



REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 40 Courtland Street NE, Atlanta, Georgia 30303 • ph: 404.463.3100 • fax: 404.463.3105 • www.atlantaregional.com

DATE: May 18, 2017

ARC REVIEW CODE: V1705181

TO: Mayor Jere Wood, City of Roswell
ATTN TO: Jackie Deibel, City of Roswell Community Development Department
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-17-02R 660 Riverside Road
Review Type: Metro River
MRPA Code: RC-17-02R

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for the construction of a single-family house on a previously undeveloped lot.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Roswell

Land Lot: 494 **District:** 1 **Section:** 2

Date Opened: May 18, 2017

Deadline for Comments: May 28, 2017

Earliest the Regional Review can be Completed: May 28, 2017

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
CITY OF SANDY SPRINGS

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA

If you have questions regarding this review, please contact Andrew Smith at asmith@atlantaregional.com or (404) 463-5581. If ARC does not receive comments from you on or before **May 28, 2017**, we will assume that your agency has no additional comments and will close the review. Comments by e-mail are encouraged. The ARC review website is located at <http://www.atlantaregional.com/land-use/planreviews>.

Attached is information concerning this review.

ARC STAFF NOTICE OF REGIONAL REVIEW AND COMMENT FORM

DATE: May 18, 2017

ARC REVIEW CODE: V1705181

TO: ARC Community Development, Natural Resources Division Managers

FROM: Andrew Smith, Extension: 3-5581

Reviewing staff by Jurisdiction:

Community Development: Smith, Andrew

Natural Resources: Santo, Jim

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Submitting Local Government: City of Roswell

Date Opened: May 18, 2017

Deadline for Comments: May 28, 2017

Earliest the Regional Review can be Completed: May 28, 2017

Response:

- 1) Proposal is **CONSISTENT** with the following regional development guide listed in the comment section.
- 2) While neither specifically consistent nor inconsistent, the proposal relates to the following regional development guide listed in the comment section.
- 3) The proposal is **INCONSISTENT** with the following regional development guide listed in the comment section.
- 4) The proposal does **NOT** relate to any development guide for which this division is responsible.
- 5) Staff wishes to confer with the applicant for the reasons listed in the comment section.

COMMENTS:

[illegible]

201701809

APPLICATION FOR
METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: CITY OF ROSWELL
2. Owner(s) of Record of Property to be Reviewed:
Name(s): CLM INVESTMENTS
Mailing Address: 5330 MOUNT VERNON WAY
City: DUNWOODY State: GA Zip: 30338
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-451-4604 Fax: _____
Other Numbers: _____
3. Applicant(s) or Applicant's Agent(s):
Name(s): BILL BRACKBILL
Mailing Address: 5330 MOUNT VERNON WAY
City: DUNWOODY State: GA Zip: 30338
Contact Phone Numbers (w/Area Code):
Daytime Phone: 404-451-4604 Fax: _____
Other Numbers: _____
4. Proposed Land or Water Use:
Name of Development: #660 RIVERSIDE ROAD
Description of Proposed Use: RESIDENTIAL
5. Property Description (Attach Legal Description and Vicinity Map):
Land Lot(s), District, Section, County: LL 494, 1ST DISTRICT,
2ND SECTION
Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:
LOT #28, LIVER LAKE SHORES, UNIT ONE PB91, PG111
Size of Development (Use as Applicable):
Acres: Inside Corridor: 30,460 SF, 0.699 AC.
Outside Corridor: _____
Total: 30,460 SF, 0.699 AC
Lots: Inside Corridor: 1
Outside Corridor: _____
Total: _____
Units: Inside Corridor: _____
Outside Corridor: _____
Total: _____
Other Size Descriptor (i.e., Length and Width of Easement):
Inside Corridor: _____
Outside Corridor: _____
Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? NO
If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? NO
If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system ✓ FULTON Co.

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A	_____	_____	_____	(90)	(75)
B	_____	_____	_____	(80)	(60)
C	_____	_____	_____	(70)	(45)
D	14,975 SF	7,488 SF	4,492 SF	(50)	50% (30) 30%
E	15,485 SF	4,646 SF	2,323 SF	(30)	30% (15) 15%
F	_____	_____	_____	(10)	(2)
Total:	30,460 SF	12,134 SF	6,815 SF	N/A	N/A

TABLE - 10 - DMS (ARC)
5/19/17

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? NO
If "yes", indicate the 100-year flood plain elevation: _____

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? NO
If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as parts of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

☒ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

☒ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

☐ Written consent of all owners to this application. (Space provided on this form)

☒ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

☒ Description of proposed use(s). (Space provided on this form)

☒ Existing vegetation plan.

