




REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 40 Courtland Street NE, Atlanta, Georgia 30303 • ph: 404.463.3100 • fax: 404.463.3105 • www.atlantaregional.com

DATE: April 26, 2017

ARC REVIEW CODE: V1704261

TO: Mayor Kasim Reed, City of Atlanta
ATTN TO: Tshaka Warren, Office of Zoning & Development, City of Atlanta
FROM: Douglas R. Hooker, Executive Director, ARC


Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-17-02A 2875 Fabin Street

Review Type: Metro River (MRPA)

MRPA Code: RC-17-02A

Description: An application for a Metropolitan River Protection Act (MRPA) Certificate for an addition to an existing pre-act single family house.

Preliminary Finding: ARC staff has begun the review of the application for a MRPA Certificate for this proposed project in the Chattahoochee River Corridor. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Atlanta

Land Lot: 256 **District:** 17 **Section:**

Date Opened: April 26, 2017

Deadline for Comments: May 6, 2017

Earliest the Regional Review can be Completed: May 6, 2017

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT
CHATTAHOOCHEE RIVERKEEPER
CITY OF ATLANTA

ARC NATURAL RESOURCES
GEORGIA CONSERVANCY
FULTON COUNTY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE/CRNRA
COBB COUNTY

If you have questions regarding this review, please contact Andrew Smith at asmith@atlantaregional.com or (404) 463-5581. If ARC does not receive comments from you on or before **May 6, 2017**, we will assume that your agency has no additional comments and will close the review. Comments by e-mail are encouraged. The ARC review website is located at <http://www.atlantaregional.com/land-use/planreviews>.

Attached is information concerning this review.

ARC STAFF NOTICE OF REGIONAL REVIEW AND COMMENT FORM

DATE: April 26, 2017

ARC REVIEW CODE: V1704261

TO: ARC Community Development, Natural Resources Division Managers

FROM: Andrew Smith, Extension: 3-5581

Reviewing staff by Jurisdiction:

Land Use: Herrig, Robert

Environmental: Santo, Jim

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Response:

- 1) Proposal is **CONSISTENT** with the following regional development guide listed in the comment section.
- 2) While neither specifically consistent nor inconsistent, the proposal relates to the following regional development guide listed in the comment section.
- 3) The proposal is **INCONSISTENT** with the following regional development guide listed in the comment section.
- 4) The proposal does **NOT** relate to any development guide for which this division is responsible.
- 5) Staff wishes to confer with the applicant for the reasons listed in the comment section.

COMMENTS:

[illegible]

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: City of Atlanta

2. Owner(s) of Record of Property to be Reviewed:

Name(s): Jarrett Thacker and Sara Willson-Thacker
 Mailing Address: 2875 Fabin Street
 City: Atlanta State: GA Zip: 30318
 Contact Phone Numbers (w/Area Code):
 Daytime Phone: 404-939-5278 Fax: _____
 Other Numbers: _____

3. Applicant(s) or Applicant's Agent(s):

Name(s): Jarrett Thacker and Sara Willson-Thacker
 Mailing Address: 2875 Fabin Street
 City: Atlanta State: GA Zip: 30318
 Contact Phone Numbers (w/Area Code):
 Daytime Phone: 404-939-5278 Fax: _____
 Other Numbers: _____

4. Proposed Land or Water Use:

Name of Development: Whittier Mill
 Description of Proposed Use: Addition to existing single-family home

5. Property Description (Attach Legal Description and Vicinity Map):

Land Lot(s), District, Section, County: Land lot: 256, District: 17th,
 County: Fulton
 Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection:
Lot: 4, Block: R, Address: 2875 Fabin Street, Atlanta GA 30318
 Size of Development (Use as Applicable):

Acres:	Inside Corridor: <u>0.33 acres</u>	Outside Corridor: _____	Total: <u>0.33 Acres</u>
Lots:	Inside Corridor: _____	Outside Corridor: _____	Total: _____
	Inside Corridor: _____	Outside Corridor: _____	Total: _____
	Inside Corridor: _____	Outside Corridor: _____	Total: _____

Office of Planning & Design Descriptor (i.e., Length and Width of Easement):
 Inside Corridor: _____
 Outside Corridor: _____
 Total: _____

