



REGIONAL REVIEW NOTIFICATION

Atlanta Regional Commission • 40 Courtland Street NE, Atlanta, Georgia 30303 • ph: 404.463.3100 • fax: 404.463.3105 • www.atlantaregional.com

DATE: November 13, 2014

ARC REVIEW CODE: V1411131

TO: Mayor Mike Mason, City of Peachtree Corners
ATTN TO: Lynn Pierson, Zoning Administrator
FROM: Douglas R. Hooker, Executive Director, ARC

Digital signature
Original on file

The Atlanta Regional Commission (ARC) has received the following proposal and is initiating a regional review to seek comments from potentially impacted jurisdictions and agencies. The ARC requests your comments related to the proposal not addressed by the Commission's regional plans and policies.

Name of Proposal: RC-14-04PC 4398 Riverview Drive

Review Type: Metro River

MRPA Code: RC-14-04PC

Description: An application for a Metropolitan River Protection Act Certificate for the construction of a new house, pool and patio on a pre-Act lot, which will replace an existing house.

Preliminary Finding: ARC staff has begun the review of this application for a Metro River Certificate. ARC's preliminary finding is that the proposed project is consistent with the Chattahoochee Corridor Plan.

Submitting Local Government: City of Peachtree Corners

Land Lot: 329 and 330 **District:** 6 **Section:**

Date Opened: November 13, 2014

Deadline for Comments: November 23, 2014

Earliest the Regional Review Can Be Completed: November 23, 2014

THE FOLLOWING LOCAL GOVERNMENTS AND AGENCIES ARE RECEIVING NOTICE OF THIS REVIEW:

ARC COMMUNITY DEVELOPMENT DIVISION
CHATTAHOOCHEE RIVERKEEPER
CITY OF JOHNS CREEK

ARC NATURAL RESOURCES DIVISION
GEORGIA CONSERVANCY

GEORGIA DEPARTMENT OF NATURAL RESOURCES
NATIONAL PARK SERVICE

If you have any questions regarding this review, please contact Andrew Smith at asmith@atlantaregional.com or (404) 463-5581. If ARC staff does not receive comments from you by November 23, 2014, we will assume that your agency has no additional comments and will close the review. Comments by e-mail are encouraged.

The ARC review website is located at: <http://www.atlantaregional.com/land-use/planreviews>.

Attached is information concerning this review.

APPLICATION FOR METROPOLITAN RIVER PROTECTION ACT CERTIFICATE

1. Name of Local Government: Peachtree Corners

2. Owner(s) of Record of Property to be Reviewed:

Name(s): Derek & Kristin Schiller *view*

Mailing Address: 4935 Riverlake Drive

City: Peachtree Corners State: Georgia Zip: 30097

Contact Phone Numbers (w/Area Code):

Daytime Phone: 770-330-3374 Fax: 770-271-5753

Other Numbers: _____

3. Applicant(s) or Applicant's Agent(s):

Name(s): Greg Dean c/o Boundary Zone, Inc.

Mailing Address: 4195 South Lee

City: Buford State: Georgia Zip: 30097

Contact Phone Numbers (w/Area Code):

Daytime Phone: 770-271-5772 Fax: 770-271-5753

Other Numbers: Mobile: 770-330-3374

4. Proposed Land or Water Use:

Name of Development: Riverview Estates

Description of Proposed Use: Single Family Residence

5. Property Description (Attach Legal Description and Vicinity Map):

Land Lot(s), District, Section, County: 329 & 330, 6th District, Gwinnett County

Subdivision, Lot, Block, Street and Address, Distance to Nearest Intersection: _____

Riverview Estates, Lot 5, 4398 Riverview Drive, Peachtree Corners, GA 30097, 3600 Feet *ML*

Size of Development (Use as Applicable):

Acres: Inside Corridor: 1.512 Acres

Outside Corridor: 0 Acres

Total: 1.512 Acres

Lots: Inside Corridor: 1

Outside Corridor: 0

Total: 1

Units: Inside Corridor: _____

Outside Corridor: _____

Total: _____

Other Size Descriptor (i.e., Length and Width of Easement):

Inside Corridor: _____

Outside Corridor: _____

Total: _____

6. Related Chattahoochee Corridor Development:

A. Does the total development include additional land in the Chattahoochee Corridor that is not part of this application? No _____

If "yes", describe the additional land and any development plans: _____

B. Has any part of the property in this application, or any right-of-way or easement bordering this land, previously received a certificate or any other Chattahoochee Corridor review approval? _____

If "yes", please identify the use(s), the review identification number(s), and the date(s) of the review(s): _____

7. How Will Sewage from this Development be Treated?

A. Septic tank Permit # G441428 New Small Residential _____

Note: For proposals with septic tanks, the application must include the appropriate local government health department approval for the selected site.

B. Public sewer system _____

8. Summary of Vulnerability Analysis of Proposed Land or Water Use:

Vulnerability Category	Total Acreage (or Sq. Footage)	Total Acreage (or Sq. Footage) Land Disturbance	Total Acreage (or Sq. Footage) Imperv. Surface	Percent Land Disturb. (Maximums Shown In Parentheses)	Percent Imperv. Surf.
A	_____	_____	_____	(90)_____	(75)_____
B	_____	_____	_____	(80)_____	(60)_____
C	_____	_____	_____	(70)_____	(45)_____
D	65,860 sf	32,930 sf	19,758	(50) 50	(30) 30
E	_____	_____	_____	(30)_____	(15)_____
F	_____	_____	_____	(10)_____	(2)_____
Total:	65,860 sf	32,930 sf	19,758	N/A	N/A

9. Is any of this Land within the 100-Year Floodplain of the Chattahoochee River? No

If "yes", indicate the 100-year floodplain elevation: _____

NOTE: The 100-year river floodplain is defined as the natural land surface below the one hundred- (100) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: All river 100-year floodplain is assigned to the "E" Category; its allowable allocations can be combined with those of other "E" land in the review. Also, 100-year floodplain cannot be reanalyzed and cannot accept transfers.

10. Is any of this land within the 500-year floodplain of the Chattahoochee River? No

If "yes", indicate the 500-year flood plain elevation: _____

NOTE: The 500-year floodplain is defined as the natural land surface below the five hundred- (500) year flood elevations shown in the Flood Profiles of the most recent floodplain study for the Chattahoochee River approved by the United States Federal Emergency Management Agency for each Corridor jurisdiction.

NOTE: Plan Standards include a 35-foot height limit above the pre-construction grade within the 500-year floodplain (includes the 100-year floodplain). Adherence to this standard must be noted on the submitted plans (see Part 2.B.(4) of the Chattahoochee Corridor Plan).

11. The following is a checklist of information required to be attached as part of the application. Individual items may be combined.

FOR ALL APPLICATIONS:

X Description of land in the application and any additional land in the project (attach legal description or surveyed boundaries).

X Name, address, and phone number(s) of owner(s) of record of the land in the application. (Space provided on this form)

X Written consent of all owners to this application. (Space provided on this form)

X Name, address, and phone number(s) of applicant or applicant's agent. (Space provided on this form)

X Description of proposed use(s). (Space provided on this form)

X Existing vegetation plan.

X Proposed grading plan.

X Certified as-builts of all existing land disturbance and impervious surfaces.

X Approved erosion control plan.

X Detailed table of land-disturbing activities. (Both on this form and on the plans)

x Plat-level plan showing (as applicable): lot boundaries; any other sub-areas; all easements and rights-of -way; 100- and 500-year river floodplains; vulnerability category boundaries; topography; any other information that will clarify the review.

 x Documentation on adjustments, if any.

 x Cashier's check or money order (for application fee).

FOR SINGLE-STEP APPLICATIONS (NON-SUBDIVISION):

 x Site plan.

 x Land-disturbance plan.

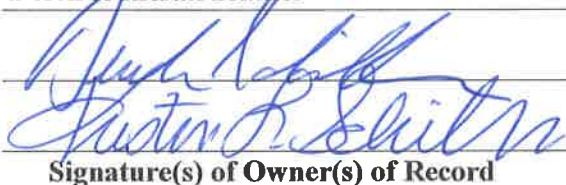
FOR TWO-STEP SINGLE-FAMILY SUBDIVISION APPLICATIONS ONLY:

 Concept plan.

 Lot-by-lot and non-lot allocation tables.

12. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act: (use additional sheets as necessary)

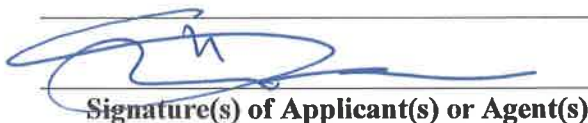
Derek & Kristin Schiller


Signature(s) of Owner(s) of Record

8/15/14
8/15/14
Date

13. I (we), the undersigned, authorize and request review of this application for a certificate under the provisions of the Metropolitan River Protection Act:

Greg Dean, RLA


Signature(s) of Applicant(s) or Agent(s)

8/12/14
Date

14. The governing authority of _____ requests review by the Atlanta Regional Commission of the above-described use under the Provisions of the Metropolitan River Protection Act.


Signature of Chief Elected Official or Official's Designee

9-4-14
Date



October 15, 2014

**Atlanta Regional Commission
Natural Resources Division
Attention: Mr. Jim Santo
40 Courtland Street
Atlanta, GA 30355**

Re: 4398 Riverview Drive, Peachtree Corners, GA

Jim,

Please find attached the new revised site plans you requested showing the new clearing limits and the tree removal due to dead, diseased or hazardous classification per the City Arborist Lynn Pierson with the City of Peachtree Corners.

Let me know if you need any additional information.

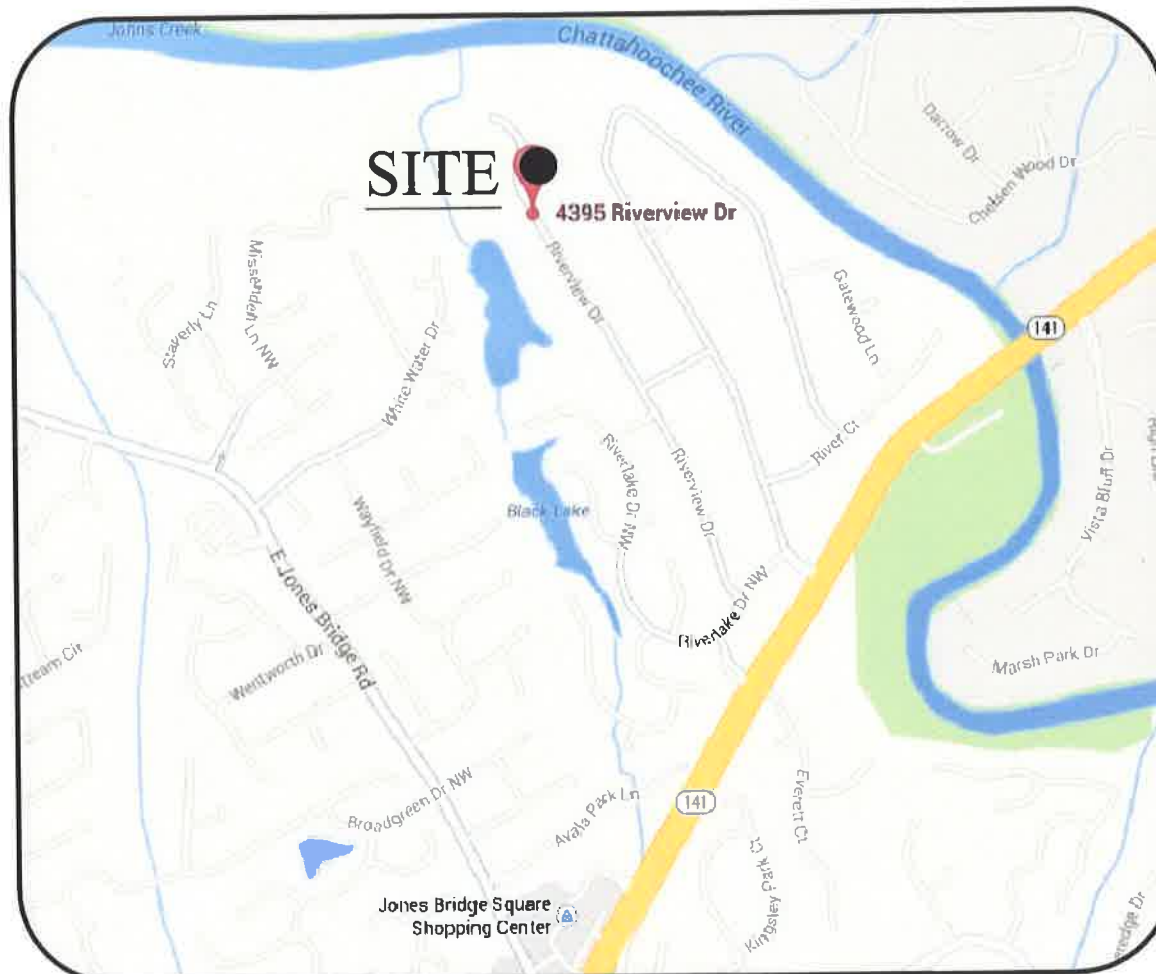
Best Regards,

A handwritten signature in blue ink, appearing to be "G. Dean", with a long horizontal flourish extending to the right.

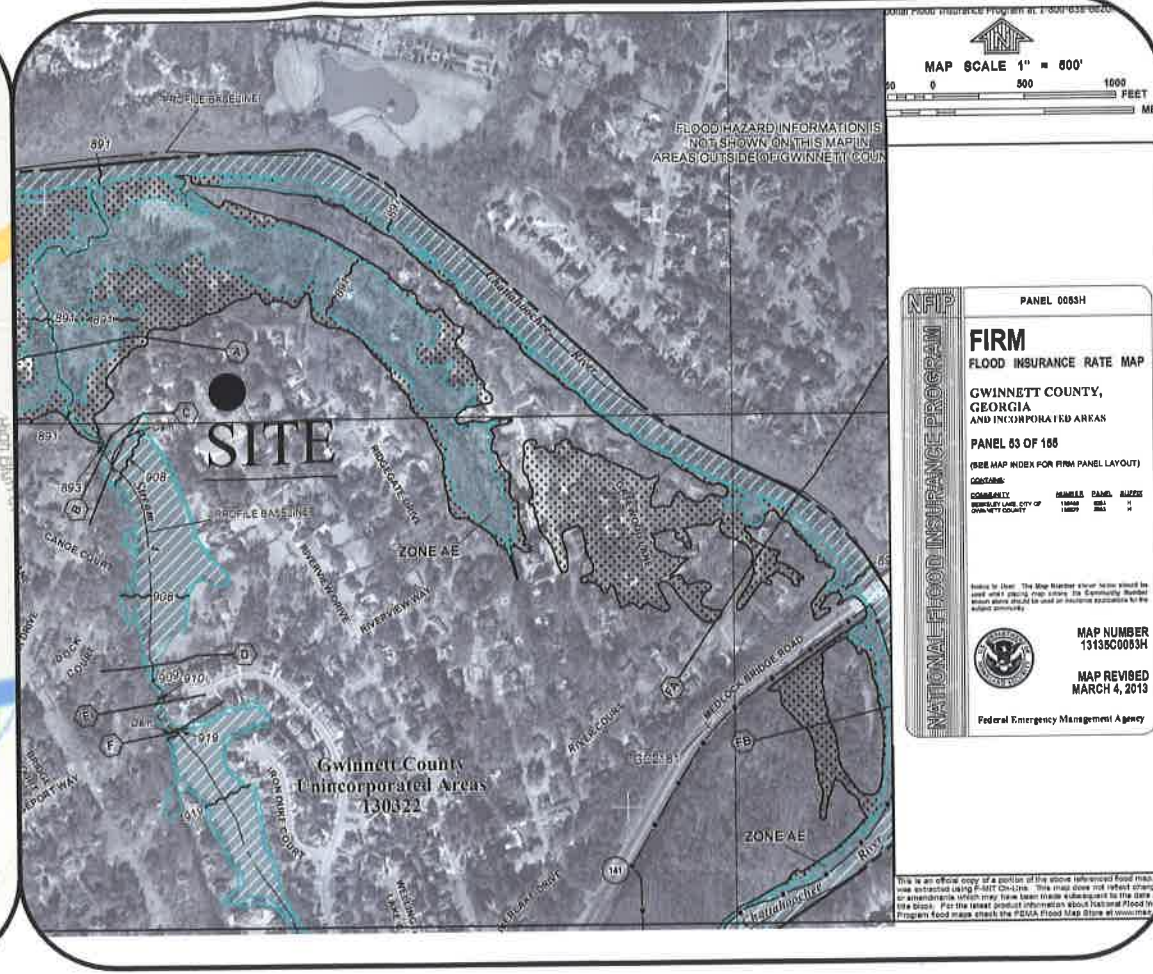
**Greg Dean, RLA
Project Manager / Landscape Architect
Boundary Zone, Inc.**