☒ Proposed grading plan.

Jim SANTO Certified as-builts of all existing land disturbance and impervious surfaces.

☐ Approved erosion control plan.

☒ Detailed table of land-disturbing activities. (Both on this form and on the plans)

☒ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

☐ Documentation on adjustments, if any.

☐ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

☐ Site plan.

☐ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

☐ Concept plan.

☐ Lot-by-lot and non-lot allocation tables.



12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

[Signature] 4-13-2017
[Signature] 4-13/2017

Signature(s) of Owner(s) of Record

Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of Roswell requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

[Signature]
Signature of Chief Elected Official or Official's Designee

5/3/17
Date

Description of Property.

All that tract or parcel of land lying and being within Land Lot 494, of the 1st District, 2nd Section of Fulton County, Georgia and being more particularly described as follows:

Beginning at a iron rebar found on the Northerly Right of Way line of Riverside Road (80' R/W), said point being located 524 foot Northeasterly as measured along said Right of Way from its intersection with the Easterly Right of Way line of River Lake Drive (50' R/W).

From the Point of Beginning thus established; depart said Northerly Right of Way, North 20°56'54" West, a distance of 230.05 feet to a CTP found; thence North 38°28'57" East for a distance of 69.89 feet to a CTP; thence North 38°21'31" East for a distance of 70.60 feet to a OTP; thence South 20°55'26" East for a distance of 274.28 feet to an Iron pin set on said Northerly Right of Way line of Riverside Road; thence Southwesterly along said Right of Way, South 56°17'33" West for a distance of 123.83 feet to the Point of Beginning. Containing 30,460 square feet or 0.699 Acres. Said property being known as Lot #2, Block "B", Unit one, River Lake Shores.



Larry Bollinger

From: Jim Santo <JSanto@atlantaregional.com>
Sent: Thursday, March 02, 2017 2:18 PM
To: 'Larry Bollinger'; 'William Brackbill'
Subject: RE: riverside road property
Attachments: 950 Riverside Road Roswell Reanalysis - 03-02-17.doc; 950 Riverside Road Reanalyzed Categories.pdf

I have redone the reanalysis for the Riverside Road property, which I have identified as 950 Riverside, based on our earlier discussions. I did see open areas in the 1972 aerials, which I tried to replicate on the project site plan. I also used our base info, which showed a fairly extensive barren area (probably for road or utility work) about as far back from Riverside as the adjacent houses. That is what has added the "D" category to the property. I do not know if this helps for either disturbance or impervious, but if it does, this information can be used in lieu of the mapped category in a Metro River review application. Just include these two sheets with the application if you use them.

let me know if you have any questions or need anything else.

Jim Santo
Principal Planner

Natural Resources Division

40 Courtland Street, NE
Atlanta, Georgia 30303-2538

P | 404.463.3258

F | 404.463.3254

jsanto@atlantaregional.com
atlantaregional.com

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Natural Resources Division

Atlanta Regional Commission
regional impact • local relevance

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jsanto@atlantaregional.com
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950 Riverside Road Reanalysis
City of Roswell

March 2, 2017

Vulnerability Factor	Factor Subgroup	Score	
Geology	Biotite-Gneiss	5	
Hydrology:	Interbasin	20	
Aspect:	East	9	
Slope	10-25%	9	
Soils	Moderate Erodibility	12	
SUBTOTAL		55	
Vegetation	Barren	2	--
	Pines	--	15
TOTAL:		57	70
CATEGORY:		D	E

