



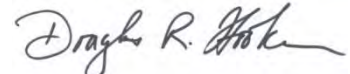
REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 40 Courtland Street NE, Atlanta, Georgia 30303 • ph: 404.463.3100 • fax: 404.463.3105 • www.atlantaregional.com

DATE: July 7, 2017

ARC REVIEW CODE: V1707071

TO: Mayor Rusty Paul, City of Sandy Springs
ATTN TO: Sandra DeWitt, City Arborist, City of Sandy Springs
FROM: Douglas R. Hooker, Executive Director, ARC


Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-17-02SS 65 River Park Drive

Review Type: Metro River

MRPA Code: RC-17-02SS

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for the addition of a pool and patio to an existing pre-act single-family house.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Sandy Springs

Land Lot: 127 **District:** 17 **Section:**

Date Opened: July 7, 2017

Deadline for Comments: July 17, 2017

Earliest the Regional Review can be Completed: July 17, 2017

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
COBB COUNTY

ARC NATURAL RESOURCES DIVISION
GEORGIA CONSERVANCY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA

If you have questions regarding this review, please contact Andrew Smith at asmith@atlantaregional.org or (404) 463-5581. If ARC does not receive comments from you on or before **July 17, 2017**, we will assume that your agency has no additional comments and will close the review. Comments by e-mail are encouraged. The ARC review website is located at <http://www.atlantaregional.org/land-use/planreviews>.

Attached is information concerning this review.

ARC STAFF NOTICE OF REGIONAL REVIEW AND COMMENT FORM

DATE: July 7, 2017

ARC REVIEW CODE: V1707071

TO: ARC Community Development and Natural Resources Managers

FROM: Andrew Smith, Extension: 378-1645

Reviewing staff by Jurisdiction:

Community Development: Smith, Andrew

Natural Resources: Santo, Jim

Name of Proposal: RC-17-02SS 65 River Park Drive

Review Type: Metro River

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Submitting Local Government: City of Sandy Springs

Date Opened: July 7, 2017

Deadline for Comments: July 17, 2017

Earliest the Regional Review can be Completed: July 17, 2017

Response:

- 1) Proposal is **CONSISTENT** with the following regional development guide listed in the comment section.
- 2) While neither specifically consistent nor inconsistent, the proposal relates to the following regional development guide listed in the comment section.
- 3) The proposal is **INCONSISTENT** with the following regional development guide listed in the comment section.
- 4) The proposal does **NOT** relate to any development guide for which this division is responsible.
- 5) Staff wishes to confer with the applicant for the reasons listed in the comment section.

COMMENTS:

[illegible]

**APPLICATION FOR
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE**

1. Name of Local Government: Sandy Springs
2. Owner(s) of Record of Property to be Reviewed:
Name(s): Richard and Ashley Groff II
Mailing Address: 165 River Park Dr.
City: Sandy Springs State: GA Zip: 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: (678) 523-6289 Fax: _____
Other Numbers: (678) 523-6290
3. Applicant(s) or Applicant's Agent(s):
Name(s): Ashley Groff
Mailing Address: 165 River Park Dr.
City: Sandy Springs State: GA Zip: 30328
Contact Phone Numbers (w/Area Code):
Daytime Phone: (678) 523-6289 Fax: _____
Other Numbers: (678) 523-6290
4. Proposed Land or Water Use:
Name of Development: installing in ground swimming pool
Description of Proposed Use: 18 x 36 swimming pool with 550 sq. ft
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: 127 17th District Fulton Co.
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: Riverside Estates, Unit Two-A, Block C, Lot 6, 870' to River Ct. Pkwy
Size of Development (Use as Applicable):
Acres: Inside Corridor: 0.663
Outside Corridor: 0
Total: 0.663
Lots: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

☒ B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
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A _____ (90) _____ (75) _____

B _____ (80) _____ (60) _____

C _____ (70) _____ (45) _____

D 0.663 acres 14,442 SF 8,665 SF (50) 50% (30) 30%
(28,884 SF - Cons 7/1/12) (Cons 7/1/17) (Cons 7/1/12) (Cons 7/1/17 - note)

E _____ (30) _____ (15) _____

F _____ (10) _____ (2) _____

Total: 0.663 acres 14,442 SF 8,665 SF N/A N/A
28,884 SF (Cons 7/1/12) (Cons 7/1/17) (Cons 7/1/17)

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

☒ Written consent of all owners to this application. (Space provided on this form)

☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

☒ Description of proposed use(s). (Space provided on this form)

☒ Existing vegetation plan.

☒ Proposed grading plan.

☒ Certified as-builts of all existing land disturbance and impervious surfaces.

☐ Approved erosion control plan. City has to approve first

☐ Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☒ Documentation on adjustments, if any.

☐ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☐ Site plan.

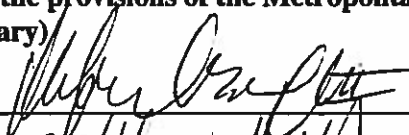
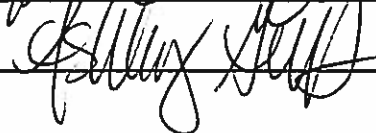
☐ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.

☐ Lot-by-lot and non-lot allocation tables.

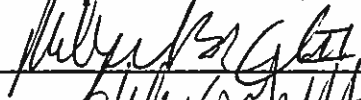

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

	RICK GROFF	6/23/2017
	ASHLEY GROFF	6/23/2017

Signature(s) of Owner(s) of Record

Date


13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

	RICK GROFF	6/23/2017
	ASHLEY GROFF	6/23/17

Signature(s) of Applicant(s) or Agent(s)

