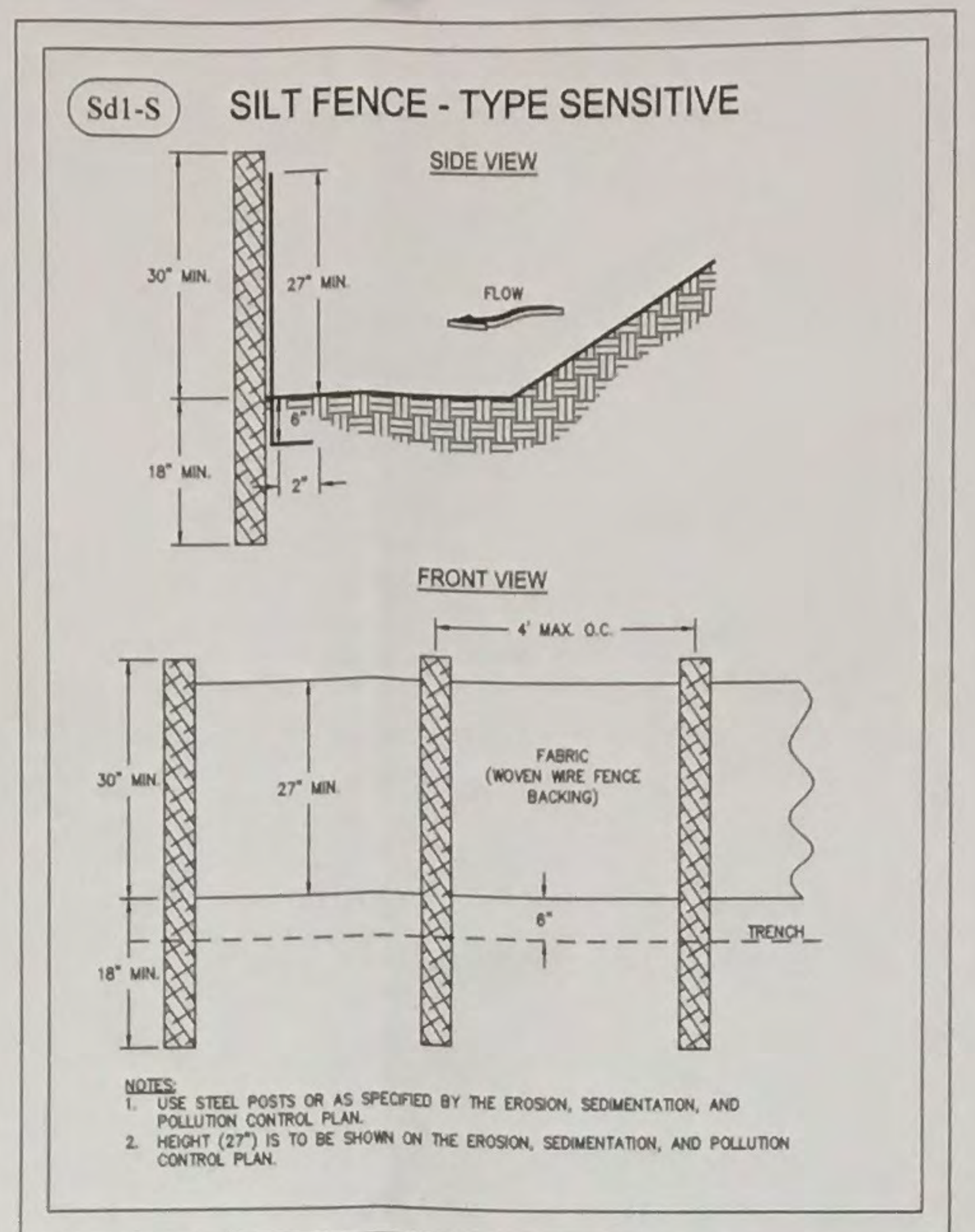
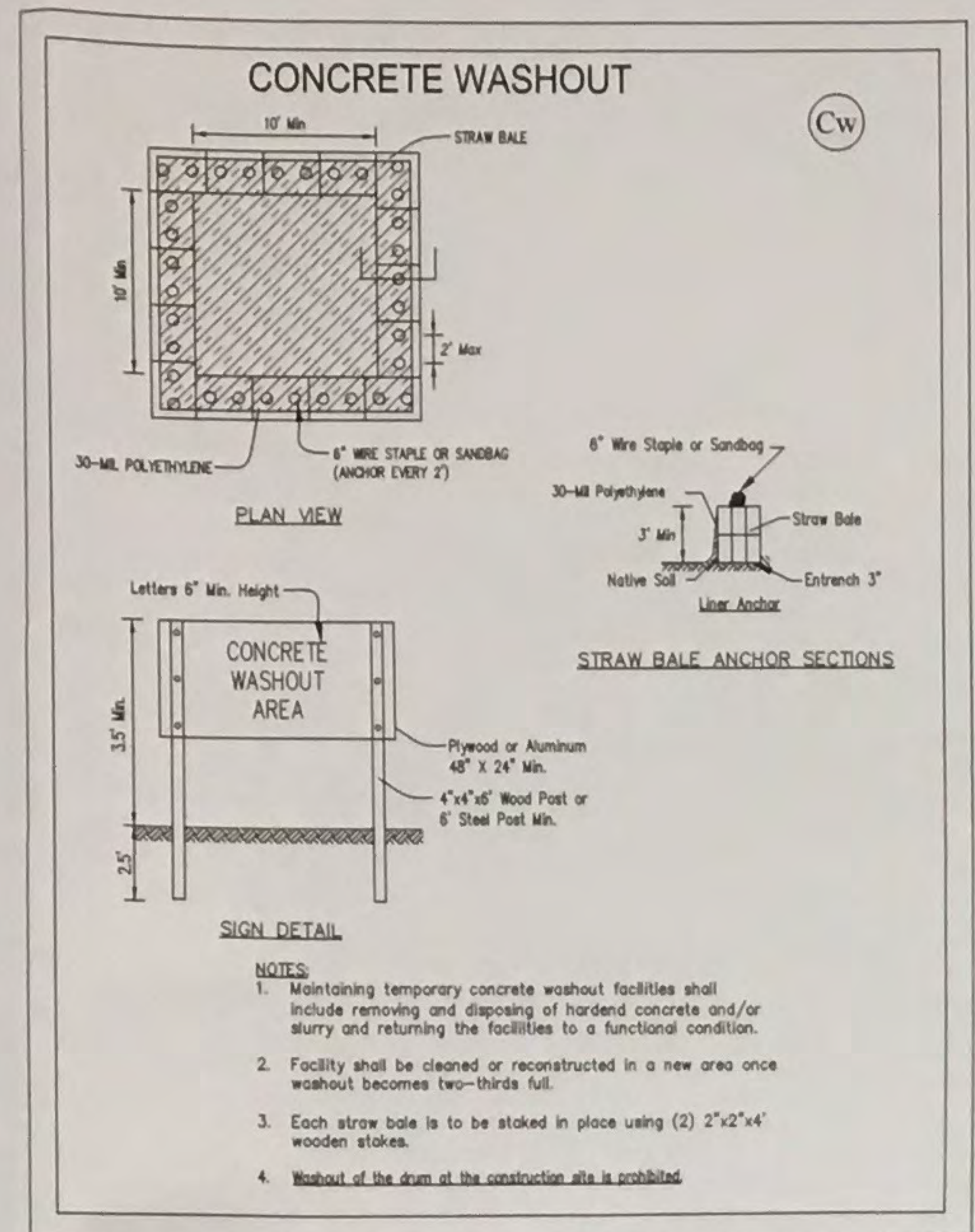