**4195 South Lee Street, Suite 1, Buford, GA 30518 - 770-271-5772
235 Peachtree Street NE, Suite 400, Atlanta, GA 30303 - 404-880-3313
2205 - C Candun Drive, Apex, NC 27523**

**Georgia: Phone: (770) 271-5772 * Fax: (770) 271-5753
North Carolina: Phone (919) 363-9226 * Fax: (919) 363-9228**



Vicinity Map (NTS) 



FIRM Panel Vignette (NTS)

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD HAZARD AS PER F.E.M.A. FLOOD INSURANCE RATE MAPS OF GWINNETT COUNTY, GEORGIA, COMMUNITY PANEL #13135C0053H EFFECTIVE DATE MARCH 4, 2013.

ZONING: R-100

MIN. LOT SIZE SEWER- 15,000 SQ. FT.
MIN. LOT SIZE SEPTIC- 25,500 SQ. FT.
MIN. FOOT PRINT- 1,400 SQ. FT.
FRONT SETBACK- (100' PER PLAT)
FRONT SETBACK- 35'
SIDE SETBACK- (PER PLAT 20')
SIDE SETBACK- 10'
CORNER LOT- 25'
REAR SETBACK- 40'
MAX. BUILDING HEIGHT- 35'
2 OFF STREET PARKING SPACES

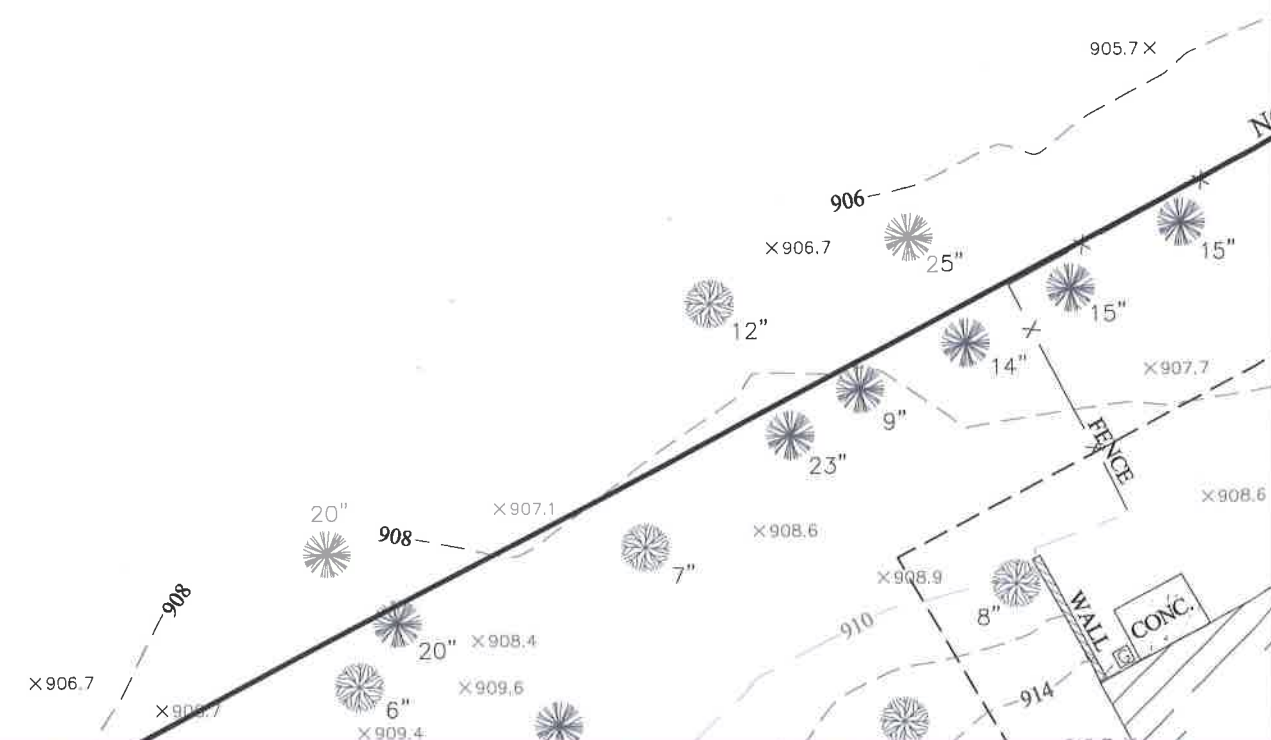
OWNER

DEREK & KRISTIN SCHILLER
4935 RIVERLAKE DRIVE
PEACHTREE CORNERS, GA 30097

EMERGENCY CONTACT / BUILDER

LEWIS REEVES PROPERTIES, INC.
9280 SAINT GEORGEN COMMON
JOHNS CREEK, GA 30097
PHONE: 404-219-2151

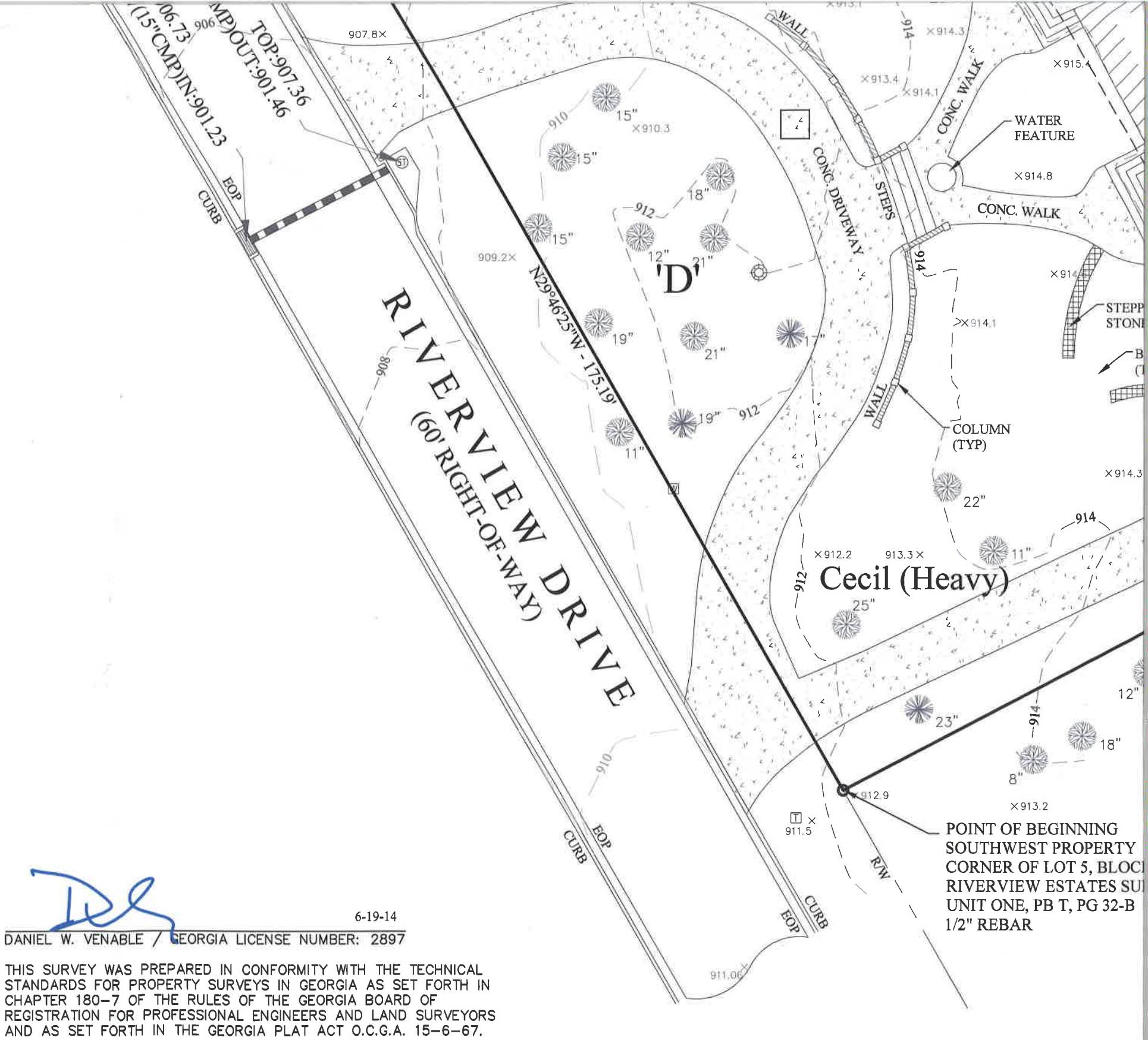
VULNERABILITY CATEGORY:



PRE DEMOLITION IMPERVIOUS SUMMARY	
AREA	SQ FT
LOT	65,860
FOOTPRINT	4,070
CONCRETE / PORCH/POOL	3,121
DRIVEWAY / DECK / STEPS	5,282
WALLS	107
STEPPING STONES	433
TOTAL COVERAGE	13,013
	19.7%

SOIL CATEGORY:

Cecil (Heavy) Slopes range from 2 to 6% percent, well drained - light yellowish-brown to dark-brown,



THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

© COPYRIGHT 2013 - BOUNDARY ZONE, INC. THIS DRAWING AND IT'S REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BOUNDARY ZONE, INC.

TOTAL AREA: 1.512 ACRES / 65,860 SQUARE FEET.

BOUNDARY REFERENCE: DEED BOOK 50463, PAGE 548 & PLAT BOOK T, PAGE 32-B. FIELD WORK COMPLETED 3-10-14.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN +102,683 FEET.

THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION.

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 1,000,000 FEET AND

NOT VALID WITHOUT ORIGINAL SIGNATURE



FOR THE FIRM BOUNDARY ZONE, INC.

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- ⦿ FIRE HYDRANT
- ⦿ WATER METER
- ⦿ WATER VALVE
- ⦿ POWER POLE
- ⦿ YARD DRAIN

- ⦿ POWER METER
- ⦿ POWER BOX
- ⦿ A/C UNIT
- ⦿ LIGHT POLE
- ⦿ GUY WIRE
- ⦿ MANHOLE
- ⦿ CLEAN OUT
- ⦿ GAS METER
- ⦿ GAS VALVE

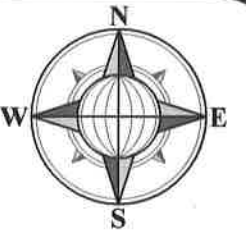
- ⦿ TELEPHONE BOX
- W— WATER LINE
- U— OVERHEAD UTILITY LINE
- S— SEWER LINE
- G— GAS LINE
- C— CABLE LINE
- T— TELEPHONE LINE
- X— FENCE LINE
- SF— SILT FENCE

- HB— HAY BALES
- FW— FLOW WELL LINE
- N/F NOW OR FORMERLY
- R/W RIGHT-OF-WAY
- BSL BUILDING SETBACK LINE
- CNTL. CANTILEVER
- C.R.Z. CRITICAL ROOT ZONE
- S.R.P. STRUCTURAL ROOT PLAT (TYP.) TYPICAL

URING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A
EETING WITH THE SITE DEVELOPMENT INSPECTOR.
ND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND
WINNETT COUNTY.
PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448

HALL EXCEED 2H:1V;
RED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHALL
AKING.
SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT.
UMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS

HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
ITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
EWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE
URES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER
ION.



MAGNETIC
NORTH
DATUM NAVD 86
SCALE: 1"=20'