The D category includes scores from 50 to 59

The E category includes scores from 60 to 79

LOT 8
NP
ROBERT HORTON
DB 43044 PG 631

LOT 7
NP
KATHLEEN BARKER
3 51195 PG 65

LOT 1
NP
K KHAN TRONG
JI RONG SHEEN
DB 46482 PG 286

LOT 3
CARL & MARIE FISCHER
DB 44107 PG 485

EXISTING
RESIDENCE

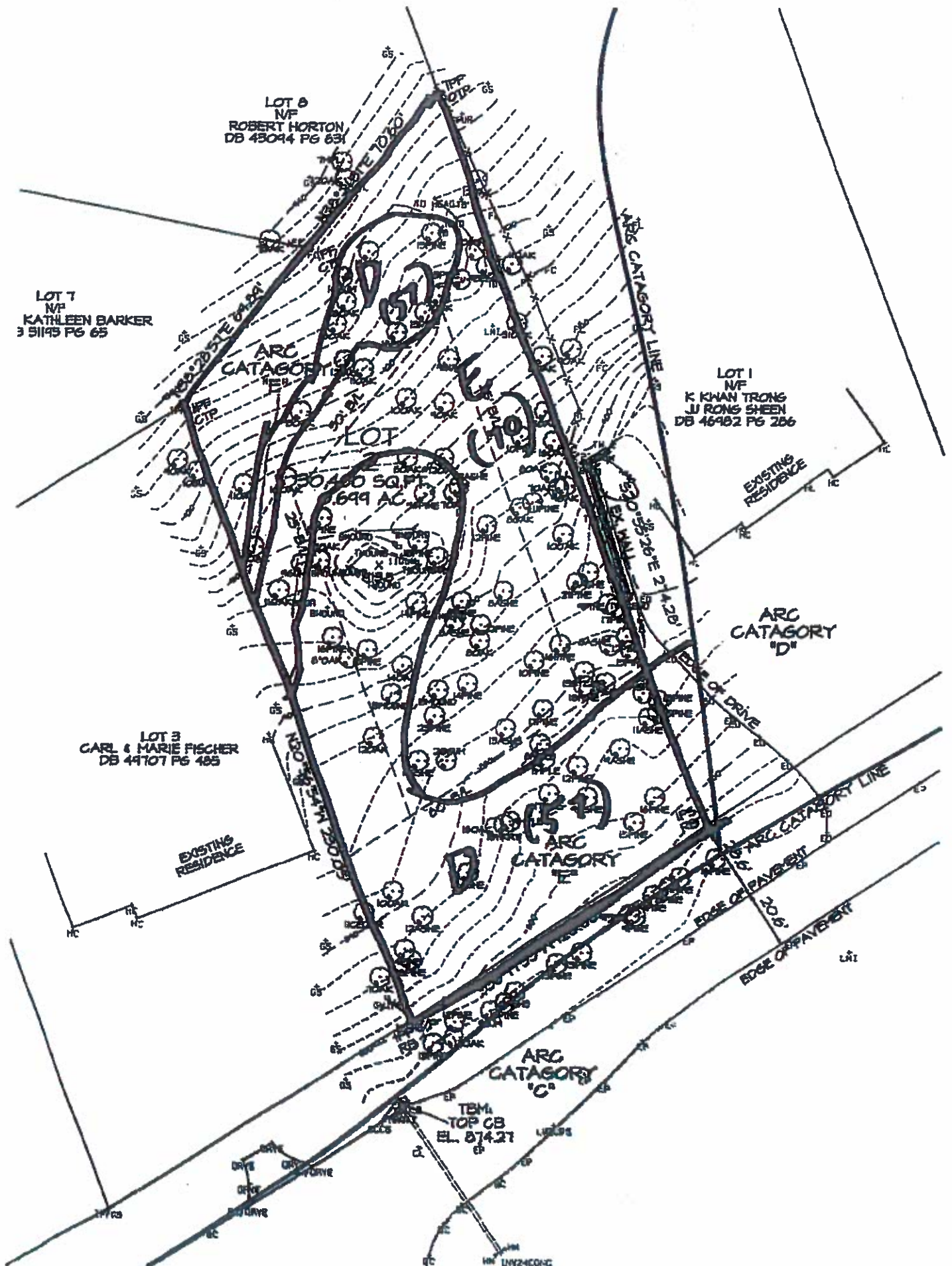
EXISTING
RESIDENCE

ARC
CATAGORY
"D"

ARC
CATAGORY
"E"

ARC
CATAGORY
"C"