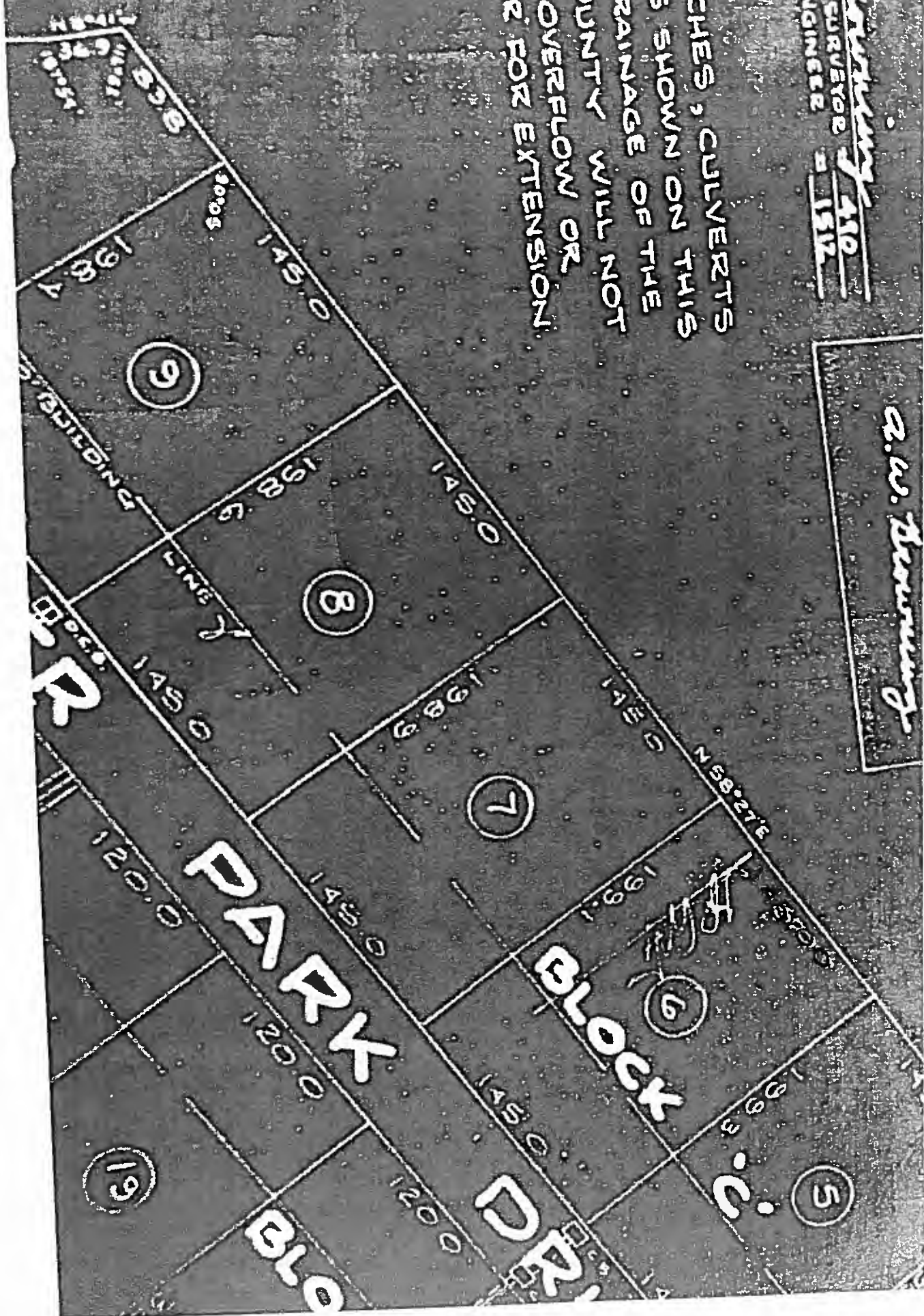
Date

14. The governing authority of City of Sandy Springs requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

		6/26/17
Signature of Chief Elected Official or Official's Designee		Date

A. W. Downing

RANCHES, CULVERTS
LINES SHOWN ON THIS
A DRAINAGE OF THE
COUNTY WILL NOT
FOR OVERFLOW OR
FOR EXTENSION.



Please return to
CAMPBELL & BRANNON, L.L.C.
1514 ROBINSON HERRY RD
SUITE 225
MARLBETTA, GEORGIA 30067
File # C1814461
Phone (770) 321-0222
Fax (770) 321-1622

Deed Book 54323 Pg 513
Filed and Recorded Oct-28-2014 08:38am
2014-0312434
Real Estate Transfer Tax \$481.00
Cathelene Robinson
Clerk of Superior Court
Fulton County, Georgia

US

65 River Park

STATE OF GEORGIA
COUNTY OF COBB

LIMITED WARRANTY DEED

THIS INDENTURE made this 20th day of October, in the year 2014, between

JODIE M. W. HUTCHENS and JOHN P. HUTCHIENS ,

as party or parties of the first part, hereinafter called Grantor, and

RICHARD B. GROFF, II and ASHLEY P. GROFF ,
AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP

(hereinafter referred to as "Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits; WITNESSETH

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 127 OF THE 17TH DISTRICT OF FULTON COUNTY, GEORGIA, BEING LOT 6, BLOCK C, RIVERSIDE ESTATES SUBDIVISION, UNIT TWO-A, AS PER PLAT RECORDED IN PLAT BOOK 78, PAGE 7, FULTON COUNTY, GEORGIA RECORDS, WHICH RECORDED PLAT IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART OF THIS DESCRIPTION. (11)