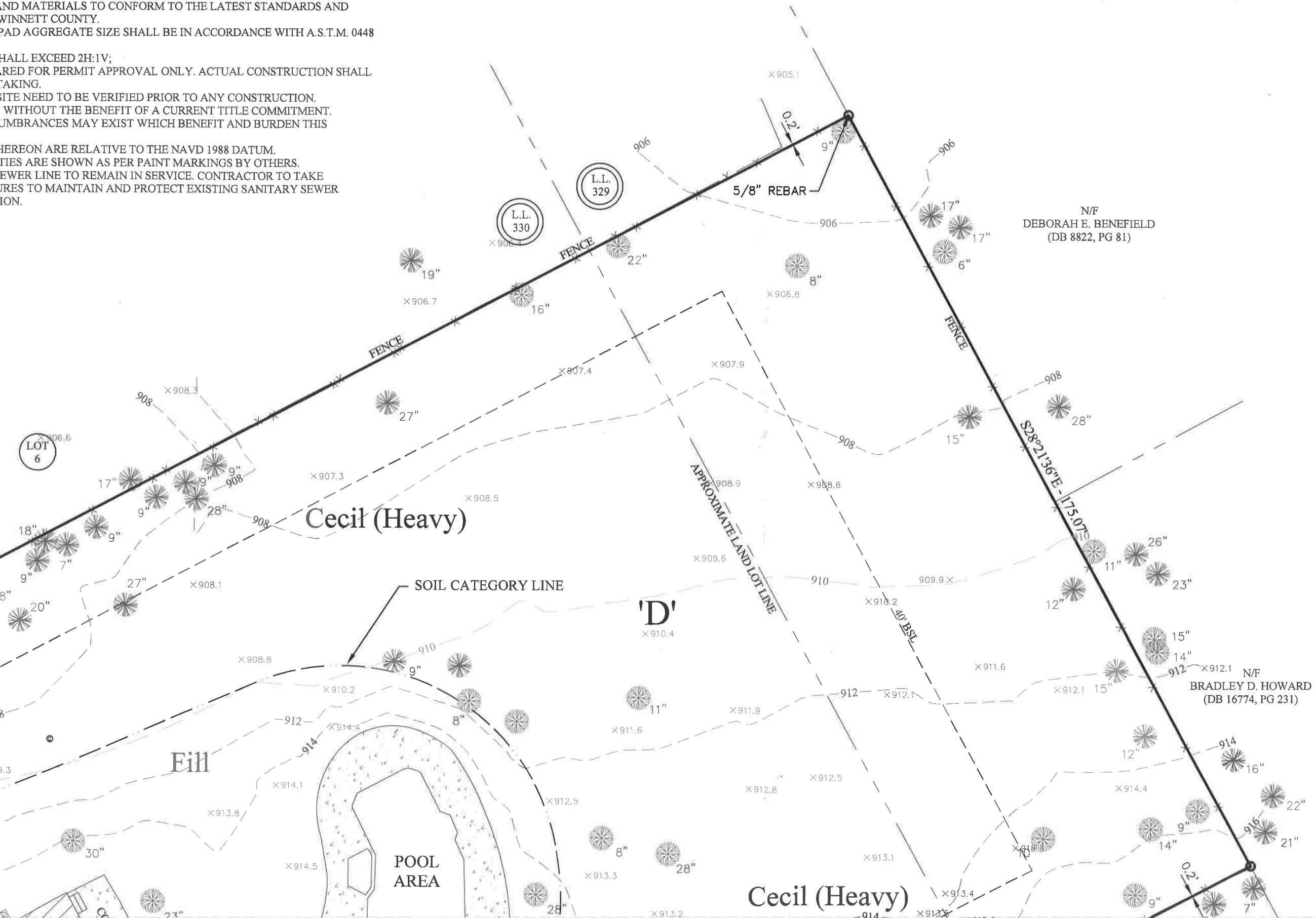
DATE

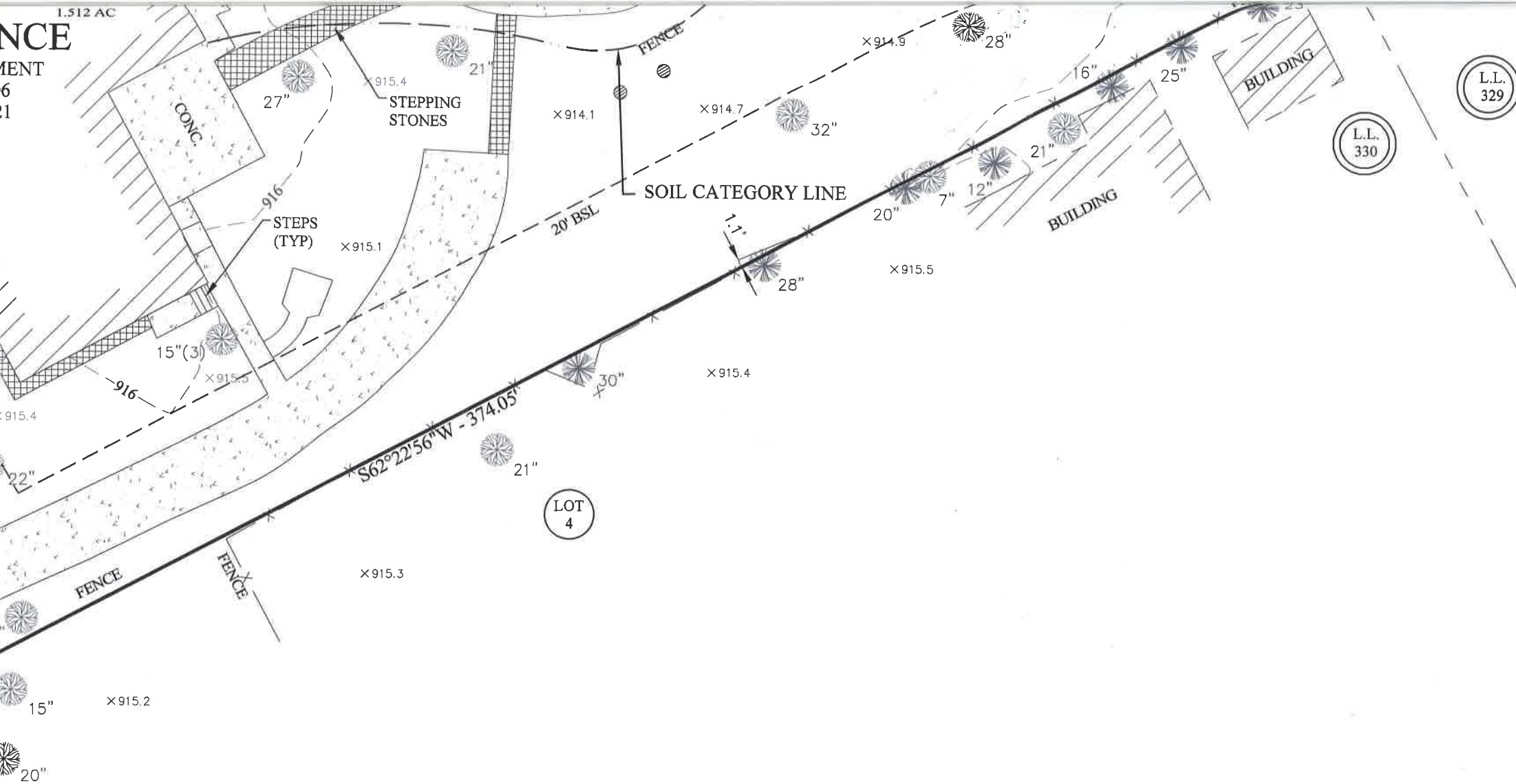
REVISION

NO.

1 2 3 4 5 6 7 8 9 10 11 12

PLAN





1.512 AC
MENT
6
21

CONC.
STEPS (TYP)
STEPPING STONES
FENCE
FENCE

27"
21"
32"
28"
16"
25"
20"
7"
12"
21"
28"
30"
21"
15"
22"
15"
20"

X915.4
X915.1
X915.5
X915.3
X915.2

S62°22'56"W - 374.05'

LOT 4

GRAPHIC SCALE - IN FEET

10 0 20 40 60 80

TF: 1069.0 TOP OF FOOTER ELEVATION
SILT FENCE
DRAINAGE ARROW

TREE LEGEND

HARDWOOD TREE
 PINE TREE
 TREE TO BE REMOVED

811
Know what's below

BOUNDARY
zone, inc. LAND SURVEYING SERVICES
LANDSCAPE ARCHITECTURE
LAND PLANNING

BUFORD
4195 SOUTH LEE STREET, SUITE 1
BUFORD, GEORGIA 30518

ATLANTA
235 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303

MARIETTA
1870 THE EXCHANGE, SUITE 100
MARIETTA, GA 30339

RALEIGH

PROJECT
14829.03
SHEET
1 OF 3

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS
PREPARED AFTER A SITE VISIT TO THE LOCATIONS
DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED
AGENT, UNDER MY SUPERVISION."

7-25-14
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

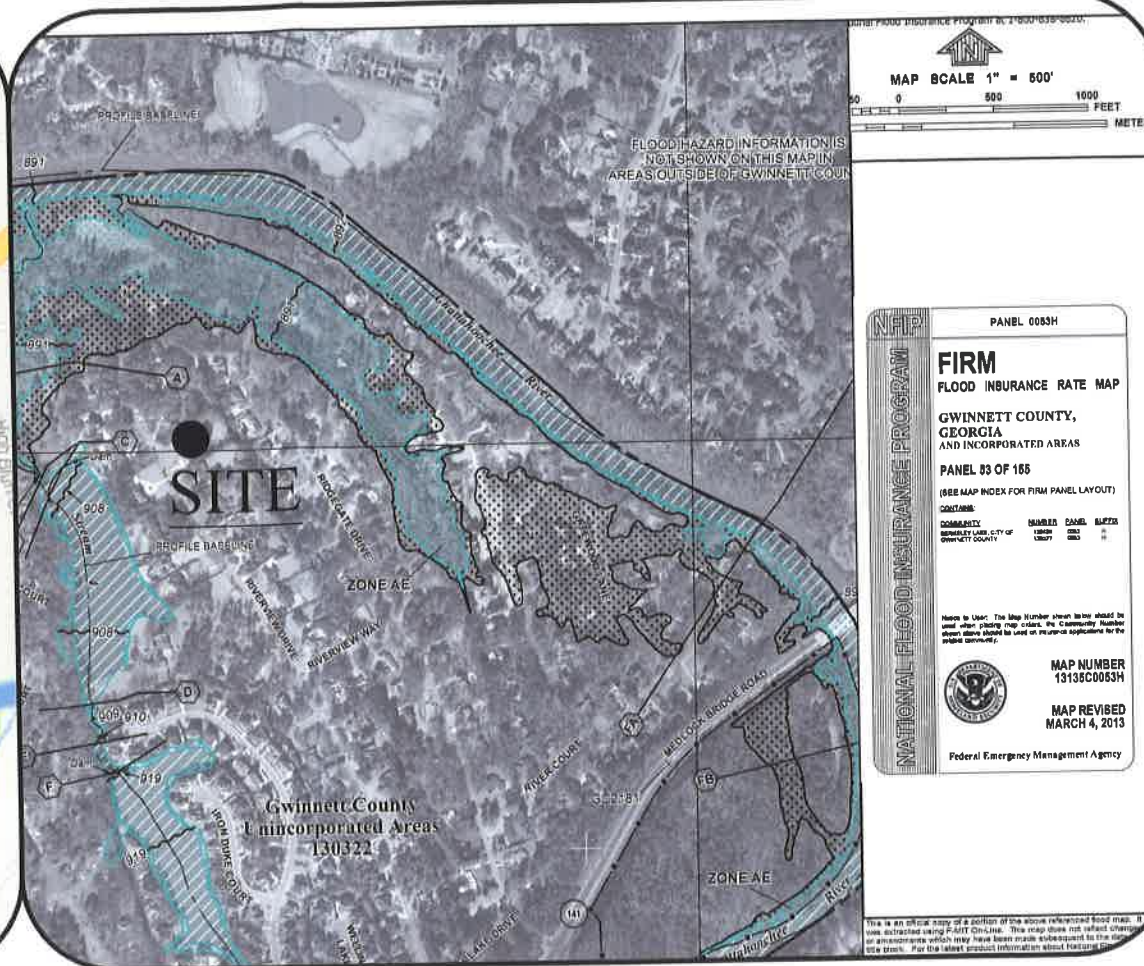
7-25-14
FOR THE FIRM
BOUNDARY ZONE, INC.
NOT VALID WITHOUT
ORIGINAL SIGNATURE

EXISTING CONDITIONS & DEMOL

PREPARED FOR: DEREK SCHILLER
4398 RIVERVIEW DRIVE, PEACHTREE CORNERS, GA 30339
BEING LOT 5, BLOCK 'A', RIVERVIEW ESTATE, UNIT
LAND LOTS 329 & 330, 6TH DISTRICT
GWINNETT COUNTY, GEORGIA - 6-19-14



Vicinity Map (NTS)



FIRM Panel Vignette (NTS)

Residential Drainage Plan

This House Location / Residential Drainage Plan has been reviewed for general compliance with the Zoning Resolution and Development Regulations of Gwinnett County, Georgia, and is approved for issuance of a Building Permit for the residential structure and other improvements shown hereon. No framing inspection will be approved until a certification of the elevation of the lowest floor, as built, prepared by a Registered Land Surveyor or Professional Engineer, has been received by the Department. This approval is granted with the provision that no Certificate of Occupancy shall be issued for the completion of construction until conformance to this House Location / Residential Drainage Plan has been field verified by the Department of Planning and Development of has been verified by a foundation survey prepared by a Registered Land Surveyor.