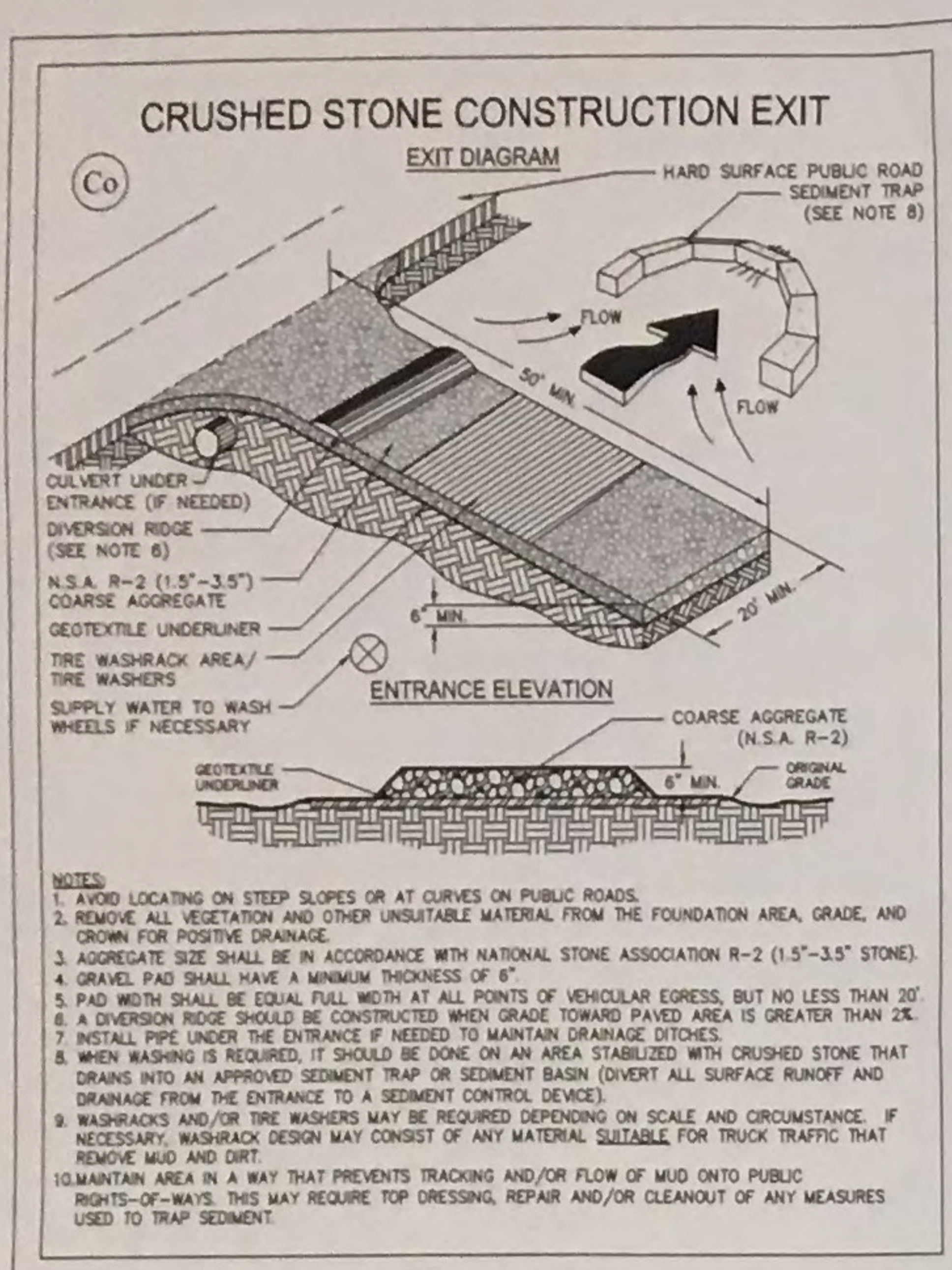
BOUNDARY zone inc.
LAND SURVEYING SERVICES
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LAND PLANNING
WWW.BOUNDARYZONE.COM (770) 271-5772 (919) 363-9226