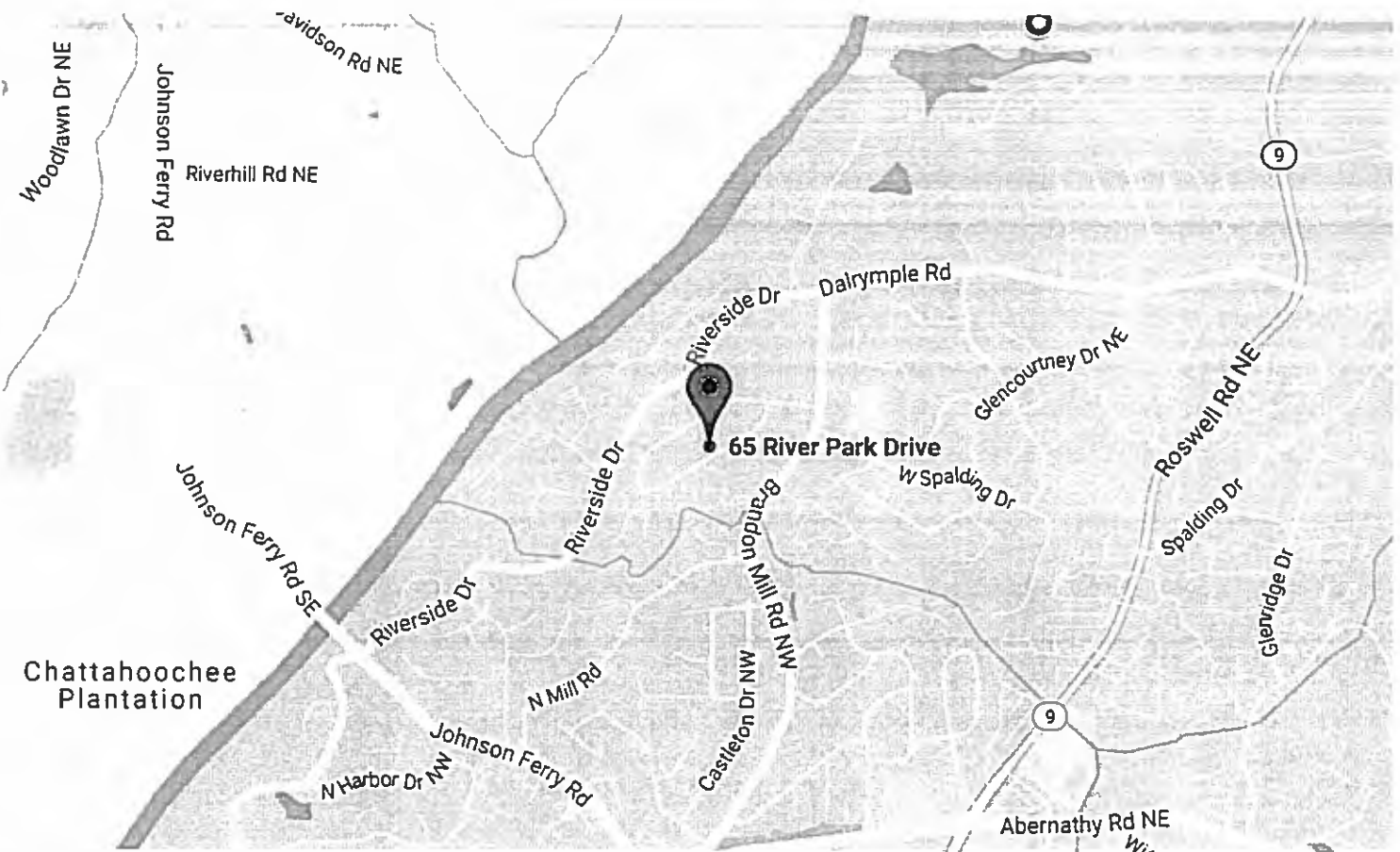
TOGETHER WITH all and singular the rights, members and appurtenances thereto (hereinafter collectively referred to as the "Premises"); the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of Grantee.

Subject to all easements, rights of way, and restricted covenants of record (hereinafter referred to as the "Exceptions")



65 River Park Dr
65 River Park Dr, Atlanta, GA 30328

Google



Canopy Coverage for 65 River Park Drive

Hardwoods 18 1,000 55.

Ratio 55.6

diameter (inches) sq. feet canopy coverage

10 555.56

8 444.44

26 1,444.44

7 388.89

6 333.33

16 888.89

8 444.44

11 611.11

7 388.89

14 777.78

26 1,444.44

8 444.44

18 1,000.00

21 1,166.67

Hardwood total: 10,230.00 square feet

Pine

diameter (inches) sq feet canopy coverage

21 1,155.00

14 825.00

20 1,100.00

24 1,320.00

23 1,265.00

20 1,100.00

25 1,375.00

16 880.00

18 1,000.00

18 1,000.00

6 330.00

11 605.00

Pine Total: 11,955.00 square feet

Total canopy coverage after removal 22,185.00

Total Land Area 28,884.00

% canopy coverage after removal: 76.81%

Taking into consideration some of the trees are closer together and would not provide the full 100% canopy coverage calculated above, a reasonable estimation would be a 50% canopy coverage after the removal of the trees marked in our backyard for our project.



SITE LOCATION MAP

FLOOD NOTE

THIS SITE IS LOCATED WITHIN A ZONE X AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13121C0134G FOR UNINCORPORATED FULTON COUNTY, GEORGIA. EFFECTIVE DATE: 09/18/2013

GENERAL NOTES (SITE PLAN)

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION & SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLANS SHALL BE IMPLEMENTED AS NECESSARY.

DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED.

MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.

STATEMENT: ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR.

TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF SANDY SPRINGS STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.

ALL GRADED SLOPES TO BE 3H : 1V OR GREATER. ALL LOTS WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.

ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS.

GRADE TO DRAIN AWAY FROM FOUNDATION.

NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.

LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA

THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. ☎ 1-800-282-7411 IT'S THE LAW.

SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.

3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. 4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

PER ZONING ORDINANCE SECTION 6.9.3.1, ACCESSORY STRUCTURES MAY BE LOCATED IN REAR AND SIDE YARDS ONLY BUT SHALL NOT BE LOCATED WITHIN A MINIMUM YARD (i.e. THE SIDE AND REAR YARD SETBACKS). ACCESSORY STRUCTURES INCLUDE BUT NOT LIMITED TO HEATING AND AIR CONDITIONING UNITS AND/OR PADS.

IF THIS RESIDENCE IS CONSTRUCTED CLOSER THAN 20 FEET TO ANOTHER RESIDENTIAL STRUCTURE OR OTHER OUTBUILDING LARGER THAN 300 SF, AUTOMATIC SPRINKLERS SHALL BE REQUIRED IN THE KITCHEN AND FUEL FIRED EQUIPMENT ROOM PURSUANT THE CITY OF SANDY SPRINGS FIRE ORDINANCE 2006-11-86: CHAPTER 15, HEALTH AND PUBLIC SAFETY, WHICH BECAME EFFECTIVE ON NOVEMBER 8, 2006.

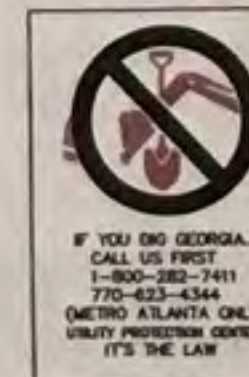
C.R.15 - WHERE CODE REQUIRES (REFERENCE LSC 7.1.B., A7.2.2.4.1, AND IRC R312.1) INSTALLATION OF A SAFETY RESTRAINT SYSTEM (GUARDRAIL) ALONG A RETAINING WALL, THE GUARDRAIL SHALL MEET STRENGTH REQUIREMENTS OF IBC 1607.7.1 AND, PER LSC 7.2.2.4.6, THE GUARD MUST BE NOT LESS THAN 42-INCHES HIGH AND BE CAPABLE OF PREVENTING: *A 2-INCH SPHERE FROM PASSING BETWEEN BOTTOM OF THE GUARD AND THE TOP OF WALL *A 4-INCH SPHERE FROM PASSING THRU GUARDRAIL UP TO 34 INCHES ABOVE TOP OF WALL *AN 8 INCH SPHERE FROM PASSING THRU GUARDRAIL UP TO 34 INCHES FROM TOP OF WALL

FOR ALL CASES WHERE A BUILDING FOOTPRINT PENETRATES THROUGH A POOL FENCE PERIMETER, ALL DOORS ON THE BUILDING(S) WHICH HAVE DIRECT ACCESS TO THE POOL AREA MUST BE EQUIPPED WITH AN AUDIBLE ALARM ACTIVATED BY OPENING THE DOOR

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED R-2A CITY OF SANDY SPRINGS BUILDING SETBACK: FRONT: 60.0' SIDE: 15.0' REAR: 40.0' MAX BUILDING HEIGHT 40'



NOTES:

1. ACCESSORY SITE FEATURES INCLUDING AC UNITS SHALL COMPLY WITH ALL MINIMUM YARD AND SETBACK REQUIREMENTS AND SHALL NOT BE LOCATED WITHIN THE SIDE YARD SETBACK LINE.

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY

TREE SAVE STATUS:

INDICATES TREE TO BE REMOVED

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

DIRT STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT 311
TOTAL OF GROSS CUBIC YARDS OF FILL 22
EXCESS OF SOIL TO BE HAULED OFF THE SITE

DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 05-20-2017
ANTICIPATED COMPLETION DATE: 12-20-2017
THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

* LEGEND *

POB POINT OF BEGINNING
LLL LAND LOT LINE
MH MAN HOLE
SSL SANITARY SEWER LINE
CB CATCH BASIN
JB JUNCTION BOX
DI DRAINAGE INLET
YI YARD INLET
HW HEAD WALL
PP POWER POLE
PW POWER LINE
SSE SANITARY SEWER EASEMENT
DE DRAINAGE EASEMENT
UE UTILITY EASEMENT
AE ACCESS EASEMENT
TB TOP OF BANK
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONC. PIPE
APP AS PER PLAT
APD AS PER DEED
APR AS PER RECORD
APF AS PER FIELD
BC BACK OF CURB
EP EDGE OF PAVEMENT
OU OWNERSHIP UNCLEAR
OH OVERHANG
GL GAS LINE
WM WATER METER
WL WATER LINE
WV WATER VALVE
N N'BORS.
IPF IRON PIN FOUND
IPS IRON PIN SET
OTF OPEN TOP PIPE FOUND
CTP CRIMP TOP PIPE FOUND
RBF REINFORCING BAR FOUND
AI ANGLE IRON FOUND
CP CALCULATED POINT
-X-X FENCE
CLF CHAIN LINK FENCE
WDF WOOD FENCE
WRF WIRE FENCE
FC FENCE CORNER
BL BUILDING LINE
R/W RIGHT-OF-WAY
PL PROPERTY LINE
PC PROPERTY CORNER
CL CENTER LINE
BR BRICK
FR FRAME
WD WOOD
P PLAT
D DEED
R RECORD
F FIELD
C.O.A. CITY OF ATLANTA

(Co) CONSTRUCTION ENTRANCE/EXIT

(Sd1-S) INDICATES Sd1 TYPE S SILT FENCE

INDICATES TREE PROTECTION FENCE

Ds1	DISTURBED AREA STABILIZATION (WITH MULCH)
Ds2	DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)

NAME, ADDRESS, AND PHONE NUMBER OF PLAN PREPARER:

COMPANY: SURVEY LAND EXPRESS
TEL: 404-252-5747

OWNER'S NAME AND ADDRESS:

RICHARD B GROFF II
65 RIVER PARK DRIVE SANDY SPRINGS, GA 30328

24HR CONTACT INFO

NAME, ADDRESS, AND PHONE NUMBER OF DEVELOPER:
RICHARD B GROFF II
65 RIVER PARK DRIVE SANDY SPRINGS, GA 30328
24-HRS CONTACT RICHARD B GROFF II
TEL 678-523-6290

GSWCC - Level II - Bernard F Wolcott
Certification: 0000012632 Expires 3/14/2020

TREE PROTECTION

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

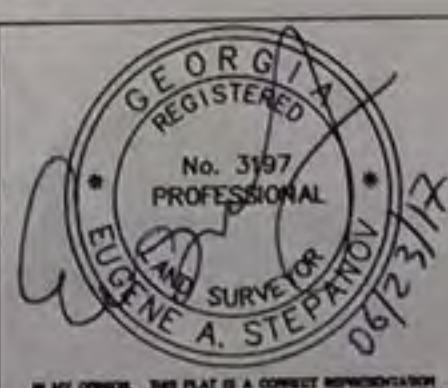
REVISION DATE:
06-14-2017
06-26-2017

LOT 6	BLOCK C
RIVERSIDE ESTATES SUBDIVISION	UNIT TWO-A
LAND LOT 127	17TH DISTRICT SECTION
FULTON COUNTY, GEORGIA	DB.54323/ PG.513 PB.78/PG.7
FIELD WORK DATE MAY 09, 2017	PRINTED/SIGNED MAY 23, 2017
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"

POOL PLAN PREPARED FOR:

RICHARD B GROFF II

PROPERTY ADDRESS:
65 RIVER PARK DRIVE
SANDY SPRINGS, GA 30328



GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
EUGENE A STEPANOV
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000065549
ISSUED: 01/27/2015 EXPIRES: 01/27/2018
24HR CONTACT:
TEL 404-252-5747