TEMP.
TOP CB
EL. 874.27



CITY OF ROSWELL GENERAL CONSTRUCTION NOTES

1. A preconstruction meeting with the land disturbance inspector is required prior to release of the Permit. Contact Engineering at 770-594-6300 to schedule.
2. An encroachment permit is required for any work within the public right of way from the Roswell Department of Transportation. The contractor shall furnish and maintain all necessary permits for any encroachment within the public right of way. Contact John Warden for Encroachment Permits and Traffic Control Plan approval at 770-594-6300.
3. A tree removal permit is required for all trees 2-inch caliper or greater, if lot is over 1-acre.
4. A tree removal permit is required for removal of specimen trees.
5. Tree protection fencing must be installed and approved by the City Engineer prior to issuance of the land disturbance permit. Contact the City Engineer at 770-594-6300 for inspection whenever specimen trees, buffers, or tree save areas are located on or adjacent to the site.
6. Construction is only allowed Mon.-Sat. between the hours of 7:00 AM and 7:00 PM; however this does not apply to any special permitting construction activity at his or her residence, but such persons are subject to the noise restrictions set out in subsection 8.8.3(c) of the city code.
7. All construction shall comply with the City of Roswell Standard Construction Specifications and Subdivision Regulations and the best management practices as set forth in subsection 7.3.3 of the City of Roswell Soil Erosion, Sedimentation and Pollution Control Ordinance.
8. All silt barriers and construction entrance pads must be placed prior to any clearing and/or grading. No grading shall be done until silt barrier installation is complete and a grading permit is issued by the land development inspector.
9. Contractor must notify Land Development Inspector (770-594-6300) twenty-four (24) hours prior to beginning construction and at the beginning of each new phase or after a full of more than 14 days.
10. Owner agrees to provide and maintain off-street parking on the subject property during the entire construction period.
11. Burning of debris or construction materials is not permitted within the City of Roswell.
12. Burial of construction materials is not permitted within the City of Roswell.
13. The owner/developer is responsible to coordinate with the US Army Corps of Engineers concerning permits or requirements when wetlands are proposed to be disturbed on the property. Failure to request a determination of permit requirement before disturbing any wetlands could result in penalties being imposed by the Corps of Engineers.
14. A City of Roswell Trenching Permit is required prior to any trenching activity. Contact your City of Roswell Land Development Inspector or call 770-594-6300 to obtain a trenching permit.
15. No additional drainage pipes shall be diverted into City right-of-way.
16. All corrugated metal storm drainage shall be fully fluorescent-coated galvanized steel or aluminum type II with re-rolled ends and bands.
17. All open drainage swales must be grassed, and riprap must be placed as required to control erosion. A minimum of 10 square yards of 40 lb. stone shall be placed at all headwalls or flumes.
18. All exterior lighting shall be placed so as not to directly illuminate adjacent property.