APR 14 2017

6. Related Chattahoochee Corridor Development:

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A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No

If "yes", describe the additional land and any development plans: _____

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? No

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank No

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system Yes

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf. (Maximums Shown In Parentheses)
A				(90)	(75)
B				(80)	(60)
C	9380 SF	6566 SF	4,221 SF	(70) 70%	(45) 45%
D	4620 SF	2,310 SF	1,386 SF	(50) 50%	(30) 30%
E				(30)	(15)
F				(10)	(2)
Total:	14000 SF	8876 SF	5,607 SF	N/A	N/A

ALL REVISIONS -
JMS - ACC
4/19/17

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? Nc
If "yes", indicate the 100-year floodplain elevation: APR 14 2017

NOTE: For this review, river floodplain is determined from the U.S. Army Corps of Engineers' "Floodplain Information - Chattahoochee River, Buford Dam to Whitesburg, Georgia", November, 1973 and its Supplement of March, 1982.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? Nc
If "yes", indicate the 500-year flood plain elevation: _____

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

- ____ Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).
- ____ Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)
- ____ Written consent of all owners to this application. (Space provided on this form)
- ____ Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)
- ____ Description of proposed use(s). (Space provided on this form)
- ____ Existing vegetation plan.
- ____ Proposed grading plan.
- ____ Certified as-builts of all existing land disturbance and impervious surfaces.
- ____ Approved erosion control plan.
- ____ Detailed table of land-disturbing activities. (Both on this form and on the plans)

____ Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of-way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

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Ste. 3350
Atlanta, GA

____ Documentation on adjustments, if any.

____ Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

____ Site plan.



____ Land-disturbance plan.

FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

____ Concept plan.

____ Lot-by-lot and non-lot allocation tables.



12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

 4/13/17
 4/13/17

Signature(s) of Owner(s) of Record

Date

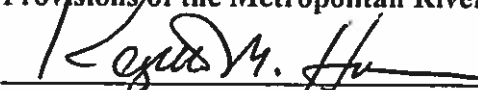
13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

 4/13/17
 4/13/17

Signature(s) of Applicant(s) or Agent(s)

Date

14. The governing authority of City of Atlanta requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.

 4/14/17
Signature of Chief Elected Official or Official's Designee Date

CITY OF ATLANTA NOTES

LOT COVERAGE

EXISTING RESIDENCE	1536 SQ. FT.
ADDITION	308 SQ. FT.
EXISTING PORCH	512 SQ. FT.
EXISTING WALKS	32 SQ. FT.
NEW DECK, STAIRS & AREARWAY	276 SQ. FT.
TOTAL LOT COVERAGE	2664 SQ. FT.

TOTAL LOT AREA

14,000 SQ. FT.

PERCENTAGE OF LOT COVERAGE

19.6%

FLOOR AREA RATIO

FINISHED BASEMENT	860 SQ. FT.
FIRST FLOOR	1844 SQ. FT.
TOTAL	2704 SQ. FT.