AS
COORD #20171091
DWG #20171091

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

70 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

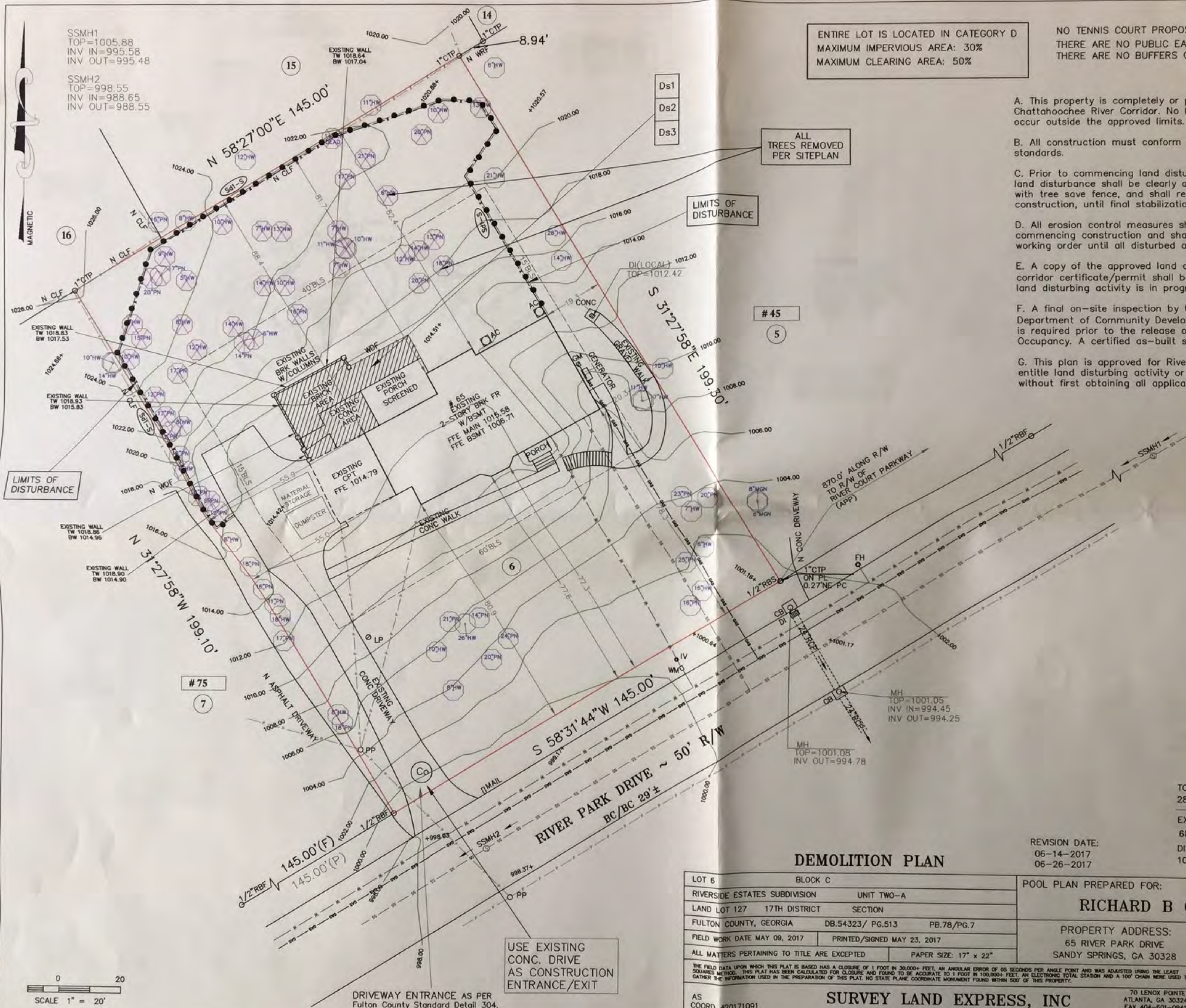
SSMH1
TOP=1005.88
INV IN=995.58
INV OUT=995.48

SSMH2
TOP=998.55
INV IN=988.65
INV OUT=988.55

ENTIRE LOT IS LOCATED IN CATEGORY D
MAXIMUM IMPERVIOUS AREA: 30%
MAXIMUM CLEARING AREA: 50%

NO TENNIS COURT PROPOSED
THERE ARE NO PUBLIC EASEMENTS ON THE PROPERTY
THERE ARE NO BUFFERS ON THE PROPERTY

- A. This property is completely or partially within the Chattahoochee River Corridor. No land disturbance shall occur outside the approved limits.
- B. All construction must conform to City of Sandy Springs standards.
- C. Prior to commencing land disturbing activity, the limits of land disturbance shall be clearly and accurately demarcated with tree save fence, and shall remain marked throughout construction, until final stabilization.
- D. All erosion control measures shall be in place prior to commencing construction and shall be maintained in proper working order until all disturbed areas are stabilized.
- E. A copy of the approved land disturbance plan and river corridor certificate/permit shall be present onsite whenever land disturbing activity is in progress.
- F. A final on-site inspection by the Director of the Department of Community Development or his/her designee is required prior to the release of the Certificate of Occupancy. A certified as-built survey may be required.
- G. This plan is approved for River Corridor Only. It does not entitle land disturbing activity or construction of structures without first obtaining all applicable permits.



DEMOLITION PLAN

LOT 6	BLOCK C
RIVERSIDE ESTATES SUBDIVISION	UNIT TWO-A
LAND LOT 127	17TH DISTRICT SECTION
FULTON COUNTY, GEORGIA	DB.54323/ PG.513 PB.78/PG.7
FIELD WORK DATE MAY 09, 2017	PRINTED/SIGNED MAY 23, 2017
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"