CITY OF ROSWELL EROSION SEDIMENTATION AND POLLUTION CONTROL NOTES

1. If applicable, the Contractor/Owner/Developer upon filing the NOI and NOT for the State NPDES Construction General Permit shall submit copies of the NOI and NOT to the City Engineer.
2. Notice is hereby given that all erosion and sediment devices and practices must be installed and maintained at all times. No further notice will be given. Any site upon which the Land Development Inspector finds any deficiency will be subject to an immediate enforcement action without warning.
3. Prior to commencing land disturbance activity, the limits of land disturbance shall be clearly and accurately demarcated with stakes, ribbons, or other appropriate means. The location and extent of all authorized land disturbance shall occur within the approved limits indicated on the approved plans.
4. No grading shall be done until silt barrier installation is complete and a grading permit is issued by the land development inspector.
5. Construction of the site will initiate with the installation of erosion control measures sufficient to control sediment deposits and erosion. All sediment control will be maintained until all up gradient ground within the construction area has been completely stabilized with permanent vegetation and all roads/driveways have been paved.
6. No clearing beyond the limits of disturbance shown on the approved plans shall be allowed.
7. No land disturbing activity or storage of materials within any tree save area shall be allowed.
8. The property owner and contractor are equally responsible for all erosion control activities.
9. It is the responsibility of the contractor to obtain qualified professional advice when questions arise concerning design and effectiveness of erosion control devices, not the City of Roswell.
10. Erosion control devices that are installed as directed by the Land Development Inspector but not shown on the approved plan and which also subsequently fail are the responsibility of the contractor.
11. The contractor shall furnish the City of Roswell Land Development Inspector with a schedule of anticipated starting and completion dates for each sequence of land disturbing activity.
12. The construction area shall be maintained in a condition which will prevent tracking or flow of mud on to public right-of-way or private roads. This may require periodic top dressing with stone, as conditions demands, and repair and/or clean-out of any structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicle onto public/private roadway or into storm drain must be removed.
13. Type C silt fence fabric shall be comprised of Ge. Department of Transportation qualified products list (CPL) 36 for silt fence fabric. Type "A" silt fence fabric and construction may be allowed with prior written approval from the land development inspector.
14. Silt fences shall not be placed in stream buffer, flood plains or across areas of concentrated flow. Check dams or rock filter dams, as appropriate are to be installed across areas of concentrated flow.
15. Tress shall be staked and used to dress final grades.
16. All work shall be performed in accordance with the specifications in the Manual for Erosion and Sediment Control in Georgia and applicable updates thereto on the GSWCC website.
17. Below all fill slopes greater than 25% and higher than 10 feet, a flat area length of 10 feet between the top of the slope to the fence shall be provided.
18. All open drainage swales must be grassed, and riprap must be placed as required to control erosion. A minimum of 10 square yards of 40 lb. stone shall be placed at all headwalls or flumes.
19. Failure to install, operate or maintain all erosion control measures will result in all construction being stopped on the site until such measures are corrected consistent with the City of Roswell Soil Erosion, Sedimentation and Pollution Control Ordinance.
20. A construction site copy of the Erosion Sediment and Pollution Control Plan must be kept up to date. Revisions to the plan shall be approved by the Land Development Inspector.
21. Revisions which involve a hydraulic component must be revised by the design engineer and approved by the City Engineer.
22. Whenever feasible, natural vegetation shall be retained, protected and supplemented.
23. The disturbed area and the duration of exposure to erosive elements shall be kept to a practicable minimum. Disturbed soil shall be stabilized as quickly as practicable.
24. Temporary vegetation and/or heavy mulching shall be employed to protect exposed critical areas during development. In no case shall a critical area be left bare for more than seven (7) days.
25. Grading equipment must cross flowing streams by means of bridges or culverts except when such methods are not feasible, provided, in any case, that such crossing is kept to a minimum.
26. Erosion control devices will be in place before site disturbance and will be periodically inspected and repaired or replaced as needed to function properly until permanent measures are established and project is complete, i.e., construction exits and silt fences shall be re-topped or cleaned as silt reduces their effectiveness.
27. Additional measures may be required to control erosion as determined necessary by City Land Development Inspectors.
28. Concentrated flow areas, all slopes steeper than 2:1 and with a height of ten feet or greater, and cuts and fills within stream buffers, shall be stabilized with the appropriate erosion control matting or blankets.
29. All slopes steeper than 3:1 shall receive surface roughening treatment or be stabilized with GOOT approved erosion control blankets or soil reinforcement matting. Mowed slopes shall not be steeper than 3:1. All slopes must be protected until a permanent vegetative stand is established.
30. If ryegrass shall not be used in any seeding mixtures containing perennial species due to its ability to out-compete desired species chosen for permanent perennial cover.
31. All temporary and permanent seeding must be performed at the appropriate season. Additional plantings will be necessary if a sufficient stand of grass fails to grow.
32. The Land Development Inspector will determine adequate cover of new plantings.
33. Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary

SHEET 2 OF 4
DATE: MARCH 6, 2017

SITE AREA
30,460 SF
OR
0.699 AC.

CURRENT ZONING - RS 18

SETBACKS
FRONT (CONTEXTURAL)
SIDE -
REAR -

ALL EROSION & SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY & DEFICIENCIES NOTED & CORRECTED BY THE END OF EACH DAY.
ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

THE INSTALLATION OF EROSION CONTROL MEASURES WILL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMP. SEEDING.