Department of Public Utilities

Date

This Plat has been calculated for a closure is found to be accurate within on foot in 102,683' +/- and contains a total of 1.519 acres.

Owner:
Derek Schiller
4189 Ridgeway Drive
Peachtree Corners, Georgia 30097

Lot Address:
4398 Riverview Drive
Peachtree Corners, Georgia 30097

RDP Prepared By:
Boundary Zone, Inc.
4195 South Lee Street,
Suite I
Buford, GA 30518

ZONING: R-100

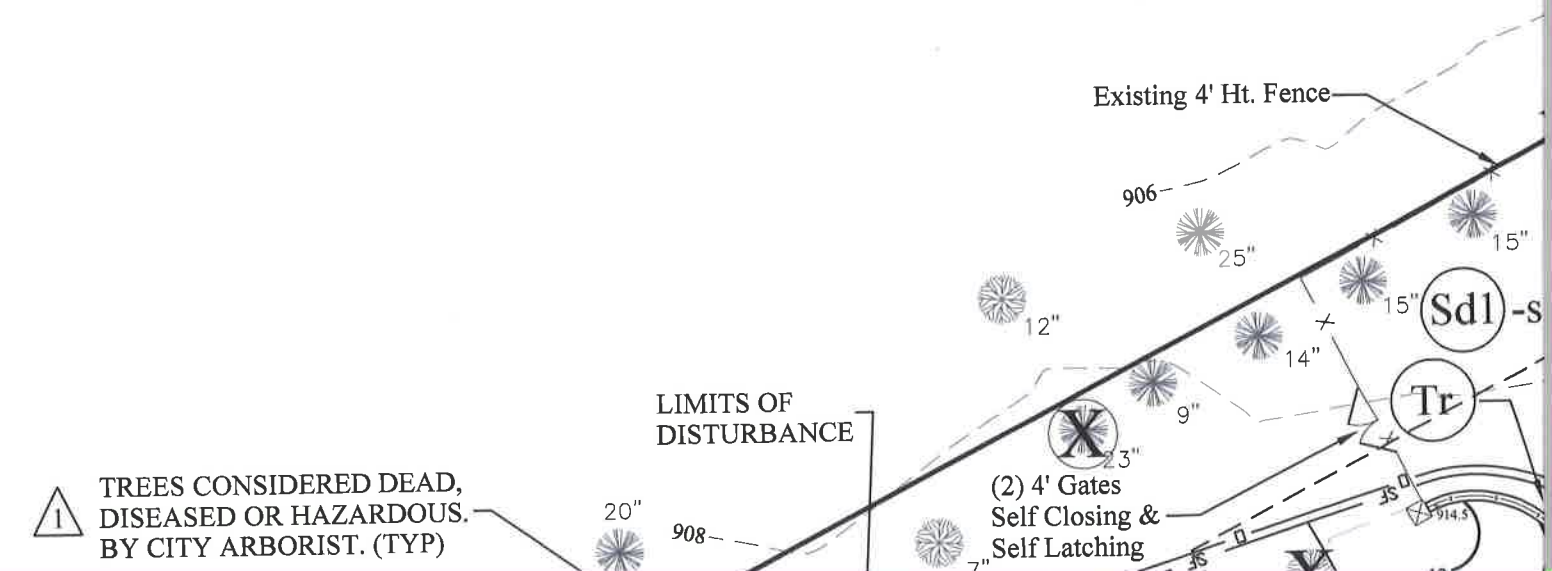
- MIN. LOT SIZE SEWER- 15,000 SQ. FT.
- MIN. LOT SIZE SEPTIC- 25,500 SQ. FT.
- MIN. FOOT PRINT- 1,400 SQ. FT.
- FRONT SETBACK- (100' PER PLAT)
- FRONT SETBACK- 35'
- SIDE SETBACK- (PER PLAT 20')
- SIDE SETBACK- 10'
- CORNER LOT- 25'
- REAR SETBACK- 40'
- MAX. BUILDING HEIGHT- 35'
- 2 OFF STREET PARKING SPACES

OWNER

DEREK & KRISTIN SCHILLER
4935 RIVERLAKE DRIVE
PEACHTREE CORNERS, GA 30097

EMERGENCY CONTACT / BUILDER

LEWIS REEVES PROPERTIES, INC.
9280 SAINT GEORGEN COMMON
JOHNS CREEK, GA 30097
PHONE: 404-219-2151



Field Run Topographic information was prepared by:
Boundary Zone, Inc.
4195 South Lee Street, Suite I.
Buford, Ga. 30518
Phone: (770)271-5772
Dated: 3-10-14
Site Area: 65,860 S.F.
1.519 AC.

NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS. TREES ARE TO BE REMOVED FROM THIS SITE DURING CONSTRUCTION OF THE HOUSE AREA.

A SEPARATE BUILDING PERMIT MUST BE OBTAINED PRIOR TO APPROVAL OF A RDP FOR EACH SITE RETAINING WALL (WHICH EITHER EXCEEDS 4 FEET IN HEIGHT OR WHICH HAS A BACKFILL SLOPE GREATER THAN 1 FOOT RISE IN 3 FEET HORIZONTAL) AND FOR EACH RETAINING WALL ATTACHED TO THE HOUSE (WHICH EXCEEDS 6 FEET IN HEIGHT) IN ACCORDANCE WITH GWINNETT COUNTY CODE SECTION 103.1.1. A CERTIFICATE OF COMPLETION SHALL BE ISSUED BY GWINNETT COUNTY BUILDING INSPECTIONS SECTION FOR ALL WALLS PERTINENT TO THE PROJECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY USABLE STRUCTURE ON SITE.

GENERAL NOTES:

1. BOUNDARY REFERENCE: DEED BOOK 50463, PAGE 548 & PLAT BOOK T, PAGE 32-B.
2. FIELD WORK COMPLETION DATE: MARCH 10, 2014.
3. WATERS OF THE STATE DO NOT EXIST WITHIN 200' OF THIS SITE.
4. STATE BUFFERS OR EASEMENTS DO NOT EXIST ON SUBJECT PROPERTY.
5. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 37,596 FEET AND ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT TURNED AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.
6. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN +10,000 FEET. EQUIPMENT USED: TRIMBLE ROBOTIC STATION AND TRIMBLE RTK GPS SYSTEM.
7. FLOOD HAZARD STATEMENT:

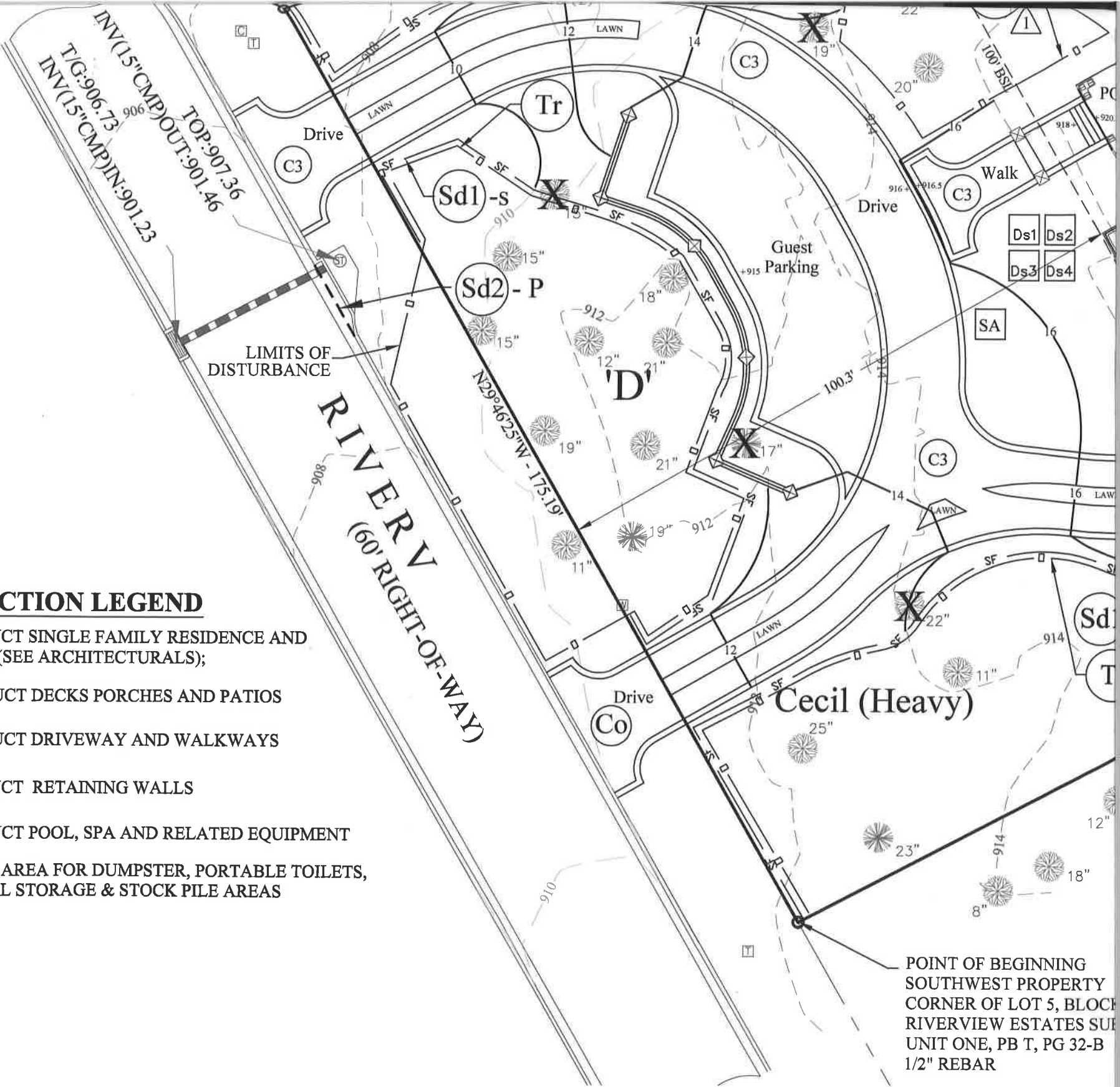
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF GWINNETT COUNTY AS SHOWN ON PANEL #13135C0053H EFFECTIVE DATE MARCH 4, 2013.
8. PROJECT NARRATIVE:

SITE LOCATION: LAND LOTS 329 & 330, 6TH DISTRICT,
4398 RIVERVIEW DRIVE
DULUTH, GEORGIA, 30097

CONSTRUCT A SINGLE FAMILY RESIDENCE.
SEE ARCHITECTURALS FOR MORE DETAIL.
9. SANITARY SEWER IS PROVIDED BY PRIVATE SEWER SYSTEM.
10. DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY.
11. NO CREEKS OR DRAINAGE SWALES EXIST ON THIS PROPERTY.
12. NO NEW STORM DRAIN PIPES ARE PROPOSED.
13. THIS PROPERTY DOES LIE WITHIN THE CHATTAHOOCHEE RIVER
14. ALL DEBRIS WILL BE REMOVED FROM THE SITE AND DISPOSE OF THE DEBRIS IN AN AUTHORIZED LANDFILL OR AS DIRECTED BY GEORGIA DNR / EPD.
15. CONSTRUCTION MAY NOT PROCEED BEYOND THE BUILDING OFFICIAL APPROVED DEMOLITION STAGE UNTIL THE CITY HAS ISSUED A VALID BUILDING PERMIT FOR THE PROPOSED CONSTRUCTION.

CONSTRUCTION LEGEND

- C1
- CONSTRUCT SINGLE FAMILY RESIDENCE AND GARAGE (SEE ARCHITECTURALS);
- C2
- CONSTRUCT DECKS PORCHES AND PATIOS
- C3
- CONSTRUCT DRIVEWAY AND WALKWAYS
- C4
- CONSTRUCT RETAINING WALLS
- C5
- CONSTRUCT POOL, SPA AND RELATED EQUIPMENT
- SA
- STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE & STOCK PILE AREAS



THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

© COPYRIGHT 2013 - BOUNDARY ZONE, INC. THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN

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THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET AND

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- ⚡

FIRE HYDRANT
- ⚙

WATER METER
- ⚙

WATER VALVE
- ⚙

POWER POLE
- ⚙

POWER METER
- ⚙

POWER BOX
- ⚙

A/C UNIT
- ⚙

LIGHT POLE
- ⚙

GUY WIRE
- ⚙

MANHOLE
- ⚙

CLEAN OUT
- ⚙

GAS METER
- ⚙

GAS VALVE
- ⚙

TELEPHONE BOX
- W—

WATER LINE
- U—

OVERHEAD UTILITY LINE
- S—

SEWER LINE
- G—

GAS LINE
- C—

CABLE LINE
- T—

TELEPHONE LINE
- X—

FENCE LINE
- SE—

SILT FENCE
- +HB—

HAY BALES
- +FW—

FLOW WELL LINE
- N/F

NOW OR FORMERLY
- R/W

RIGHT-OF-WAY
- BSL

BUILDING SETBACK LINE
- CNTL.

CANTILEVER
- C.R.Z.

CRITICAL ROOT ZONE
- S.R.P.

STRUCTURAL ROOT PL
- (TYP.)