POOL PLAN PREPARED FOR: SHEET 2 OF 4

RICHARD B GROFF II

PROPERTY ADDRESS:
65 RIVER PARK DRIVE
SANDY SPRINGS, GA 30328



THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

AS COORD #20171091 DWG #20171091

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

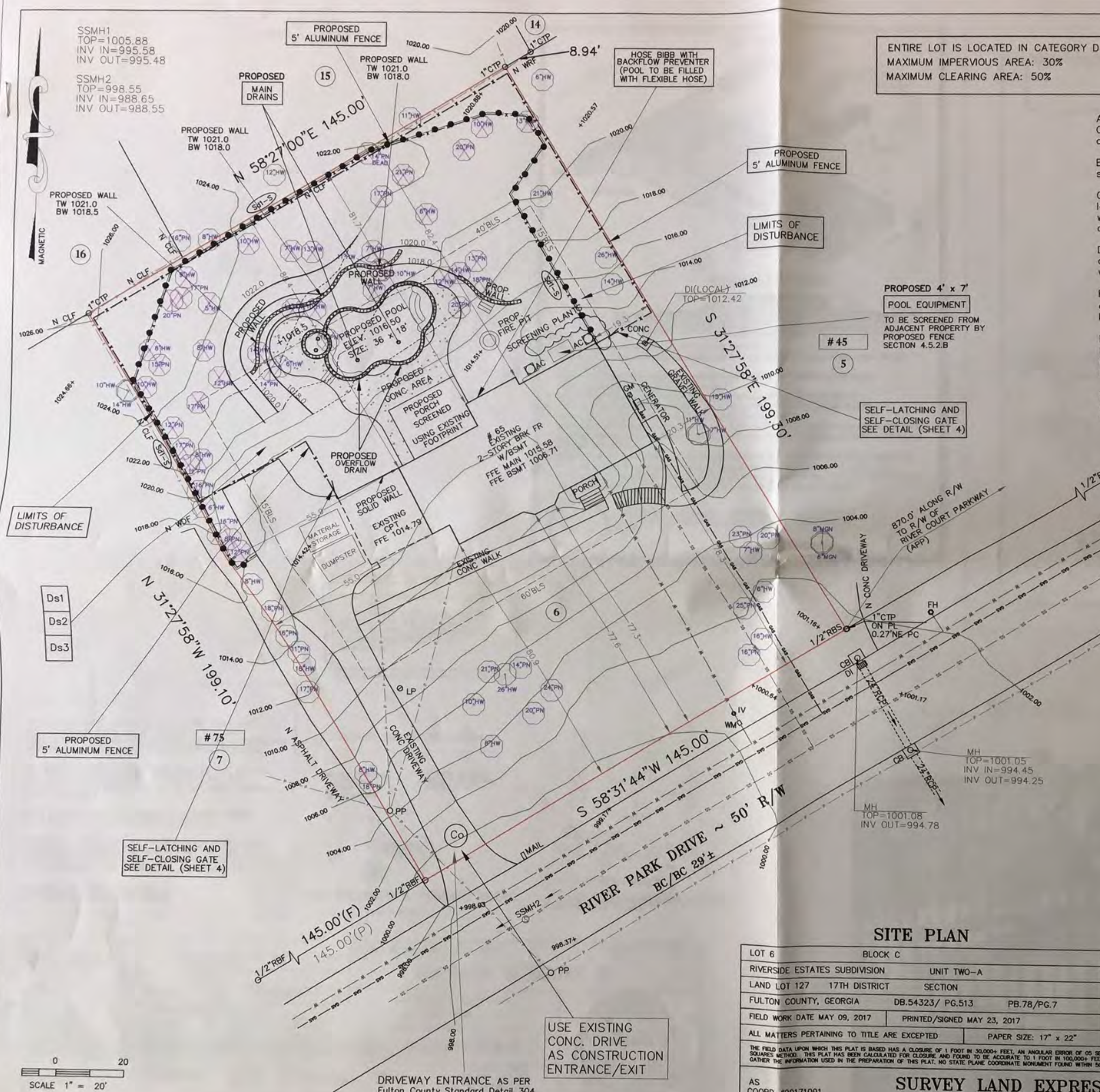
70 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

TOTAL LAND AREA
28884.00 SF / 0.663 AC

EXISTING IMPERVIOUS AREA
6839.86 SF / 0.157 AC / 23.6%

DISTURBED/CLEARING AREA:
10136.00 SF / 0.232 AC / 35.1%

REVISION DATE:
06-14-2017
06-26-2017



ENTIRE LOT IS LOCATED IN CATEGORY D
 MAXIMUM IMPERVIOUS AREA: 30%
 MAXIMUM CLEARING AREA: 50%

NO TENNIS COURT PROPOSED
 THERE ARE NO PUBLIC EASEMENTS ON THE PROPERTY
 THERE ARE NO BUFFERS ON THE PROPERTY

- A. This property is completely or partially within the Chattahoochee River Corridor. No land disturbance shall occur outside the approved limits.
- B. All construction must conform to City of Sandy Springs standards.
- C. Prior to commencing land disturbing activity, the limits of land disturbance shall be clearly and accurately demarcated with tree save fence, and shall remain marked throughout construction, until final stabilization.
- D. All erosion control measures shall be in place prior to commencing construction and shall be maintained in proper working order until all disturbed areas are stabilized.
- E. A copy of the approved land disturbance plan and river corridor certificate/permit shall be present onsite whenever land disturbing activity is in progress.
- F. A final on-site inspection by the Director of the Department of Community Development or his/her designee is required prior to the release of the Certificate of Occupancy. A certified as-built survey may be required.
- G. This plan is approved for River Corridor Only. It does not entitle land disturbing activity or construction of structures without first obtaining all applicable permits.

TOTAL LAND AREA
 28884.00 SF / 0.663 AC

ALLOWABLE IMPERVIOUS AREA
 8665.20 SF / 0.198 AC / 30%

EXISTING IMPERVIOUS AREA
 6839.86 SF / 0.157 AC / 23.6%

PROPOSED IMPERVIOUS AREA
 7761.36 SF / 0.178 AC / 26.8%

921.50 SF ADDED STORM WATER
 MANAGEMENT PLAN IS NOT REQUIRED

DISTURBED/CLEARING AREA:
 10136.00 SF / 0.232 AC / 35.1%

REVISION DATE:
 06-14-2017
 06-26-2017

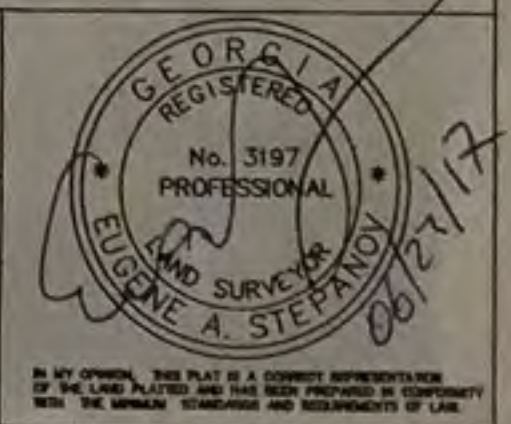
SITE PLAN

LOT 6	BLOCK C
RIVERSIDE ESTATES SUBDIVISION	UNIT TWO-A
LAND LOT 127	17TH DISTRICT SECTION
FULTON COUNTY, GEORGIA	DB.54323/ PG.513 PB.78/PG.7
FIELD WORK DATE MAY 09, 2017	PRINTED/SIGNED MAY 23, 2017
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"