PERCENTAGE

19.9%

TREES AFFECTED BY CONSTRUCTION

38" DIAMETER OAK
STRUCTURAL ROOT PLATE- NOT AFFECTED

CRITICAL ROOT ZONE

4536 SQ. FT.

EXISTING DISTURBED AREA

544 SQ. FT.

NEW DISTURBED AREA

302 SQ. FT.

TOTAL DISTURBED AREA

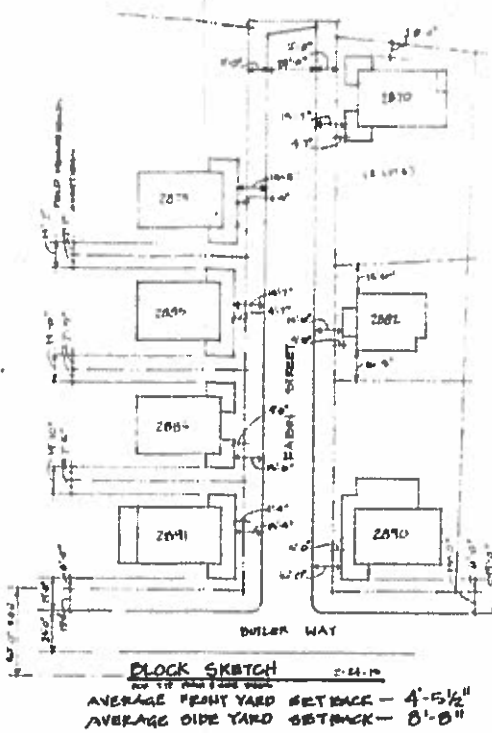
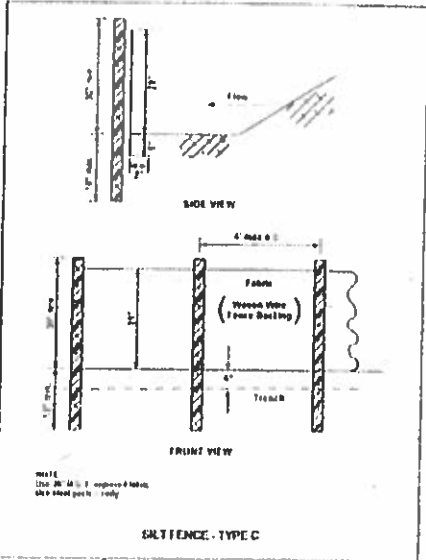
846 SQ. FT.

PERCENTAGE

18.7%

CUT & FILL

122 CUBIC YARDS TO BE CUT, ALL TO BE REMOVED FROM SITE
THERE IS NO FILL.



LIST OF DRAWINGS

1. CITY OF ATLANTA NOTES
2. BLOCK SKETCH
3. SITE PLAN & SURVEY
4. BASEMENT FLOOR PLAN - NEW
5. FIRST FLOOR PLAN - REWORKED
6. FRONT (SOUTH) ELEVATION - REWORKED
7. LEFT SIDE (WEST) ELEVATION - REWORKED
8. REAR (NORTH) ELEVATION - REWORKED
9. RIGHT SIDE (EAST) ELEVATION - REWORKED
10. CRAWLSPACE PLAN - EXISTING
11. FIRST FLOOR PLAN - EXISTING
12. FRONT (SOUTH) ELEVATION - EXISTING
13. LEFT SIDE (WEST) ELEVATION - EXISTING
14. REAR (NORTH) ELEVATION - EXISTING
15. RIGHT SIDE (EAST) ELEVATION - EXISTING

ATLANTA REGIONAL COMMISSION
METROPOLITAN RIVER PROTECTION ACT
SITE INFORMATION

VULNERABILITY CATEGORY	TOTAL SQ. FT.	DISTURBED SQ. FT.	IMPERV. SQ. FT.	PERCENT DISTURBED	PERCENT IMPERV.
C	9380	2272	1736	24%	19%
D	4620	928	928	20%	20%
TOTAL	14,000	3200	2664		