REYFORD
4197 SOUTH LEE STREET, SUITE 2
REYFORD, GEORGIA 30518
ATLANTA
231 PEACHTREE STREET SE, SUITE 400
ATLANTA, GEORGIA 30339
MARKETTA
1470 THE EXCHANGE, SUITE 100
MARKETTA, GA 30059
RALEIGH
2284-C CANNON DRIVE, APT. 202
NORTH CAROLINA 27615

PROJECT
17747.02
SHEET
5 OF 7

SEPTIC SYSTEM LAYOUT PLAN
PREPARED FOR: MARK SCHALLER
LOT 5, BLOCK C, UNIT 2, RIVERVIEW ESTATES SUBDIVISION
LAND LOTS 318 & 319, 6TH DISTRICT
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
DATE 5/2/2017





LEVEL 3 GWINNETT COUNTY SOIL INVESTIGATION REPORT

4596 RIDGEGATE DRIVE DULUTH, 30097
LOT 5-C RIVERVIEW ESTATES S/D, LAND LOT 319, 6TH DISTRICT
OWNER MARK SCHALLER thru BOUNDARY ZONE, INC. 770-271-5772 - GREG

CECIL, 2-6% SLOPES

WEDOWEE, 2-6% SLOPES
-inclusions similar to Pacolet soil.

HARD LABOR I, 2-6% SLOPES

ABELL, 2-6% SLOPES
-inclusions of Toccoa soil. Major wet weather wash and water collection area here.

FILL, 6-15% SLOPES
-small area around the back of the existing carport.

ESTIMATED SOIL PROPERTIES BASED ON MEASUREMENTS					
SOIL SERIES	DEPTH TO BEDROCK	DEPTH TO SEASONAL WATER TABLE	MIN/INCH PERCOLATION RATE	SLOPES	SUITABILITY CODE
CECIL	72"+	72"+	45	4-6	30-48" A
WEDOWEE	72"+	72"+	45	3-5	30-48" A
HARD LABOR I	72"+	36-48"	65	3-5	18-24" C
ABELL	72"+	6-30"	—	2-5	— F
FILL	72"+	48-72"+	—	6-15	— F

SUITABILITY CODE A-these soils are generally suitable for a conventional absorption field with proper design, installation and maintenance. Be sure gutter drains are piped out past and away from tank and drain field areas and surface water is diverted away from these areas as well.

SUITABILITY CODE C-this soil is generally not suitable for a conventional absorption field due to seasonal saturation. This soil is suitable for an alternative system, see Health Dept.

SUITABILITY CODE F-these soils are generally not suitable for on-site sewage disposal due to fill material, shallow seasonal saturation, water collection, and major wet weather wash.

NOTE: This report is null and void if area is cut or filled after time of field study. Measurements and depth's given are from the existing soil surface at time of field work.

10-19-16
This is a Level 3 Soil Survey
Soil Scientist: Pete Avers Jr.
770-972-1079



AVERS SOIL SURVEYS, INC.
2820 ADAMS POINTE DRIVE
SNELLVILLE, GA. 30078

DETAILS
PREPARED FOR: MARK SCHALLER
LOT 5, BLOCK C, UNIT 2, RIVERVIEW ESTATES SUBDIVISION
LAND LOTS 318 & 319, 6TH DISTRICT
4596 RIDGEGATE DRIVE
PEACHTREE CORNERS, GEORGIA 30097
DATE 5/2/2017

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

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TOTAL AREA: 0.967 ACRES / 99,502 SQUARE FEET

BOUNDARY REFERENCE: DB 54153, PG 591, PB 1, PG 163
FIELDWORK PERFORMED ON 06/20/2016

THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 275,563 FEET

THIS PLAN HAS BEEN PREPARED USING A TRUMBLE 5603 ROBOTIC TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 41,535 FEET, AND AN ANGULAR ERROR OF 60 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMBASS RULE

LEGEND:

- PROPERTY CORNER
- FOUND (AS NOTED)
- 1/2" REBAR WITH CAP
- SET LSP# 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- A/C UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BSL
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- (TYP)
- LAND LOT
- CONC. CONCRETE
- BOX
- EDGE OF PAVEMENT
- 0-0- CONTOUR LINE
- F.F.E. FINISH FLOOR ELEVATION
- B.F.E. BASEMENT FLOOR ELEVATION
- G.F.E. GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- 1023.61 SURFACE ELEVATION
- 770.00001 TOP OF WALL ELEVATION
- 888.12389 BOTTOM OF WALL ELEVATION
- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW
- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED

811
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BUFFORD
4185 SOUTH LEE STREET, SUITE 1
BUFFORD, GEORGIA 30518

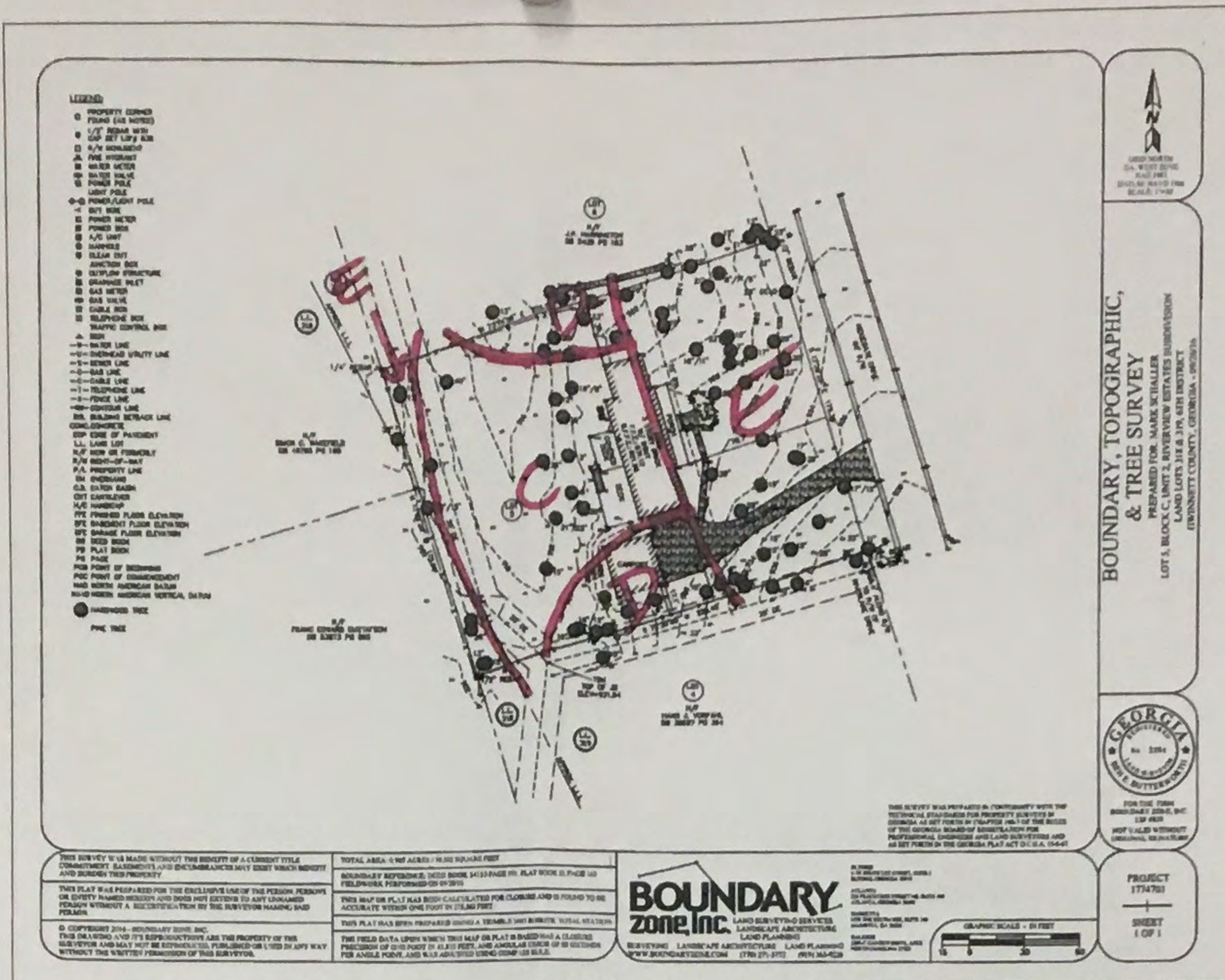
ATLANTA
225 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303

MARIETTA
1875 THE EXCHANGE, SUITE 100
MARIETTA, GA 30060

RALEIGH
2285-C CANNON DRIVE, APT. C
NORTH CAROLINA 27613

PROJECT
17747.02

SHEET
6 OF 7



4596 Ridgeway Drive Reanalysis
City of Peachtree Corners
December 15, 2016

Vulnerability Factor	Factor Subgroup	Score
Geology	Diverse-Cretaceous	5
Hydrology	Interbasin	20
Aspect	North	6
Slope	0-10%	3
SUBTOTAL		34
Vegetation	Open	10
	Pine	15
SUBTOTAL		44
Soils	Low Erodibility	4
	Moderate to Highly Erodible	16
TOTAL		48
CATEGORY		C

The C category includes scores from 38 to 49
The D category includes scores from 50 to 59
The E category includes scores from 60 to 79

404-CUT-TREE
886 Langford Lane
Norcross, GA 30071
770-734-9648

Tuesday, February 14, 2017

Mark Schaller
4596 Ridgeway Dr. NW
Duluth, Ga. 30097
336.509.3597

Sent Via email: mschaller@mac.com

Subject: 4596 Ridgeway Dr. NW Arborist Consult

Dear Mark Schaller,
DBH on site

Tree #	(Inches)	Species	Description
1	12/19	Oak	DDH, rot in base, crack b/w trunks
2	22	Pine	DDH, Canker in trunk
3	12	Oak	DDH, rot in base
4	24	Pine	DDH, Canker in trunk
5	9	Oak	DDH, dead
6	18	Pine	DDH, Canker in trunk
7	17	Oak	DDH, severe lean, canker in base
8	10	Hickory	DDH, hollow base
9	19	Oak	DDH, rot/hollow base
10	13	Oak	DDH, rot/hollow base
11	21	Oak	DDH, severe lean, rot in base
12	25	Oak	DDH, dead
13	20	Pine	DDH, Canker in trunk
14	11/15	Oak	DDH, dead leader, ambrosia beetles
15	11/17	Oak	DDH, rot/hollow base
16	9	Sweetgum	DDH, rot in trunk
17	8/18	Hickory	DDH, rot/canker in base
18	15	Sweetgum	DDH, hollow base
19	22	Oak	DDH, rot/hollow base
20	15	Maple	DDH, rot in trunk, beetles
21	28	Oak	DDH, rot in trunk, old lightning strike
22	16/14	Maple	DDH, hollow trunk, canker in base
23	18/22	Oak	18" leader: rot/hollow base, 22" leader: severe lean

These are my findings based on a visual ground inspection. Bare in mind this is a visual ground inspection. The scope of this inspection covers only what could be seen by the naked eye from the ground and by use of a sounding hammer (rubber mallet). It does not cover items underground nor above ground for an aerial inspection. Trees are living things and conditions can change at a moment's notice.

Sincerely,
Stuart Prince
Certified Arborist SO-6062A

DETAILS

PREPARED FOR: MARK SCHALLER
LOT 5, BLOCK C, UNIT 2, RIVERVIEW ESTATES SUBDIVISION
LAND LOTS 318 & 319, 6TH DISTRICT
4596 RIDGEWAY DRIVE
PEACHTREE CORNERS, GEORGIA 30067
DATE: 5/2/2017

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GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699



FOR THE FIRM
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THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 273,463 FEET.

THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5600 ROBOTIC TOTAL STATION.

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 45,815 FEET, AND AN ANGULAR ERROR OF 0.5 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPARISONS.

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LEGEND

- PROPERTY CORNER (Found as Noted)
- 1/2" REBAR WITH CAP SET LAST 8/19
- RAW MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAIN
- SIGN
- POWER METER
- POWER BOX
- AC UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- LAND LOT
- CONC. CONCRETE
- TOP EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED
- SPECIMEN TREE
- TO BE REMOVED

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PROJECT
17747.02
SHEET
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