POOL PLAN PREPARED FOR: SHEET 3 OF 4

RICHARD B GROFF II

PROPERTY ADDRESS:
 65 RIVER PARK DRIVE
 SANDY SPRINGS, GA 30328



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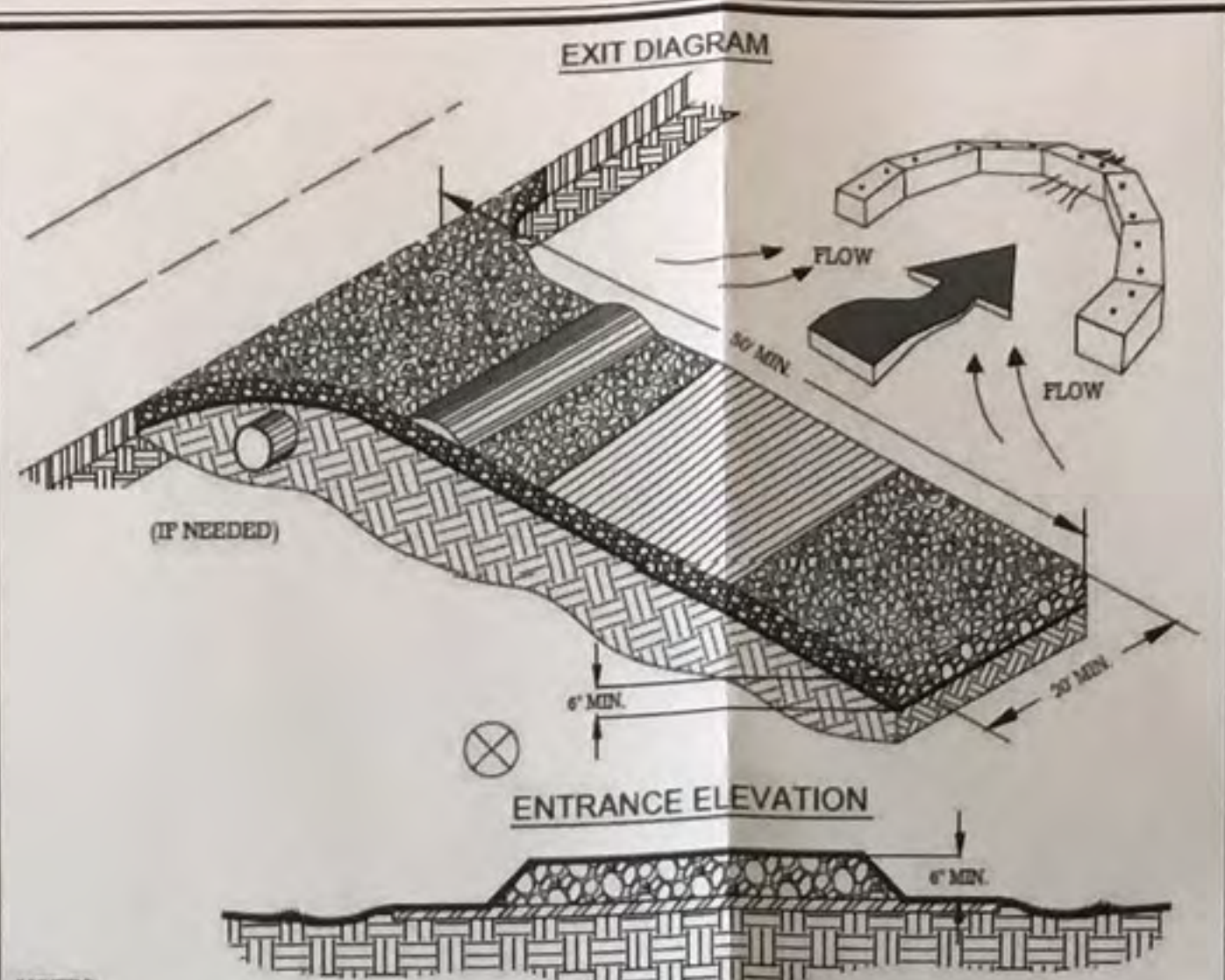
0 20
 SCALE 1" = 20'

DRIVEWAY ENTRANCE AS PER
 Fulton County Standard Detail 304.

USE EXISTING
 CONC. DRIVE
 AS CONSTRUCTION
 ENTRANCE/EXIT

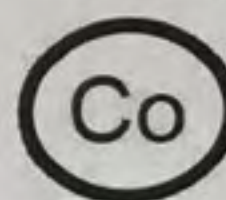
PROPOSED IMPERVIOUS AREA DETAIL

TOTAL:
7761.36 SF



NOTES:

1. Avoid locating on steep slopes or at curves on public roads.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. Aggregate size shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
4. Gravel pad shall have a minimum thickness of 6".
5. Pad width shall be equal full width at all points of vehicular egress, but no less than 20'.
6. A diversion ridge should be constructed when grade toward paved area is greater than 2%.
7. Install pipe under the entrance if needed to maintain drainage ditches.
8. When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (divert all surface runoff and drainage from the entrance to a sediment control device).
9. Washracks and/or tire washers may be required depending on scale and circumstance. If necessary, washrack design may consist of any material suitable for truck traffic that remove mud and dirt.
10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.



CRUSHED STONE CONSTRUCTION EXIT
N.T.S.

Figure 6-11.1

AFTER THE PERMIT IS ISSUED GO ON THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE, BUILDING CONSTRUCTION OR DEMOLITION

POOL NOTES:

POOL FENCES MUST INCLUDE AT LEAST ONE GATED EXIT WITH A MINIMUM WIDTH OF 36" WIDE. THIS EXIT MUST OPEN OUTWARD AND BE SELF CLOSING AND SELF LATCHING PER SECTION 4.11 OF THE SANDY SPRINGS ZONING ORDINANCE

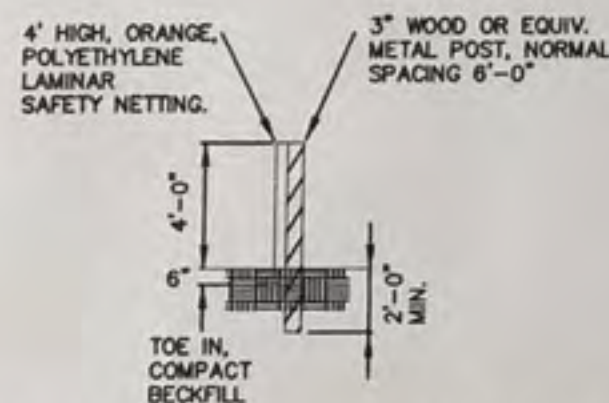
THE MINIMUM HEIGHT OF THE FENCE MUST BE FIVE (5) FEET, AND THE MAXIMUM HEIGHT OF THIS FENCE SHALL NOT EXCEED (8) FEET PER SECTION 4.11 OF THE SANDY SPRINGS ZONING ORDINANCE

FENCE DESIGN SHALL NOT PRODUCE A "LADDER" EFFECT THAT COULD AID IN UNAUTHORIZED CLIMBING

FENCES AND WALLS USED AS FENCES, MAY NOT BE FINISHED WITH BRIGHT OR PRIMARY COLORS. IF ONLY ONE SIDE OF THE FENCE IS TO BE FINISHED, THE FENCE SHALL BE CONSTRUCTED WITH THE FINISHED SIDE TOWARD THE NEIGHBORING PROPERTY.