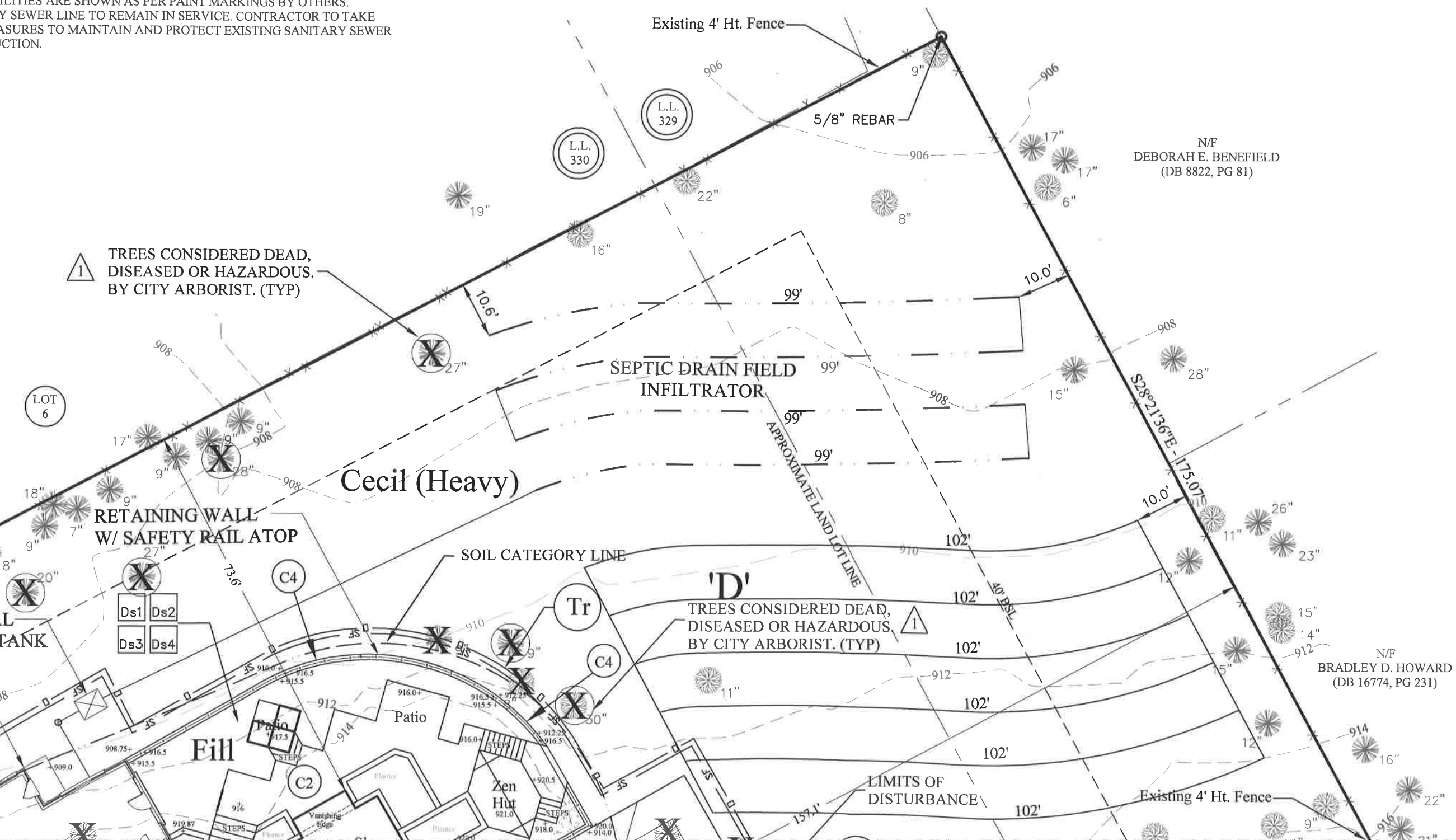
TYPICAL

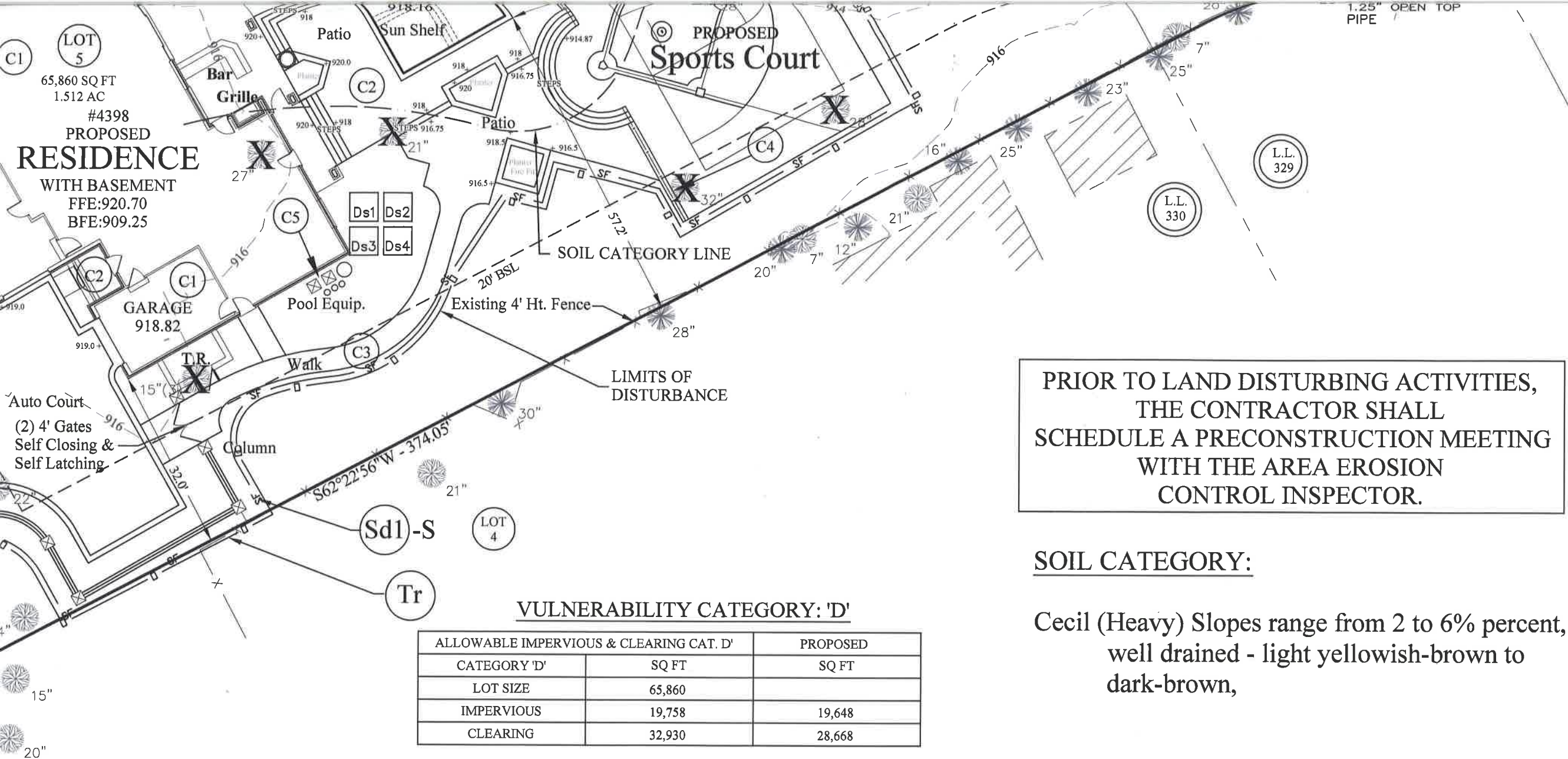
S SHALL EXCEED 2H:1V;
 PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHALL
 TO STAKING.
 ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
 MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT.
 ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS

ALL DIMENSIONS ARE RELATIVE TO THE NAVD 1988 DATUM.
 UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
 EXISTING SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE
 NECESSARY MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER
 COLLECTION SYSTEM.

**MAGNETIC
NORTH
DATUM NAVD 86
SCALE: 1"=20'**

NO.	REVISION	DATE
1	REVISE PROPOSED CLEARING & LABEL DEAD, DIESEAD AND HARZARDOUS TREES	10-13-14
2		
3		
4		
5		
6		
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10		
11		
12		






SITE, GRADING & DRAINAGE

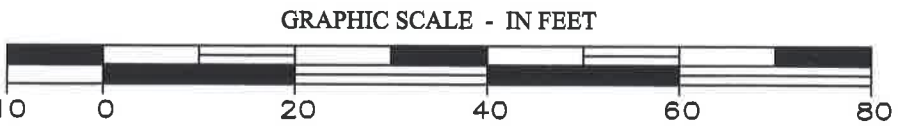
PREPARED FOR: DEREK SCHILLER
4398 RIVERVIEW DRIVE, PEACHTREE CORNERS, GA 30329
BEING LOT 5, BLOCK 'A', RIVERVIEW ESTATE, UNIT 5
LAND LOTS 329 & 330, 6TH DISTRICT
GWINNETT COUNTY, GEORGIA - 7-25-14





IF THERE ARE ANY CONFLICTS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OR CONTINUE OPERATIONS UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHERS ARE RESOLVED.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."


10-13-14
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699


10-13-14
FOR THE FIRM
BOUNDARY ZONE, INC.
NOT VALID WITHOUT ORIGINAL SIGNATURE



- TREE LEGEND**
-  HARDWOOD TREE
 -  PINE TREE
 -  TREE TO BE REMOVED
 -  TREES CONSIDERED TO BE DEAD, DISEASED OR HAZARDOUS
- TF: 1069.0 TOP OF FOOTER ELEVATION
SILT FENCE
DRAINAGE ARROW
- PAVEMENT
LINE
FLOOR ELEVATION
1ST FLOOR ELEVATION
FLOOR ELEVATION
ELEVATION
ELEVATION
WALL ELEVATION



BOUNDARY
zone, inc. LAND SURVEYING SERVICES
LANDSCAPE ARCHITECTURE
LAND PLANNING

BUFORD
4195 SOUTH LEE STREET, SUITE 1
BUFORD, GEORGIA 30518

ATLANTA
235 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303

MARIETTA
1870 THE EXCHANGE, SUITE 100
MARIETTA, GA 30339

RALEIGH

PROJECT
14829.03
SHEET
2 OF 3