MAINTENANCE STATEMENT- "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

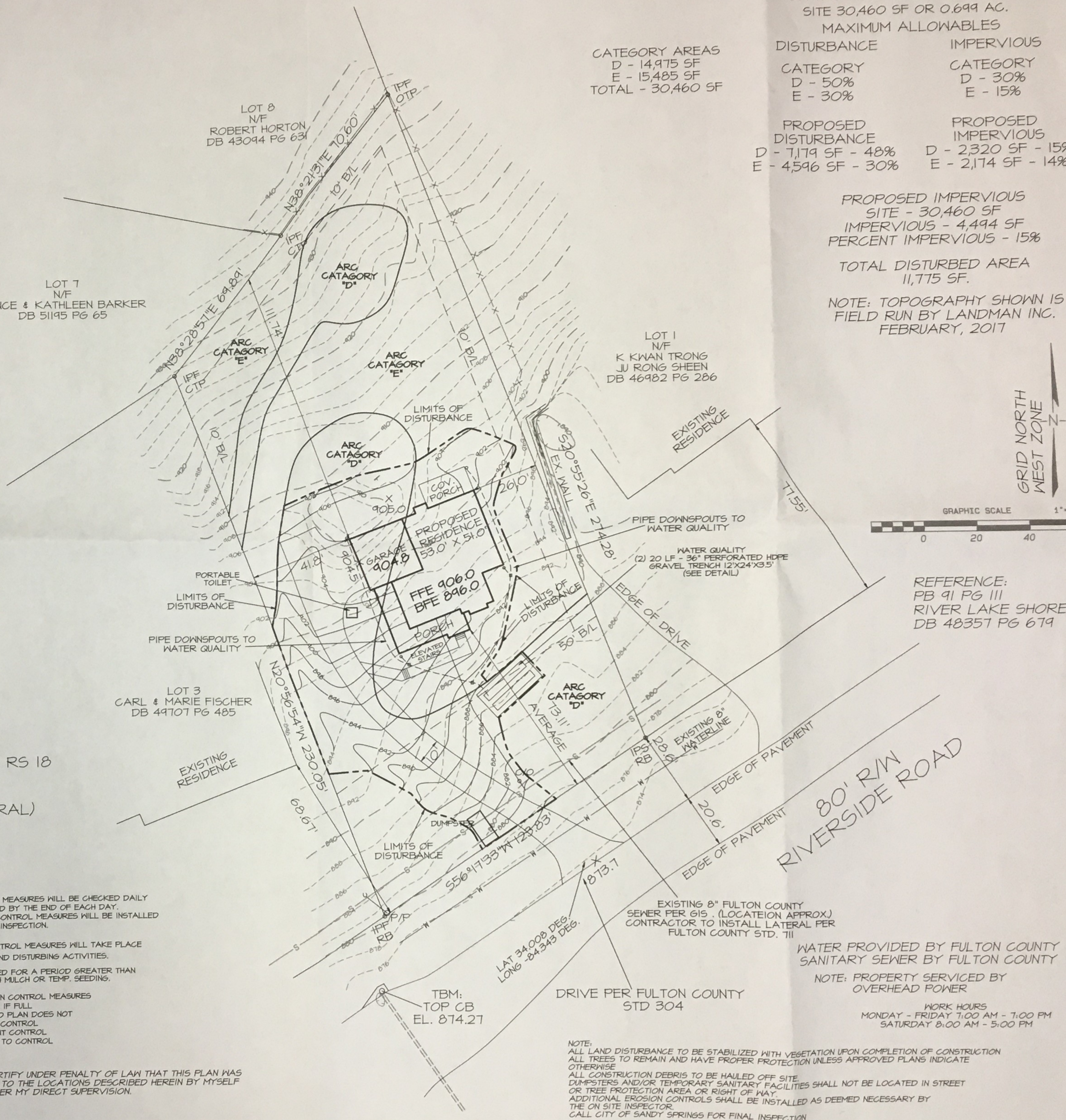
I LARRY R. BOLLINGER RLS CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

LOT 7
N/F
LANCE & KATHLEEN BARKER
DB 51195 PG 65

LOT 8
N/F
ROBERT HORTON
DB 43044 PG 63

LOT 1
N/F
K KWAN TRONG
JU RONG SHEEN
DB 46982 PG 286

LOT 3
CARL & MARIE FISCHER
DB 49107 PG 485



ARC CHART
PER CHATTAHOOCHEE COORIDOR PLAN
SITE 30,460 SF OR 0.699 AC.
MAXIMUM ALLOWABLES

CATEGORY AREAS
D - 14,975 SF
E - 15,485 SF
TOTAL - 30,460 SF

DISTURBANCE
CATEGORY
D - 50%
E - 30%

PROPOSED
DISTURBANCE
D - 7,179 SF - 48%
E - 4,596 SF - 30%

IMPERVIOUS
CATEGORY
D - 30%
E - 15%

PROPOSED
IMPERVIOUS
D - 2,320 SF - 15%
E - 2,174 SF - 14%

PROPOSED IMPERVIOUS
SITE - 30,460 SF
IMPERVIOUS - 4,494 SF
PERCENT IMPERVIOUS - 15%
TOTAL DISTURBED AREA
11,775 SF.

NOTE: TOPOGRAPHY SHOWN IS
FIELD RUN BY LANDMAN INC.
FEBRUARY, 2017

GRID NORTH
WEST ZONE

GRAPHIC SCALE
0 20 40 60
1"=20'

REFERENCE:
PB 91 PG III
RIVER LAKE SHORES
DB 48357 PG 679

80' R/W
RIVERSIDE ROAD

EXISTING 8" FULTON COUNTY
SEWER PER GIS. (LOCATEION APPROX.)
CONTRACTOR TO INSTALL LATERAL PER
FULTON COUNTY STD. III

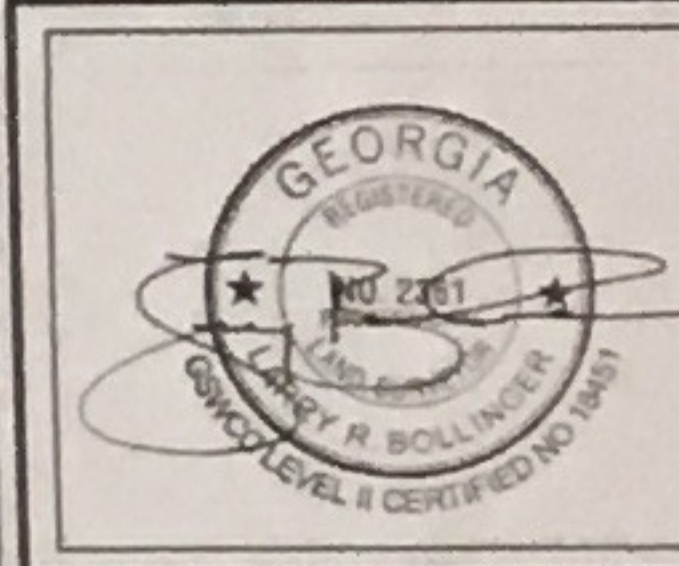
WATER PROVIDED BY FULTON COUNTY
SANITARY SEWER BY FULTON COUNTY

NOTE: PROPERTY SERVED BY
OVERHEAD POWER

WORK HOURS
MONDAY - FRIDAY 7:00 AM - 7:00 PM
SATURDAY 8:00 AM - 5:00 PM

NOTE:
ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF CONSTRUCTION
ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE
ALL CONSTRUCTION DEBRIS TO BE HAULED OFF SITE
DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY
ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON SITE INSPECTOR
CALL CITY OF SANDY SPRINGS FOR FINAL INSPECTION

RESIDENTIAL SITE PLAN FOR:
#660 RIVERSIDE ROAD
LOT #2 - RIVER LAKE SHORES
UNIT ONE
LAND LOT 444 - 1ST DISTRICT - 2ND SECTION
CITY OF ROSWELL
FULTON COUNTY, GEORGIA



LANDMAN INC.

DBA: LAND DEVELOPING COMPANY

LAND SURVEYORS / LAND PLANNERS
1155 ROCKBRIDGE ROAD
STONE MOUNTAIN, GA 30047
PHONE: (770) 822-8881
FAX: (770) 822-8882

NO.	DATE	DESCRIPTION
1	03/06/2017	DATE DRAFTED: MARCH 6, 2017

SCALE: 1" = 20'
DATE SURVEYED:
DATE DRAFTED: MARCH 6, 2017
SURVEYED BY:
DRAWN BY: LRB
CHECKED BY:
FIELD BOOK #
JOB NUMBER: #2730
FOLDER NUMBER:
COCO FILE:
DISC FILE:
COUNTY: FULTON
PLAT FILE:
SHEET: 2 OF 4