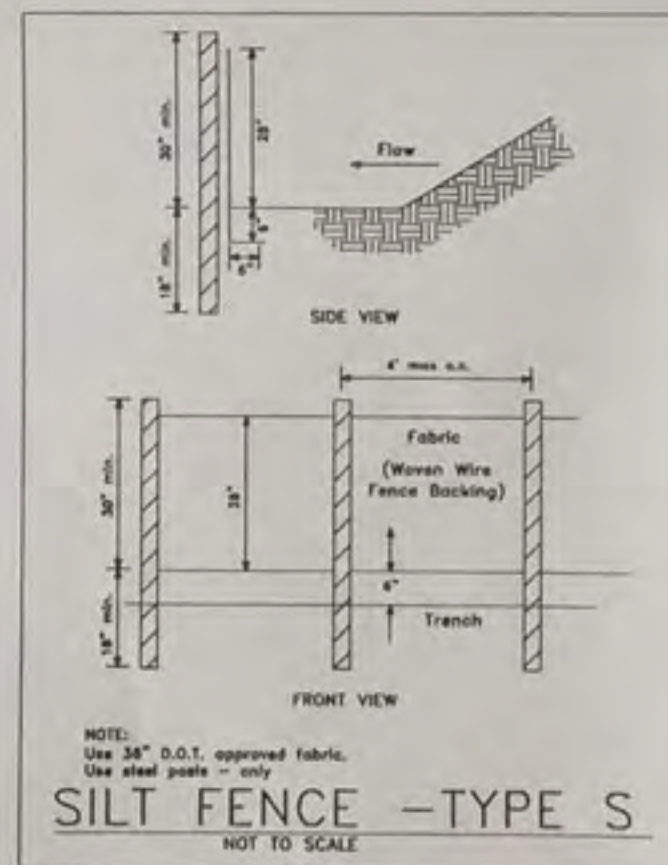
POOL WILL USE CARTRIDGE FILTER (NO BACKFLUSH DISCHARGE NEEDED)

INDICATES TREE PROTECTION FENCE



TREE PROTECTION FENCING DETAIL

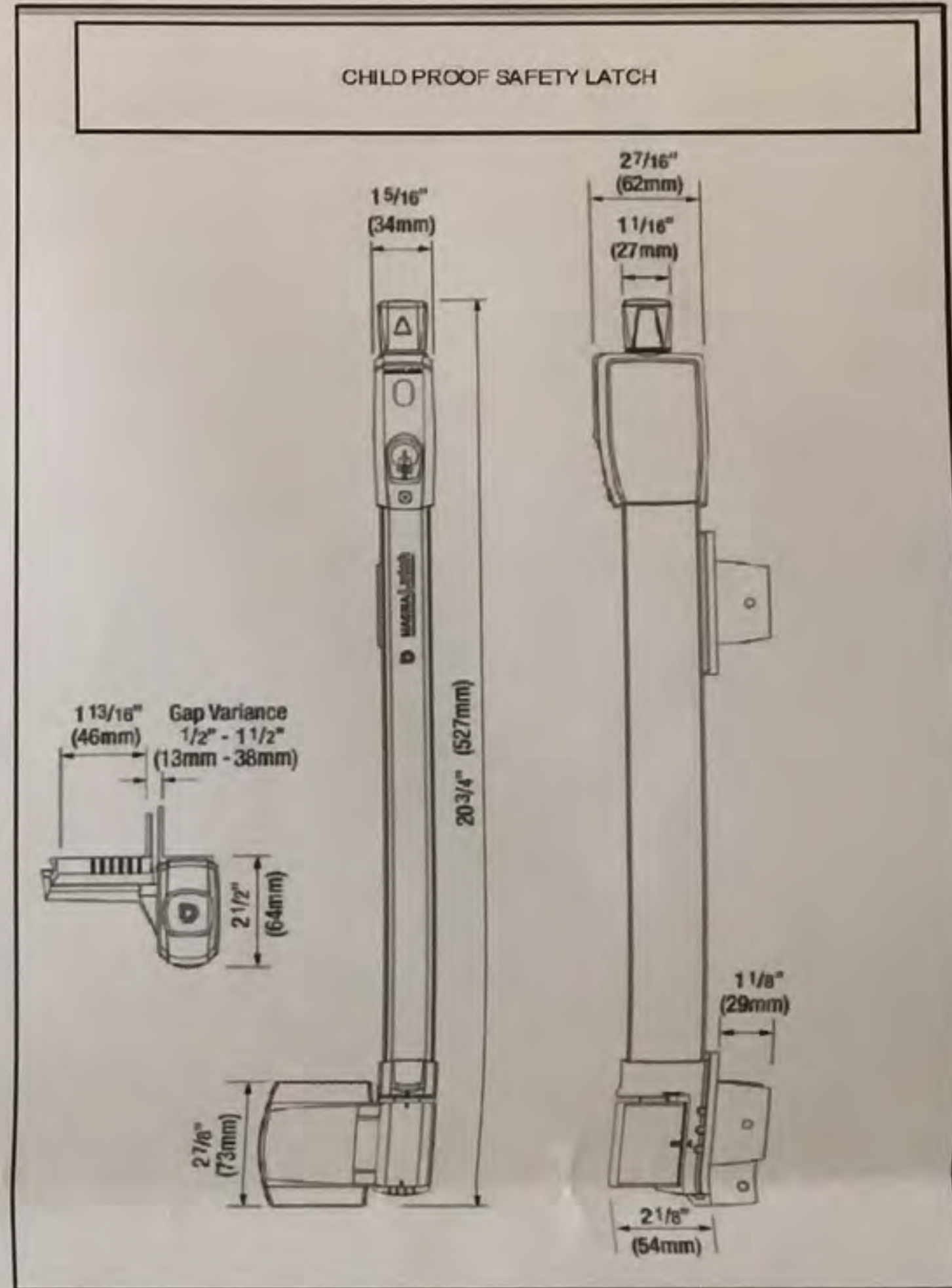
(NOT TO SCALE)



Sd1-S SEDIMENT BARRIER

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

FENCE DETAIL:

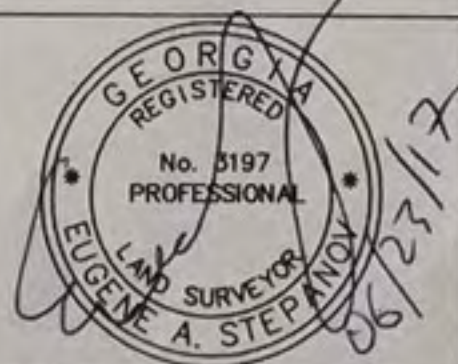


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LAND LOT 127 17TH DISTRICT	SECTION
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POOL PLAN PREPARED FOR: SHEET 4 OF 4

RICHARD B GROFF II

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