RELEASED FOR:
ATLANTA URBAN DESIGN
COMMISSION REVIEW

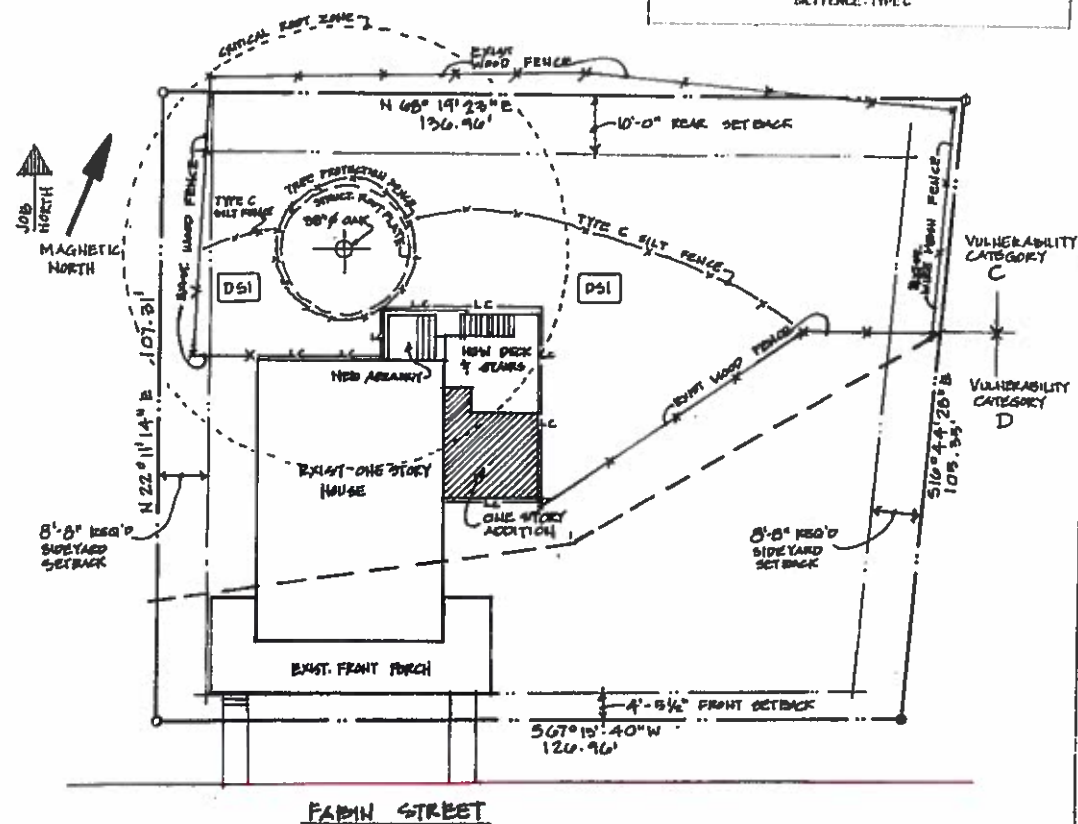
DATE: 3-28-17
SHEET NO: 1 OF 9



SARA WILLSON & JARRETT THACKER
2875 FABIN STREET
ATLANTA, GEORGIA

BASEMENT BUILDOUT
& ADDITION

PROJECT STATEMENT
ONE STORY ADDITION TO RIGHT
SIDE OF EXISTING RESIDENCE WITH
NEW DECK TO REAR OF ADDITION.
REMOVE EXISTING REAR DECK.
DIG OUT EXISTING CRAWSPACE AT
REAR AND CONVERT TO FINISHED
BASEMENT.



SITE PLAN- ENLARGED & RE-DRAWN FROM SURVEY, TWO SHEET.
1"= 20'-0"

LEGEND

- LC - LIMIT OF CONSTRUCTION
- DSI - DISTURBED AREA - VEGETATION WITH MULCH
- STRAW OR HAY - 2 1/2 TON/ACRE, 6" TO 16" DEEP
- WOOD SHAVE CHIPS - 6-10 TON/ACRE, 2" TO 8" DEEP

EXHIBIT "B"

N 68° 19' 23" E
136.96'

S 15° 44' 28" E
105.35'

N 22° 11' 14" E
101.14'

S 67° 15' 49" W - 126.96'

FABIN STREET
(50' R/W)

ONE STORY FRAME

4

3

126.00 TO N.E. COR. OF BUTLER WAY (50' R/W)

BUYER

McLUNG SURVEYING, INC.

436 West Atlanta Road
Smyrna, Georgia 30080

This property is not
located in a Federal Flood
Area as indicated on the
Flood Insurance Rate Map.

SELLER

0.321 ACRES

2875 FABIN STREET
ATLANTA, GA.

PROPERTY OF

LAURA MULLINS

LOT 4, BLOCK R
WHITTIER MILLS

256
17TH
FULTON

30

GEORGIA
REGISTERED
MICHAEL R. MOLES

Michael R. Moles, Surveyor
Member SALS

Office of Planning

APR 14 2017

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

DATE:
6-28-15 SCHEMATICS
3-28-17 ARC/HRPA

THE CONTRACTOR SHALL DO THE
FOLLOWING:

1. VERIFY ALL DIMENSIONS AND
EXISTING CONDITIONS AT THE SITE
PRIOR TO STARTING CONSTRUCTION.
2. COMPLY WITH ALL LOCAL CODES,
ORDINANCES, REGULATIONS AND LAWS
APPLICABLE TO THE PLACE OF
CONSTRUCTION.
3. TEMPORARILY BRACE ALL FLOORS,
CEILINGS, ROOFS, BEAMS, ETC AS
REQUIRED FOR THE CONSTRUCTION.

NOT
ISSUED FOR
CONSTRUCTION

SHEET NO:
OF: